

INLAND WETLANDS COMMISSION  
TUESDAY, September 8, 2020  
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C.a.  
Action on Minutes of Previous Meeting  
Minutes of August 11, 2020

Town of Thompson  
Inland Wetlands Commission

815 Riverside Drive  
North Grosvenordale, CT 06255  
860-923-1852 (Office)

RECEIVED  
TOWN OF THOMPSON, CT.  
2020 AUG 14 P 12:03  
*Linda Paradise*  
TOWN CLERK, Asst

**INLAND WETLANDS COMMISSION MINUTES**

**TUESDAY, August 11, 2020 7:00 PM**

**Zoom Virtual Meeting >> Zoom recording link located at the bottom of these minutes <<**

A) Call to Order & Roll Call – The call to order was by Chair George O’Neil at 7:00pm.

Present: Chair George O’Neil, Vice Chair and Commissioner H. Charles Obert, Commissioner and Treasurer Diane Chapin, Alternate Commissioner Barbara Roach, Wetlands Agent Marla Butts, Recording Secretary Ashley Pomes, Commissioner Francesca Morano entered the meeting at 7:25pm. Others Present: First Selectman Amy St. Onge, Marie Mongeau, Daniel Blanchette, Bruce Woodis, Peter and Donna Nalewajk, Liz Thompson, Marc Baer.

B) Appointment of Alternates – Motion made by Commissioner Obert to seat alternate for voting purposes. Chair O’Neil states alternate has been seated.

C) Action on Minutes of Previous Meeting

a) Minutes of July 14, 2020 – No changes or revisions, minutes stand as recorded.

D) Citizens Comments on Agenda Items – Liz Thompson, a seasonal resident of Little Pond questioned if there were any violations on Marc Baer’s original application, she questions what the trust level is that there will not be any violations on his current application and she also asks why the tree debris has not yet been removed from the pond. M. Butts and Chair O’Neil responded stating that all questions and comments must pertain to current agenda items and the question of the tree debris being removed from Little Pond will be addressed when they get to that agenda item.

Peter Nalewajk asks if the proposed revetment on Mr. Baer’s property will be fully on his property or if it will extend into the water beyond his property line? M. Butts responds that this will be discussed with the engineer when they get to this agenda item. Mr. Nalewajk also asks who is responsible for keeping the waterway open from Little Pond to Five Mile River. M. Butts says she will give him a proper answer to this question after doing some research on this, there is a legal statute regarding obstruction of drainage, and she will need to look further into this before giving an answer.

E) Applications

a) Old Applications

1. **WAA20004** Richard T. Audet, 50 Wrightson Dr, Assessor’s map 143, block 17, lot 18, construct 20’ X 24’ shed on piers in the 100-foot upland review area for Quaddick Reservoir, stamped received 2/5/2020, under review pending NDDH approval and handling roof runoff – Mr. Audet has gotten a B100a approval from NDDH but still needs to address how he will handle the roof runoff. Mr. Audet sent an email to M. Butts asking for her advice on how to handle this, she responded to him suggesting that he gets a design for a roof runoff collection system that will cause any runoff to be released over the embankment to the lake as sheet flow and to establish and maintain vegetative cover that has an established root system that would hold the soil in place as the water runs over it. She also told him to try contacting Eastern

Connecticut Conservation District to see if they could provide him advice on the design. This is still pending until M. Butts hears back from Mr. Audet.

2. **WAA20009** Hallet T. Merrick, 0 Plum Road, Assessor's map 85, block 52, lot 12, construction of single-family home, septic system and portion of home proposed in 100-foot upland review area, stamped received 4/13/2020, under review pending receipt of additional information – Mr. Merrick's engineer Bruce Woodis was present at this meeting, he states there were site plans that were made for a previous owner that he is now making work for the current owner, the plans will still need to go to the health dept for approval. The town is also requesting that he makes improvements to a portion of Plum Road to town standards which he has agreed to do, they are in the process of preparing plans for that now. They do not believe any portion of the roadway would be in the regulated area for wetlands but the lot itself does have wetlands on it and the proposed building and septic will be in the regulated area. It will be another month or so before the health dept can approve the plans. Commissioner Obert asks if the site plans will be available for the next IWC meeting, Mr. Woodis answers yes, that they expect to have the plans ready for the next meeting.
3. **IWA20011** James Jasmine, 518 Brandy Hill Rd, Assessor's map 143, block 16, lot 37, after-the-fact application for partial demolition of retaining wall and construction of new retaining wall on Quaddick Reservoir, stamped received 5/6/2020, statutorily received 5/14/2020 – M. Butts sent a letter to DEEP Commissioner Katie Dykes asking for DEEP to state their position on the unauthorized wall. M. Butts received a response stating that DEEP does not know who owns the lake bottom, but they do have flowage rights and would need more time to research those flowage rights prior to rendering a decision. M. Butts asked for a decision by August 1<sup>st</sup> but has not heard back from them yet and will continue to pursue contact with DEEP to get a response.
4. **IWA20022**, Marc Baer, 1227 Thompson Rd., Assessor's map 116, block 24, lot 10, construct house, well, septic system, driveway and associated grading, stamped received 6/16/2020, converted to individual permit application and statutory received 7/14/2020 – Engineer Daniel Blanchette was present at this meeting, he states the site previously had an old cottage and septic, they were demolished over the winter. Mr. Baer states in May, he received verbal authorization for tree cutting but unfortunately there was some sort of miscommunication along the way, the contractor was removing stumps that was causing earth disturbance and the potential for erosion and he wasn't supposed to do that. At this point work has been stopped since early June, a silt fence was installed at M. Butts request to prevent any erosion. Mr. Blanchette's plan was submitted to NDDH on June 17<sup>th</sup>, on July 20<sup>th</sup> he received a letter from NDDH requesting a couple minor revisions, they wanted more information about the current septic system and the neighbor to the south's septic system, the revisions were made, and the plans were resubmitted to NDDH, he is awaiting approval now. Mr. Blanchette discussed many of the plan details, he addressed the paved driveway, a 4 foot retaining wall above the house closer to the road, they will have temporary erosion control blankets in place on the slope while grass is being established, they are also going to infiltrate a good portion of the runoff from the roof and paved driveway, there will be 3 dry wells in place. Along the shoreline they will be constructing a rock revetment, Mr. Blanchette addressed the citizens question earlier about the location of the revetment. He states the rock wall will stop at Mr. Baer's property line, it will not extend into the lake horizontally,



Mr. Baer will not be gaining any property and the lake will not be losing any real estate. M. Butts says she is going to be compiling a list of questions to send to Mr. Blanchette within the next two weeks, she asks all Commissioners to send her any questions they may have as well as any members of the public that have any questions so she can compile them all and send them with enough time for a response at next month's meeting. Commissioner Roach and Commissioner Obert spoke about the dissatisfaction with the tree debris not being removed from the lake yet, they want the debris removed from the lake immediately and the fence to be fixed if necessary. M. Butts is going to contact Mr. Baer's contractor Mr. Wall tomorrow to talk further about this issue.

5. **WAA20023**, Thomas Murray, 0 Sand Dam Rd., Assessor's map 114, block 24, lot 60B discharge of footing drain associated with the construction of new single-family home, stamped received 6/18/2020, under review pending receipt of additional information – Engineer Bruce Woodis states this lot and the following one, lot 60C, are two previously approved subdivision lots that were approved back in 1991, they are located adjacent to each other on Sand Dam Road. He had soil testing done with the health dept since the previous approval was so old. The health dept has approved this lot, the adjacent lot to the left had required some minor revisions, the depth and degrade was a little too deep for the depth of the test pits that were dug. They have since raised the trenches and resubmitted to the health dept and are expecting a response any day now. He states M. Butts had alerted him that there are a few species in the swamp as well as that area of wetlands and to contact the NDDB for their opinion, as they had done on previous applications. They responded with a letter that told them there are some threatened species, most importantly, there is Poor Fen, and they want them to maintain a 200 ft vegetative buffer from all wetlands to protect the Poor Fen. M. Butts is doing some research on this prior to contacting Dawn McKay from NDDB to discuss this, if there was a 200 ft buffer from the wetlands it would extend all the way out to the road and not allow any building on the approved subdivision lots.
6. **WAA20024**, Thomas Murray, 0 Sand Dam Rd., Assessor's map 114, block 24, lot 60C construct new single-family home, driveway and footing drain portions of which are located in the 100-foot upland review area, stamped received 6/18/2020, under review pending receipt of additional information – See above **WAA20023**.
7. **WAA20025**, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6H, subdivision lot 8), construct and discharge footing drain in 100-foot upland review area for a new single family home, stamped received 7/6/2020, issued 7/10/2020, legal notice published 7/17/2020, appeal period ended 8/1/2020 – Decision is final on the application.
8. **WAA20026**, WBA Real Estate LLC, 22 Woodstock Road (Assessor's map 29, block 104, lot 23), septic repair, parking lot improvements and access road for future site development, stamped received by the Town Clerk 7/10/2020, under review – In the rear of this building there is an old gravel parking area. They want to make improvements; they want rain gardens for roof runoff and water coming from the parking area sent to an intermittent water course which is partially culverted already. They want the discharge runoff at the outlet of the culvert that is already there. M. Butts requests the commission to convert this application from a wetland's agent approval to an individual permit approval due to the discharge from the storm water system

and the rain gardens is going directly to the watercourse. Commissioner Obert makes a motion to convert this from **WAA20026** to **IWA20026**, seconded by Commissioner Morano, there was no discussion, all in favor, no opposition, motion approved.

b) New Applications

1. **WAA20027**, Richard & Lynn Skowronski, 21 Richard Bennett Lane (Assessor's map 137, block 7, lot 5K), construct in ground pool, shed and driveway paving in the 100-foot upland review area, stamped received 7/14/2020, approved 8/3/2020, legal notice to be published 8/14/2020 – Legal notice will be posted a week later, no further action.
2. **WAA20028**, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6C, subdivision lot 3), construct a new single-family home, stamped received 8/3/2020, application returned as no work was proposed in wetlands, watercourses or 100-foot upland review area – M. Butts received a check along with this application for \$550 to cover 5 lots on Madison Avenue. Lot 3 did not involve any regulated activities, so M. Butts returned the check with the application by mail and asked the engineer for individual permits for each of the individual 4 applications coming in. She received all applications except for lot 18.
3. **WAA20029**, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6E, subdivision lot 5), grading and footing drain for new single-family home, stamped received 8/3/2020, under review – pending.
4. **WAA20030**, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6F, subdivision lot 6), footing drain for new single-family home, stamped received 8/3/2020, under review – pending.
5. **WAA20031**, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6K, subdivision lot 11), driveway and grading for new single-family home, stamped received 8/3/2020, under review – pending.
6. **WAA20032**, David Poplawski, 1247 Thompson Rd (Assessor's map 116, block 24, lot 12), reconstruct single family home, septic system & driveway in 100-foot upland review area, stamped received 8/3/2020, under review – M. Butts is still reviewing this, no decision made yet.

c) Applications Received After Agenda was Published - None

F) Permit Extensions / Changes - None

G) Violations & Pending Enforcement Actions

- a) **Cease & Restore Order VIOL20003** Scott Josey, 637 East Thompson Road, Assessor's map 154, block 5, lot 14: filling of wetlands and work within 100-foot upland review area, issued 3/5/2020, hearing and decision 3/10/2020 soil scientist report submitted 5/10/2020 approved, and to be work completed by 9/15/2020 – No action at this time, there is still time for this work to be completed.
- b) **VIOL20013**, Adrienne Martin and Joseph Fagan, 208 Linehouse Rd, Assessor's map 36, block 70, lot 4, clearcutting of trees and earth moving work in 100-foot upland review area, Notice of Violation issued 5/14/2020 to remove the slash, pull back the soil along the eastern property boundary to a grade no steeper than 3:1 (i.e. 3 feet horizontal to 1 foot vertical) by 6/1/2020 and immediately following the completion of this work, seed and mulch all disturbed soils, 7/14/2020 granted extension to 10/1/2020 for completion of work – No action at this time.

- c) **VIOL20018**, Marc Baer, 1227 Thompson Rd, Assessor's map 116, block 24, lot 10, clearcutting trees and earth moving work in 100-foot upland review area for Little Pond, Notice of Violation issued 5/27/2020 to cease tree cutting and earth moving work, install E&S controls and by 6/3/2020 provide written explanation for work done and schedule for submitting application (see Application WAA20022 above) – This was addressed in the above agenda item E.) a.) 4.) **IWA20022**.
- d) **VIOL20019**, Patrick Wall & Wall Excavation and Home Improvement LLC, 1227 Thompson Rd, Assessor's map 116, block 24, lot 10, clearcutting trees and earth moving work in 100-foot upland review area for Little Pond. Notice of Violation issued 5/28/2020 to cease any further earth moving work until a permit or wetlands agent approval is issued and immediately install E&S controls along Little Pond – This is addressed in above agenda item E.) a.) 4.) Also a copy of the letter that was sent to Mr. Wall was shown in the provided documents. Mr. Baer states he did not receive a copy of this letter, there is a chance this may be due to the recent power outages to our area due to the tropical storm.
- e) **VIOL20033**, Jennifer Burlingame & Robert Lemieux, Jr., 480 Quaddick Town Farm Rd., Assessor's map 158, block 20, lot 8K, filling / earthmoving within 100-foot upland review area and possibly within delineated wetlands. Notice of Violation issued 8/6/2020 to cease any further earthmoving work and by August 20, 2020 provide an explanation for the earth moving work and the reason why an approval was not sought prior to the initiation of work within 100 feet of delineated wetlands – A photograph was shown showing the fill embankment, the fill was located within the 100ft upland review area as shown on a map, the question is, did they go into the wetlands or not. M. Butts sent a letter by certified mail to ask them to explain what was going on and what their intentions are for the future. She is awaiting a response.

#### H) Other Business

- a) Protocol for Emergency Work in Wetlands & Watercourses by Public Works Department - A written protocol for emergency work in wetlands and watercourses by the Public Works Department is being developed as a result of Complaint 20-10 involving the rip rapping of the French River at Riverside Park by Public Works earlier this year. First Selectman Amy St. Onge is working with the Wetlands Office to develop a written protocol for consideration by the Inland Wetlands Commission on how to address future emergencies requiring work in wetlands and/or watercourses by the Public Works Department. The protocol is expected to include requirements for documentation of the emergency conditions and consent by the First Selectman prior to any work being performed and subsequent notification of the Wetlands Office for after-the-fact authorization. The language is being worked out at this time.

#### I) Reports

- a) Budget & Expenditures – Per Commissioner Chapin, \$1,779.14 was expended which is 7.1% of the budget. There is \$23,957.86 left available in the budget.
- b) Wetlands Agent Report -

**UPDATES-** Status of Court Appeal on Application IWA15029, River Junction Estates, LLC, same as last month, pending decision. MS4 Annual Report & Follow Up Actions, contracts have been entered into for FY 19-20, contracts needed for FY 20-21, report still pending. No progress has been made on the pre-1990 file destruction.

**INSPECTIONS/FOLLOWUP ACTIONS-** Complaint 20-05 Report of dumping of pony manure in wetlands off of Hiawatha Dr. – Carolyn Werge has conducted an initial review.

Miscellaneous debris dumping by parties unknown on town property acquired by non-payment of taxes. Need to conduct coordinated inspection to determine course of action.

Complaint 20-09 Flooding problems at 361 Brandy Hill Rd caused by street drainage – Information provided by NDDH has been forwarded to the Selectman’s Office. Point of contact is now the First Selectman’s Office for resolution.

Complaint 20-10 Rip Rapping of French Riverbank in Riverside Park – No action is planned at this time with the expectation that an acceptable emergency operations protocol is put into place for future work.

There were 8 building permits reviewed and there were no miscellaneous items.

**PURCHASE REQUISITIONS STATUS**

- Paid \$58.80 (PO 120432, FY 19-20) Stonebridge Press legal notice Madison Avenue Investments LLC and Carol Weiss WAA20015.
  - Paid \$73.50 (PO 120438, FY 19-20) Stonebridge Press legal notice, Saywatt Hyrdoelectric LLC, WAA20016, Mark Labonte, WAA20017 and Desrochers, WAA20012.
  - Paid \$44.10 (PO 120498, FY 19-20), Stonebridge Press legal notice Joshua & Jessica Rhodes, WAA20020 and Beverly Walker POA for Dorothy Wetherbee, WAA20021.
  - Encumbered \$50.00 (PO 121057, FY 20-21, Stonebridge Press legal notice, Madison Avenue Investments, LLC, WAA20025.
- J) Correspondence - None
- K) Signing of Mylars -None
- L) Comments by Commissioners – Commissioner Obert offered to accompany M. Butts to go out to any sites she needs to visit, she will be in contact with him to set up a day and time.
- M) Adjournment – Motion made by Commissioner Morano seconded by Commissioner Obert to adjourn the meeting at 8:54pm carried unanimously.

Topic: Inland Wetlands Commission

Date: Aug 11, 2020 06:45 PM Eastern Time (US and Canada)

Share recording with viewers:

[https://us02web.zoom.us/rec/share/18M2IJz8r0FLGomX6kP1f6g6J9XdT6a80Sgfr6dcykuMAfA9CH7H4E86Pm\\_rvS1Y](https://us02web.zoom.us/rec/share/18M2IJz8r0FLGomX6kP1f6g6J9XdT6a80Sgfr6dcykuMAfA9CH7H4E86Pm_rvS1Y)

Password: fdL%5KJ9

Agenda Item D.  
Citizens Comments on Agenda Items

## Agenda Item E.a) 1. Old Applications

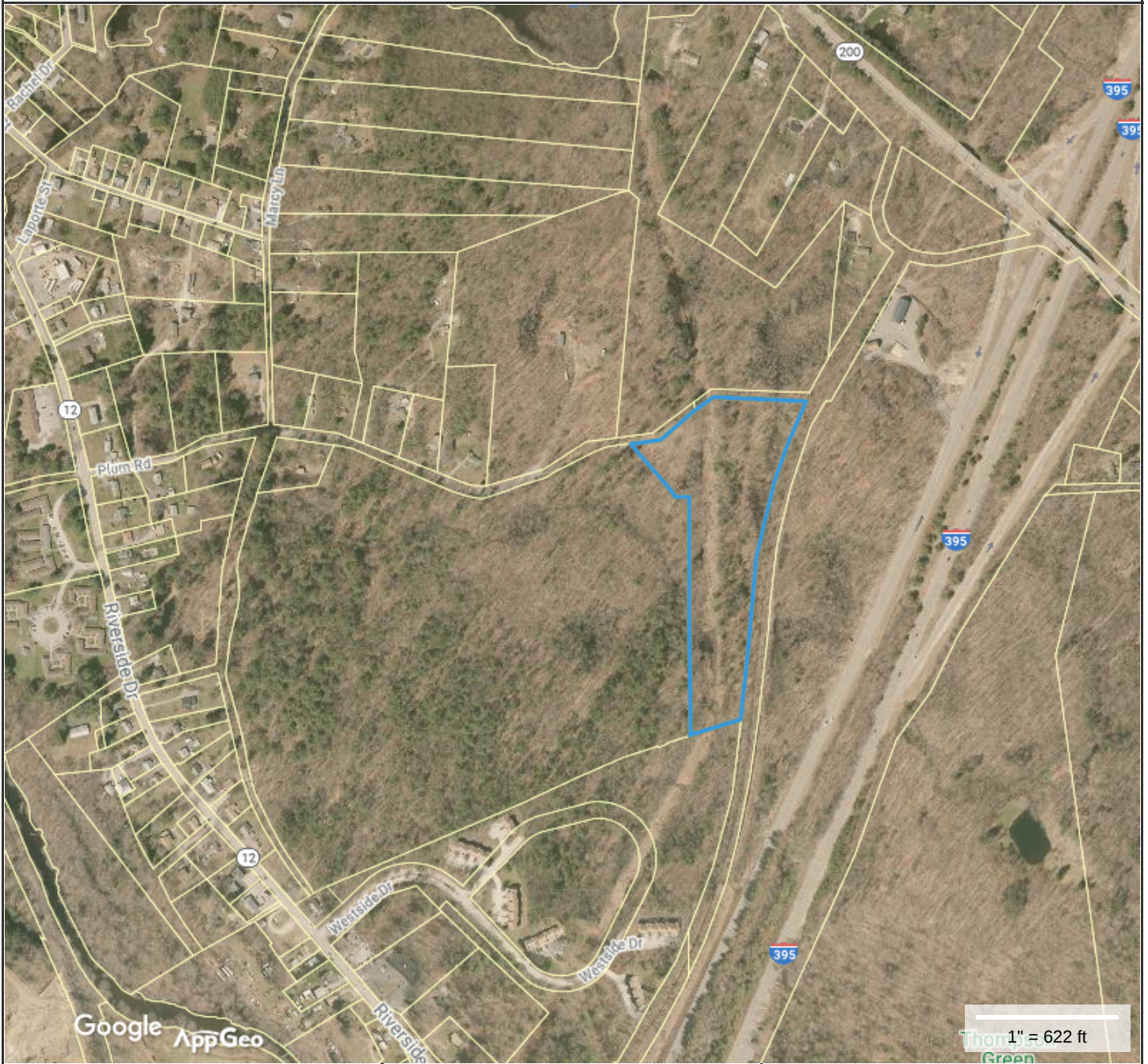
**WAA20004** Richard T. Audet, 50 Wrightson Dr, Assessor's map 143, block 17, lot 18, construct 20' X 24' shed on piers in the 100-foot upland review area for Quaddick Reservoir, stamped received 2/5/2020, under review pending handing roof runoff.



## Agenda Item E.a) 2.Old Applications

**WAA20009** Hallet T. Merrick, 0 Plum Road, Assessor's map 85, block 52, lot 12, construction of single family home, septic system and portion of home proposed in 100 foot upland review area, stamped received 4/13/2020, under review pending receipt of additional information.

### Locus of Application WAA20009 Merrick 0 Plum Road (blue outline)



**Property Information**

**Property ID** 2259  
**Location** 0 PLUM RD  
**Owner** MANN BRETT L + DOROTHY A



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated April 1, 2018  
Data updated April 1, 2018

## Agenda Item E.a) 3. Old Applications

**IWA20011** James Jasmine, 518 Brandy Hill Rd, Assessor's map 143, block 16, lot 37, after-the-fact application for partial demolition of retaining wall and construction of new retaining wall on Quaddick Reservoir, stamped received 5/6/2020, statutorily received 5/14/2020.

**Date:** 07/28/2020 [10:07:38 AM CDT]  
**From:** wetlands@thompsonct.org  
**To:** "Florek, Brian" <Brian.Florek@ct.gov>  
**Cc:** "Hannon, Robert" <Robert.Hannon@ct.gov>, "Lugli, Nicole" <Nicole.Lugli@ct.gov>, "George O'Neil, IWC Chair" <goneil3@thompsonct.org>, Daniel Blanchette <daniel@jdcivilengineers.com>  
**Subject:** Re: Request for DEEP's Position on Unauthorized Retaining Wall Extending into Quaddick Reservoir, Thompson, Application IWA20011

Good Morning Brian, Bob & Nicole,

Good talking to you yesterday. I just wanted to confirm my understanding of our conference call from yesterday starting at ~12:15 pm. This call was in response to my letter to Commissioner Dykes requesting DEEP's position on the after-the-fact inland wetlands application for an unauthorized retaining wall constructed in Quaddick Reservoir at 518 Brandy Hill Rd, Thompson. Since DEEP owns the flowage rights for Quaddick Reservoir but is unclear as to who owns the bottom of Quaddick Reservoir, your office will look into how the intrusion into the Reservoir relates or impacts those flowage rights and if DEEP has an objection to or opinion on the pending application. It was noted the response to the NDDB request is handled by another office in DEEP.

Also, I advised you that the IWC has received written permission from the abutting property owner for maintenance of the northern portion of the retaining wall on their property.

The date for a reply was given as August 1st in an attempt to have a reply by the next Inland Wetlands Commission meeting scheduled for August 11th. But given Governor Lamont's Executive Order (i.e. 7I, section 19) granting an extension of 90 days for municipal land use decisions the IWC is not required to render a decision at its August meeting. Understanding that you need more time to research the flowage rights issue, could you provide an anticipated target date for a response to my request?

Please advise me if I am in error of my understanding. I await your reply. Thanks. - Marla

Quoting "Florek, Brian" <Brian.Florek@ct.gov>:

Good morning Marla,  
Would you time next Monday to discuss this with Nicole Lugli, Bob Hannon and myself? It would be after 9:30. I'll pin down a time if you're available.  
Thank you,  
Brian Florek  
DEEP Supervisor of Surveys and Mapping

---

From: wetlands@thompsonct.org <wetlands@thompsonct.org>  
Sent: Friday, July 17, 2020 9:06 AM  
To: Dykes, Katie <Katie.Dykes@ct.gov>  
Cc: Florek, Brian <Brian.Florek@ct.gov>; Daniel Blanchette <daniel@jdcivilengineers.com>; James Jasmin <jjasmin.ctp@sbcglobal.net>; Winther, Darcy <Darcy.Winther@ct.gov>  
Subject: Request for DEEP's Position on Unauthorized Retaining Wall Extending into Quaddick Reservoir, Thompson, Application IWA20011

Dear Commission Dykes,

Attached you will find a PDF copy of my letter and supporting documents containing a request for DEEP's position on an unauthorized retaining wall extending into Quaddick Reservoir from 512 Brandy Hill Road in Thompson, CT. This request is time sensitive as the Thompson Inland Wetlands Commission is processing an after-the-fact wetlands permit applications (#IWA20011). Given the difficulties created by the Corona pandemic I thought it expedient to send you this request electronically and will be forwarding the hard copy original via US mail next Monday when I return to the Wetlands Office.

Thank you for your time and attention in this matter. I await DEEP's reply. - Marla Butts, Thompson Wetlands Agent

--  
Marla Butts  
Thompson Wetlands Agent  
860-923-1852, Ext. 1  
wetlands@thompsonct.org

## Agenda Item E.a) 4. Old Applications

**IWA20022**, Marc Baer, 1227 Thompson Rd., Assessor's map 116, block 24, lot 10, construct house, well, septic system, driveway and associated grading, stamped received 6/16/2020, converted to individual permit application and statutory received 7/14/2020.





Town of Thompson  
Inland Wetlands Commission

815 Riverside Drive  
North Grosvenordale, CT 06255  
860-923-1852 (Office) email: wetlands@thompsonct.org

August <sup>21</sup>~~28~~, 2020

Daniel Blanchette, P.E.  
J&D Civil Engineers, LLC  
401 Ravenelle Road  
N. Grosvenordale, CT 06255

RE: Request for Clarification and Additional Information  
Application IWA20022, Marc Baer  
1227 Thompson Rd, Thompson

Dear Mr. Blanchette

This is to provide you with the details of a site inspection held on August 17, 2020. It is also to request additional information and clarification of the regulated activities proposed in Application IWA20022 at 1227 Thompson Road as a result of the site inspection and my review of the site plans dated revised 8/8/2020 and received by the Wetlands Office on 8/17/2020.

### The Inspection

The site inspection was attended by Patrick Wall, Marc Baer, his daughter, several of his grandchildren, IWC Commissioner Charles Ober and later, by abutters Dale & Jean Harger. The purpose of the inspection was to discuss woody debris removal from Little Pond and the construction methodology for of the revetment proposed along the shoreline of Little Pond. At the time of the inspection the woody debris had already been removed.

Mr. Wall described the construction of the revetment. Starting from the north he planned build the revetment, in sections of unspecified length, by excavating the base of the revetment, placing selected stones already on site with the larger stones at the base. Then as one section of the revetment was complete, construction would move south in a leap frog fashion. The plans call for the stones to be placed with an underlayment of a geotextile covered with 3 inches of crushed stone. Mr. Wall expressed concern that to properly place the large stones the geotextile would likely be torn. I concur. We discussed the possibility of replacing the geotextile with a deeper layer of crushed stone. We discussed sediment control alternatives along the shore line during the construction of the revetment. The plans call for the installation of a straw wattle that would sit in the water. Mr. Wall agreed to look into the use of a turbidity curtain that would be moved along with the active revetment construction. He was going to look into finding a supplier. As portions of the revetment were completed Mr. Wall suggested placing a wood chip berm at the top of the revetment to control sediment movement from the disturbed portion of the site.





We walked up the driveway towards the southern property boundary. Mr. Wall stated that there was an intention to place fill between the driveway and the southern property line. Most of this filling would be within the upland review area and it is not shown on the plans, nor was it clear how runoff would travel off the property. Mr. Wall suggested a ditch or swale could be created to prevent runoff being directed on to the neighboring property of Mr. Harger. This also is not shown on the plans.

We then spoke with the abutter, Mr. Harger, and discussed the removal of trees on the Baer property located near the Harger property. Mr. Harger requested all trees located along the eastern half of the border be cut down except for several groupings of birch trees. Mr. Wall said the trees would be cut to ground level and the stumps would remain in place. Further he would provide colored flagging to Mr. Harger that he could attach to the trees Mr. Harger specifically wanted to remain. Mr. Harger requested the birch trees be topped as recommended by his arborist. Mr. Wall said he won't do that. Mr. Baer said Mr. Harger could have his arborist top the trees if that's what he wanted. Mr. Baer was agreeable to the tree cutting provided Mr. Harger provided Mr. Baer with a signed release.

There was a question of DOT permits for both 1227 & 1232 Thompson Rd. Mr. Baer gave me a copy of the DOT permit for 1232 Thompson Rd. issued on 8/11/2020. Mr. Wall said the DOT permit for 1227 Thompson Rd. had been held up and that he had recently forwarded a requested right-of-way map to CTDOT, which he believed you had a copy that I could obtain.

### **Requested Clarification and Additional Information**

The following clarification is requested and appropriate modifications to the site plans be submitted for consideration at the next Inland Wetlands Commission meeting scheduled for September 8, 2020:

- 1) On sheet 1 of 2 on the plan:
  - a) Identify the limits of land disturbance.
  - b) Adjust the proposed grades to reflect any proposed filling not currently identified on the plans.
  - c) If filling is to occur along the south eastern property boundary, then identify how runoff will be handle without damage to the abutting property.
  - d) For the identified "gravel parking", which is currently an existing condition, either identify if it is to be abandoned or given the extent of proposed curbing either explain how the "gravel parking" area is to be modified for use or adjust the curbing length to make if functional.
  - e) Provide material specifications and details for the construction of the 4 foot retaining wall located immediately west of the proposed home and garage, including backfill and drainage requirements.
- 2) On sheet 2 of 2 or additional sheet provide:
  - a) A narrative of the methodology for the construction of the revetment.

- b) A sequence of construction along with a proposed schedule of construction for all aspects of work proposed.
  - c) A detail for the northern terminus of the revetment given the existing grades are at least 1 foot below the top of the revetment.
  - d) Identify the design & specifications for a graded filter blanket as an alternative to the proposed geotextile and 3 inch of crushed stone in compliance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.
  - e) Identify the specifications, installation and relocation instructions for a turbidity curtain to be used during the construction of the revetment.
- 3) Given the absence of an iron pin for the southern property boundary please provide a verification statement by a land surveyor licensed to practice in Connecticut that the terminus of the proposed revetment is located on the applicant's property, such verification may be made by the setting of an iron pin at the property boundary using standard survey practices and marked on Plan sheet 1 of 2.

To provide adequate time for review before the next Inland Wetlands Commission meeting, please forward the requested information as soon as possible, but no later than Monday, September 7, 2020. Thank you for your time and attention.

Sincerely



Marla Butts  
Wetlands Agent

File: Itr 08-21-2020 IWA20022 Request Clarification & Additional Info

cc via email: Marc Baer  
Patrick Wall  
Dale Harger

Received 9/4/20 9.A.M. T.C. Linda Paradise ASST

# J & D CIVIL ENGINEERS

401 Ravenelle Road  
North Grosvenordale, CT 06255  
office@jdcivilengineers.com  
860-923-2920

## LETTER OF TRANSMITTAL

Date: 9/3/2020 Job No. 19216
Attention: MARLA BUTTS
Re: REVISED PLANS FOR MARC BAER

TO: Town of Thompson  
Inland Wetlands

We are sending you:  Attached  Under Separate Cover via \_\_\_\_\_ the following items:  
 Shop Drawings  Prints  Plans  Samples  Specifications  
 Copy of Letter  Change Order  \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
2	9/2/20		SITE PLANS (2 SHEETS)
2	—		TURBIDITY CURTAIN SPEC
2	9/1/20		APP B APPROVAL
2	9/1/20		B100A APPROVAL

THESE ARE TRANSMITTED as checked below:

- For Approval  Approval as submitted  Resubmit \_\_\_\_\_ copies for approval
- For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution
- As requested  Returned for corrections  Return \_\_\_\_\_ corrected prints
- For review and comment  \_\_\_\_\_
- FOR BIDS DUE \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US

REMARKS:

\_\_\_\_\_

Received

SEP 04 2020

Thompson Wetlands Office

\_\_\_\_\_

COPY TO: \_\_\_\_\_ SIGNED: [Signature]



**TEST PIT RESULTS**

OBSERVED BY: SHERRY MCGANN  
DATE: DECEMBER 16, 2019

**PIT NO. 1**

0 - 8" TOPSOIL  
8 - 46" RB/YB FINE SANDY LOAM  
46 - 102" RED COARSE SAND AND GRAVEL W/ COBBLES

MOTTLING: N/A  
RESTRICTIVE: N/A  
LEDGE: N/A  
WATER: N/A  
ROOTS: 46"

**PIT NO. 2**

0 - 4" TOPSOIL  
4 - 75" MEDIUM COARSE SAND AND GRAVEL W/ COBBLES

MOTTLING: 66"  
RESTRICTIVE: N/A  
LEDGE: N/A  
WATER: 75"  
ROOTS: 41"

SOUTH END OF TEST PIT DISTURBED,  
CONTAINS GRAVELLY FILL

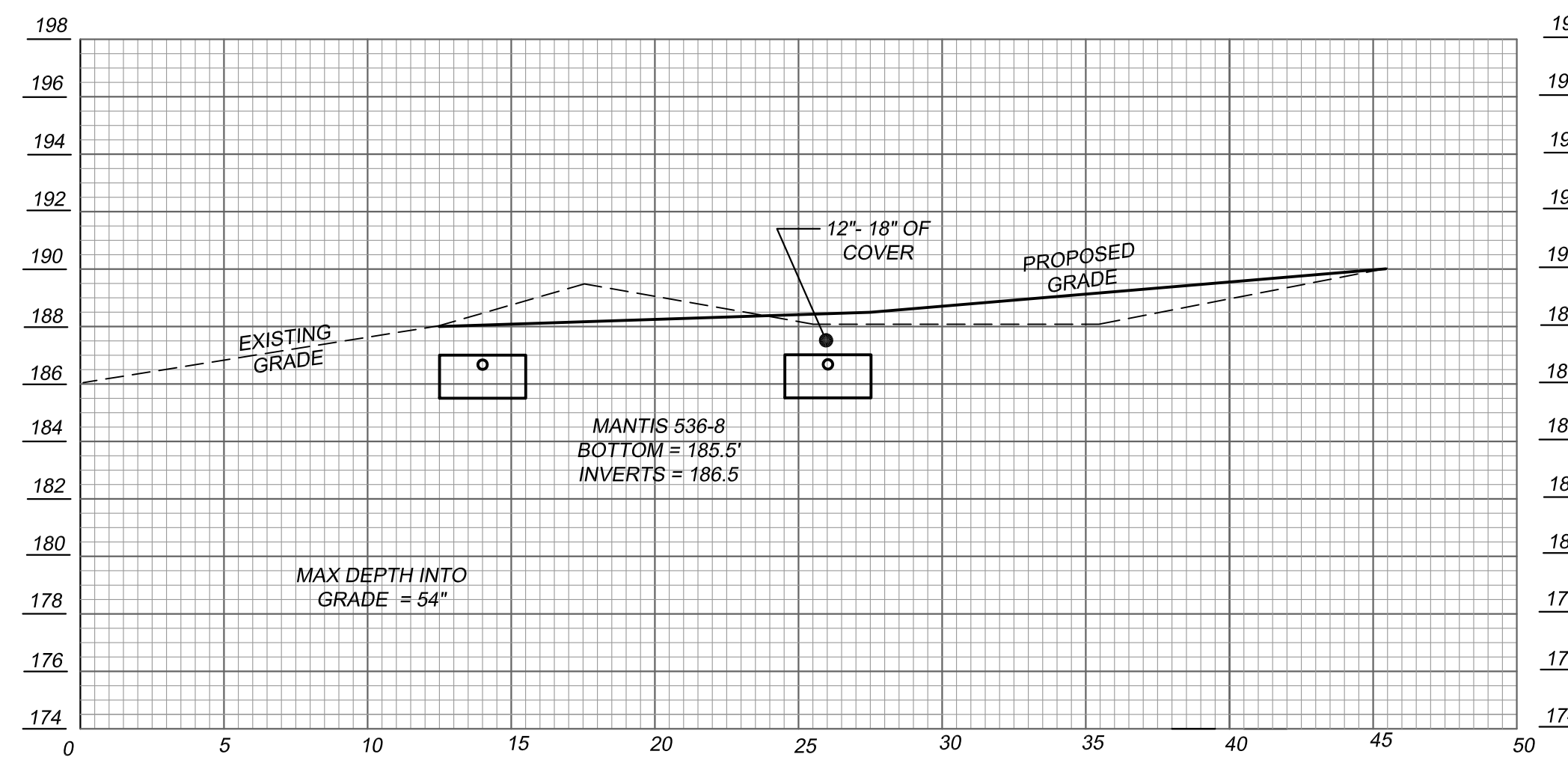
**PERC. TEST RESULTS**

OBSERVED BY: SHERRY MCGANN  
DATE: DECEMBER 16, 2019

**HOLE A - NEAR TP 1**

TIME	READING
11:02	6.50"
11:07	9.00"
11:12	9.75"
11:17	10.25"
11:27	11.25"
11:37	12.25"
11:47	13.25"

DEPTH: 48"  
RATE: 10 MIN/IN



**LEACHING FIELD CROSS SECTION A-A**  
1" = 5'

**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1986.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN NOVEMBER 2019, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: "PROPERTY SURVEY PLAN DEPICTING LAND OF ANNE P. BAER AND PAUL A. BAER, 1217 AND 1227 THOMPSON ROAD, THOMPSON CT." PREPARED BY CME ASSOCIATES, INC. DATE SEPT 27, 2005. SCALE 1" = 40'. ON FILE AS MAP 1516.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE LICENSE

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE  
© 2020 J&D CIVIL ENGINEERS, LLC

**SEPTIC SYSTEM DESIGN CRITERIA**

NUMBER OF BEDROOMS: 5  
SEPTIC TANK: 1500 GALLON  
PERC RATE: 10 MINS/INCH  
MOTTLING: N/A; LEDGE: N/A; WATER: N/A; RESTRICTIVE: N/A; SLOPE: 3%  
LEACHING AREA REQUIRED: 660 SQUARE FEET  
MLSS REQUIRED = N/A  
LEACHING AREA PROVIDED: 60' OF MANTIS 536-8 = 660 SQUARE FEET  
LSS PROVIDED = 30'

**SPECIFICATIONS**

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.  
ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 6 HOLE D-BOX WITH BAFFLE

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2865 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION SYSTEM: ELJEN MANTIS 536-8

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

SELECT FILL MATERIAL SHALL EXTEND A MINIMUM OF 10' BEYOND THE LOWEST TRENCH BEFORE TAPERING OFF.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

**EROSION AND SEDIMENT CONTROL NOTES:**

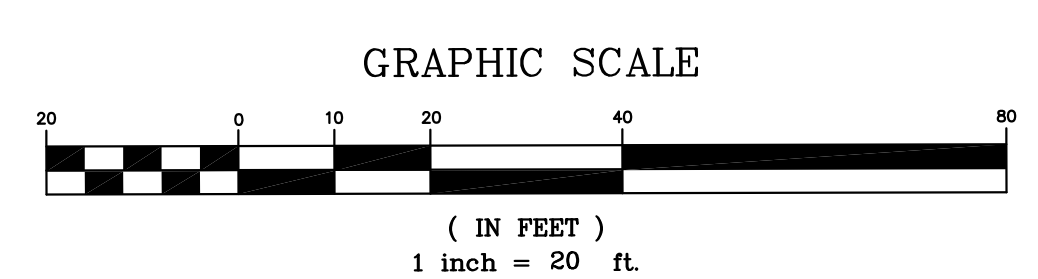
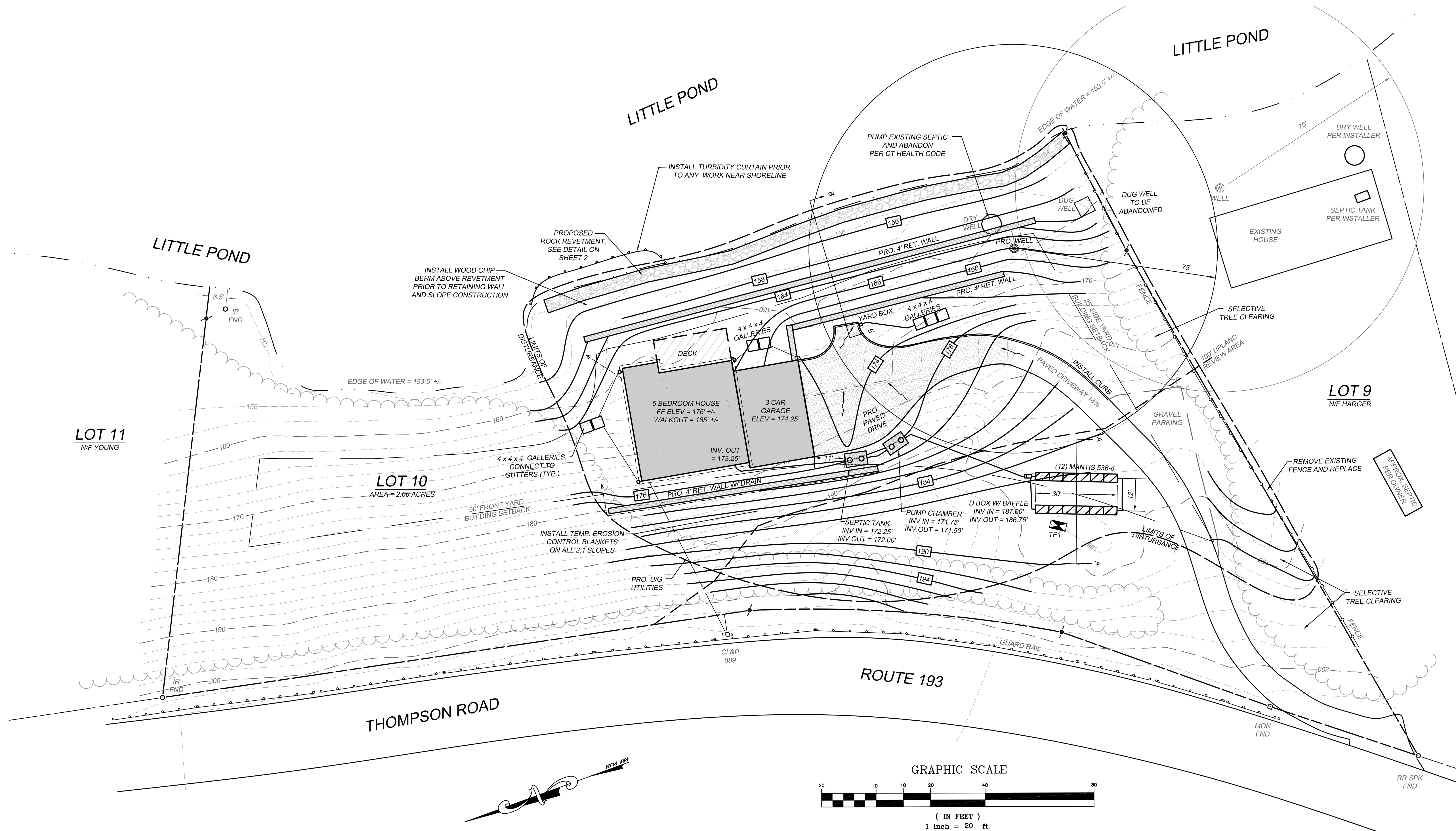
1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

**FLOOD ZONE**

THE PROPERTY ABUTS FLOOD ZONE A. (NO ELEVATION) PER FLOOD MAP 090117 0010B, DATED 11-1-84. THE FLOOD ZONE IS APPROXIMATELY THE HIGH WATER LINE OF THE POND.

**LEGEND**

- BUILDING SETBACK LINE
- - - PROPERTY LINE
- · - · - EXISTING CONTOUR LINE
- · - · - PROPOSED CONTOUR LINE
- · - · - EDGE OF WATER
- · - · - UPLAND REVIEW AREA
- · - · - EROSION CONTROL DEVICES
- TEST PIT
- ▭ LEACHING TRENCH
- STONEWALL
- UTILITIES
- TREELINE

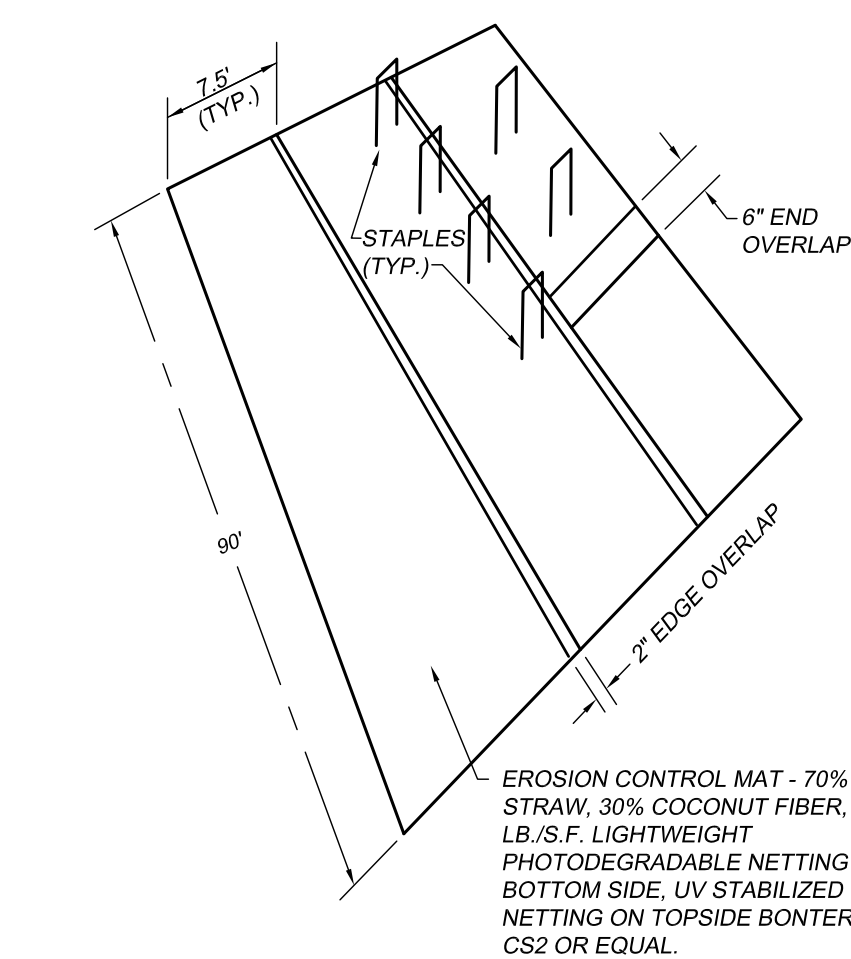
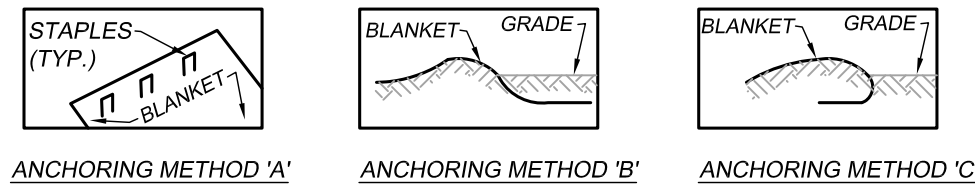


**SITE DEVELOPMENT PLAN**  
PREPARED FOR  
**MARC BAER**  
1227 THOMPSON ROAD - THOMPSON, CT  
MAP 116 BLOCK 24 LOT 10

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: <b>DRB</b>	REVISIONS: 2020-08-05 NDDH COMMENTS 2020-09-01 WETLANDS COMMENTS
CHECKED: <b>DRB</b>	
JOB NO: <b>19216</b>	DATE: <b>JUNE 15, 2020</b>
SCALE: <b>1" = 20'</b>	SHEET: <b>1 OF 2</b>

NDDH FILE #20000144



**INSTALLATION NOTES ON SLOPES:**

- GRADE AND SMOOTH SLOPE. APPLY FERTILIZER AND SEED PRIOR TO INSTALLING BLANKETS UNLESS USED AS TEMPORARY SEASONAL COVER.
- ANCHOR BLANKETS AT TOP OF SLOPE. USE ANCHORING METHOD "A" FOR 4:1 SLOPES, "B" FOR 3:1 SLOPES AND "C" FOR 2:1 AND STEEPER SLOPES.
- UNROLL BLANKETS IN DIRECTION OF WATER FLOW. PLACE BLANKETS LOOSELY AND IN FULL CONTACT WITH THE SOIL.
- OVERLAP BLANKET EDGES APPROXIMATELY 2" AND STAPLE. NOTE: INSTALL BLANKETS SO EDGE OVERLAPS ARE SHINGLED AWAY FROM PREVAILING WIND.
- OVERLAP BLANKET ENDS 6", UPPER BLANKET OVER LOWER BLANKET, AND STAPLE USING FIVE STAPLES (ANCHOR "A").
- CUT EXCESS BLANKET WITH SCISSORS AND ANCHOR AT END OF SLOPE. USE ANCHORING METHOD "A" FOR 4:1 SLOPES AND "B" FOR SLOPES 3:1 OR STEEPER.

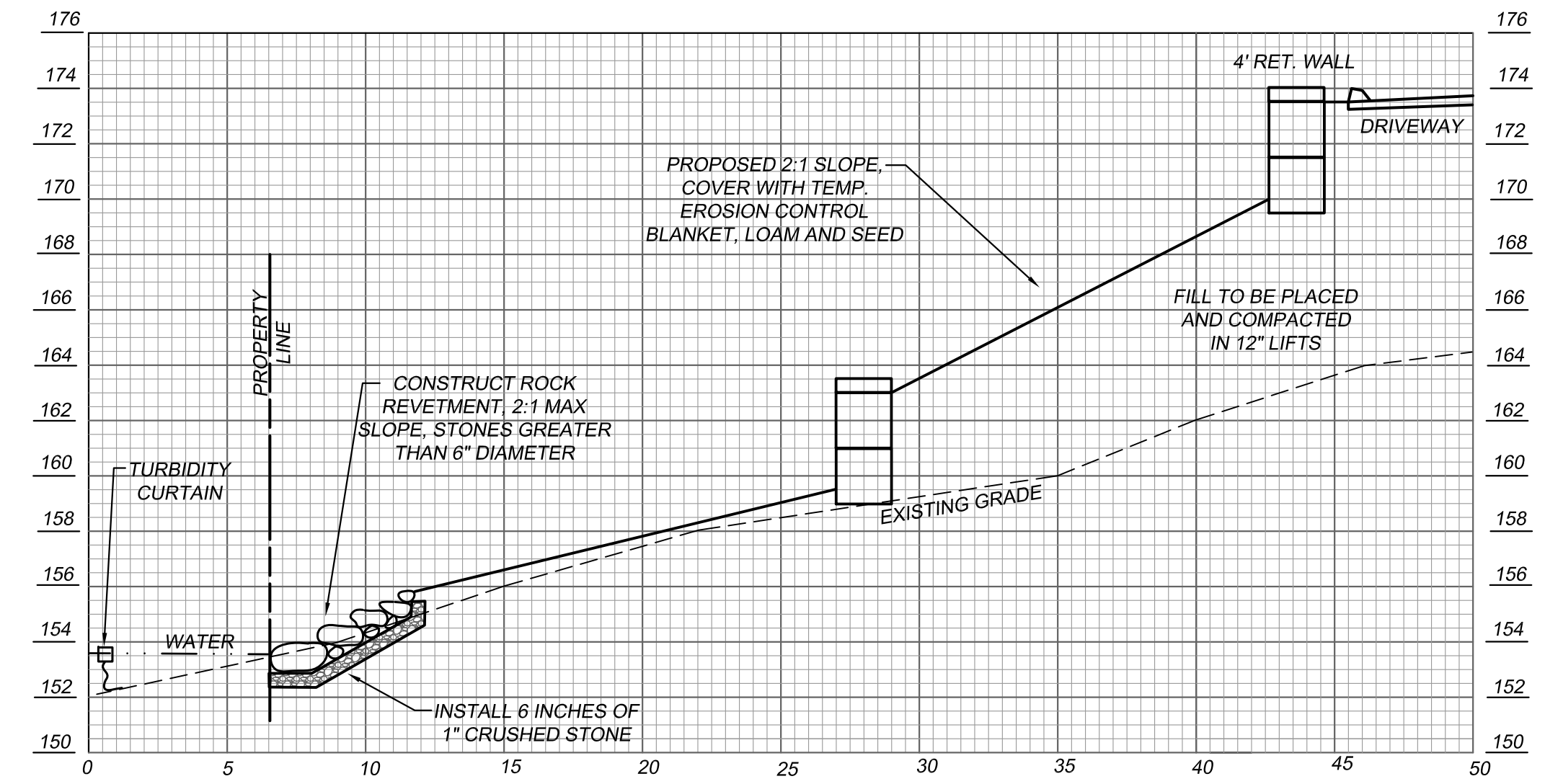
**EROSION CONTROL BLANKET DETAIL N.T.S.**

**CONSTRUCTION SEQUENCE FOR REVETMENT**

1. REVETMENT CONSTRUCTION SHALL BEGIN AT THE NORTHERN END.
2. REVETMENT SHALL BE BUILT IN SECTIONS OF 50' AT A TIME, TO MINIMIZE THE AMOUNT OF SIMULTANEOUS DISTURBANCE.
3. INSTALL TURBIDITY CURTAIN AROUND INITIAL SECTION. TURBIDITY CURTAIN SHALL BE "MUTUAL INDUSTRIES, TYPE 1, 5' X 50' TURBIDITY CURTAIN" OR EQUIVALENT. TURBIDITY CURTAIN MAY BE ANCHORED AT THE SHORELINE WITH STAKES, OR ALTERNATIVELY, ANCHORED USING CABLES AND CONCRETE WEIGHTS. DANFORTH ANCHORS OR SIMILAR SHALL NOT BE USED. THE CONTRACTOR SHALL PROVIDE SUFFICIENT ANCHORAGE TO PREVENT ANY MOVEMENT OF THE CURTAIN, AND SHALL FOLLOW ALL OTHER MANUFACTURER'S INSTRUCTIONS.
4. EXCAVATE APPROXIMATELY 6" OF SHORELINE, TO A DEPTH OF APPROXIMATELY 1' BELOW THE WATER LINE.
5. CONSTRUCT BASE WITH 1" CRUSHED STONE TO A DEPTH OF 6".
6. INSTALL THE FIRST COURSE OF BOULDERS, USING THE LARGEST ONES.
7. BACKFILL FIRST COURSE USING 1" CRUSHED STONE.
8. INSTALL THE SECOND COURSE OF BOULDERS AND BACKFILL.
9. ONCE REVETMENT IS CONSTRUCTED TO FULL HEIGHT, CONSTRUCT WOOD CHIP BERM ALONG TOP TO CONTROL EROSION.
10. PROCEED TO NEXT 50' SECTION. WHEN MOVING THE TURBIDITY CURTAIN, AVOID DRAGGING THE FABRIC OVER SHARP ROCKS OR STICKS.

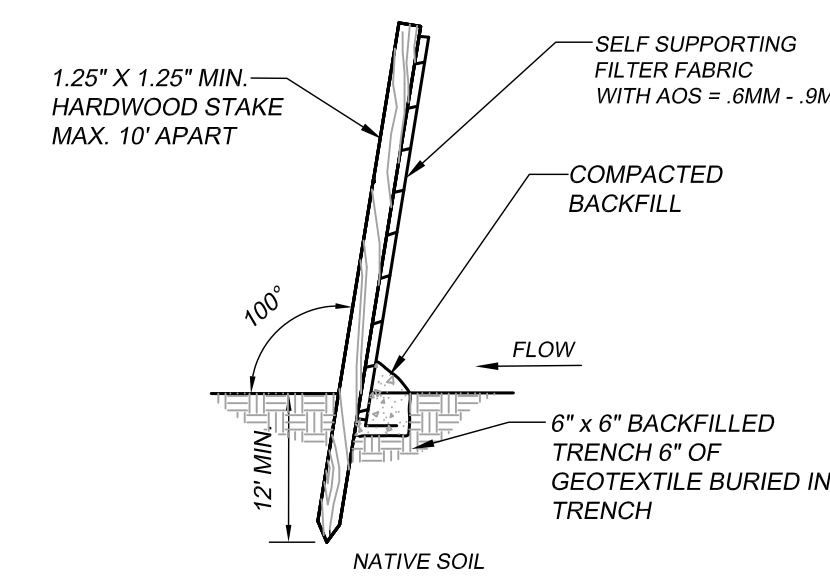
**GENERAL CONSTRUCTION SEQUENCE**

1. CONSTRUCT REVETMENT ALONG SHORELINE (SEE ABOVE).
2. PERFORM ROUGH CUTS AND FILLS ACROSS SITE.
3. DRILL WELL.
4. EXCAVATE FOUNDATION HOLE AND POUR FOUNDATION.
5. BACKFILL FOUNDATION.
6. CONSTRUCT RETAINING WALLS, STARTING NEAR WATER AND WORKING UPHILL.
7. INSTALL SEPTIC SYSTEM.
8. CONNECT UTILITIES (ELECTRIC, WATER, SEWER).
9. PERFORM FINE GRADING, INSTALL EROSION CONTROL BLANKET WHERE APPROPRIATE, AND LOAM AND SEED ALL DISTURBED AREAS.
10. PAVE DRIVEWAY
11. REMOVE EROSION CONTROL ONCE SLOPES ARE STABILIZED.



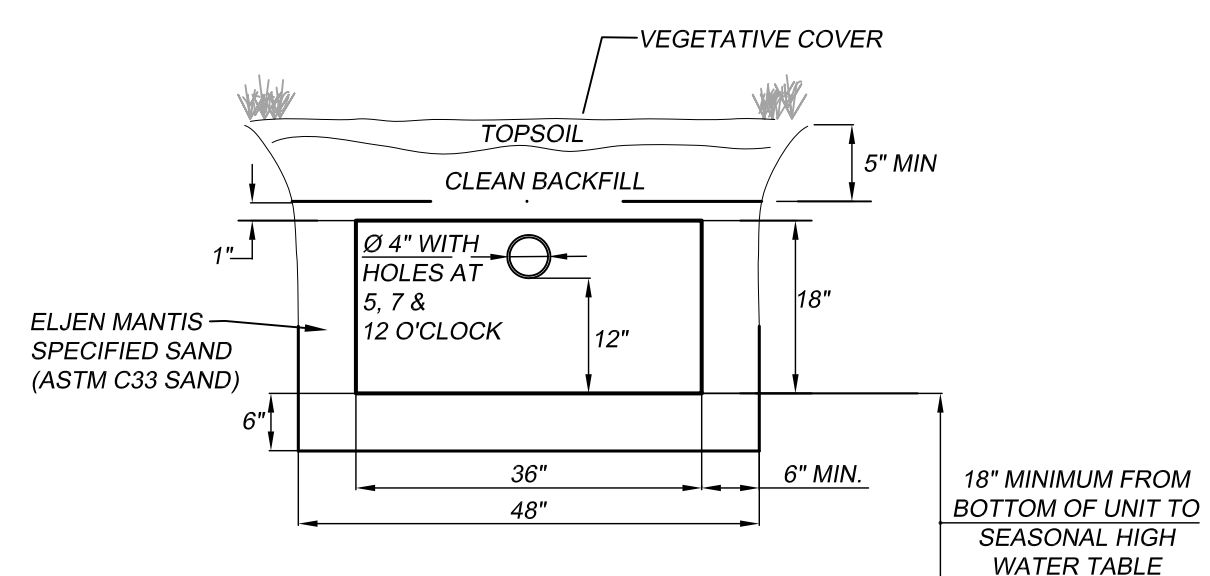
**REVETMENT CROSS SECTION B-B**

1" = 5'



**SILT FENCE INSTALLATION**

NOT TO SCALE



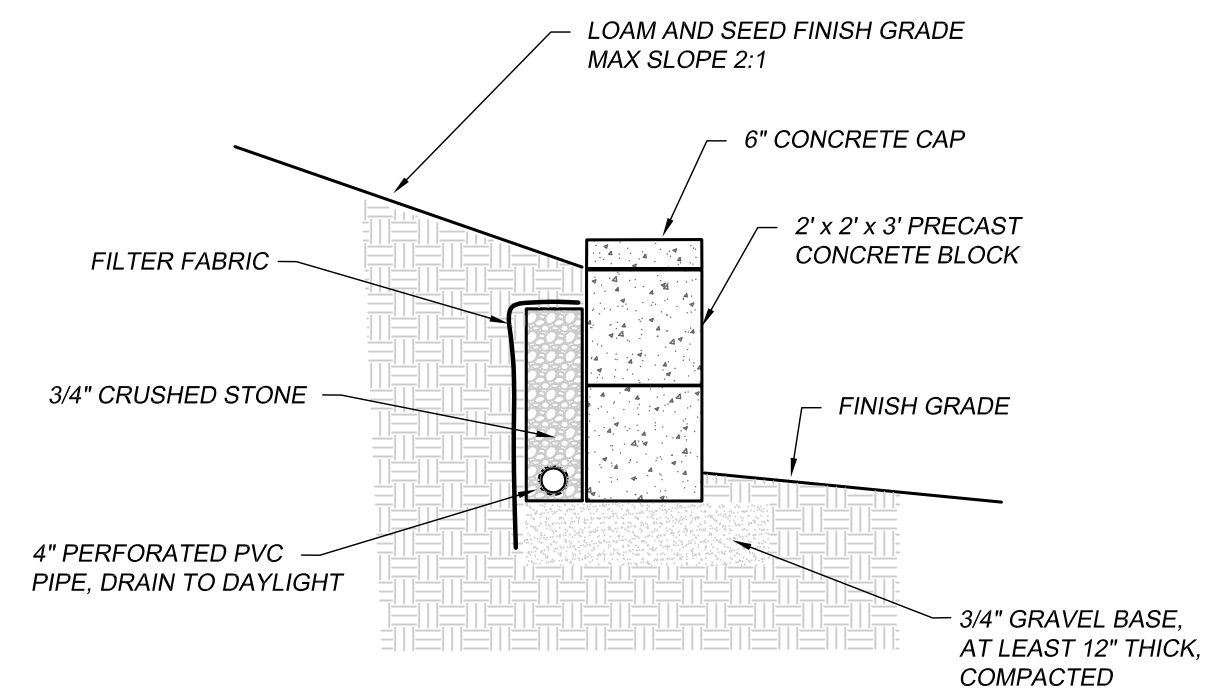
**MANTIS 536-8 CROSS SECTION**

NOT TO SCALE

NOTE: VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE.

**STORM WATER MANAGEMENT:**

1. DUE TO THE STEEP TOPOGRAPHY AND PROXIMITY TO THE POND, THE MAJORITY OF STORM WATER FROM IMPERVIOUS SURFACES SHALL BE CAPTURED AND INFILTRATED.
2. STORM WATER INFILTRATION DEVICES ARE SHOWN AS EXAMPLES ONLY. THE OWNER AND CONTRACTOR MAY SUBSTITUTE ALTERNATIVE METHODS OF INFILTRATION.
3. RUNOFF FROM THE DRIVEWAY SHALL BE DIRECTED TO A STORM WATER INFILTRATION SYSTEM WITH AT LEAST 1000 GALLONS OF STORAGE.
4. RUNOFF FROM THE ROOF SHALL BE DIRECTED TO A STORM WATER INFILTRATION SYSTEM WITH AT LEAST 1000 GALLONS OF STORAGE.
5. OUTLETS FOR OVER FLOW SHALL BE INCLUDED IN EACH SYSTEM.
6. ALTERNATIVE METHODS OF INFILTRATION MAY INCLUDE BUT ARE NOT LIMITED TO: RAIN GARDENS, CULTCH CONTACTORS, CULTCH RECHARGERS, INFILTRATOR QUICK4S, ETC.
7. NO ELEVATIONS HAVE BEEN PROVIDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE APPROPRIATE ELEVATIONS FOR GRAVITY FLOW.

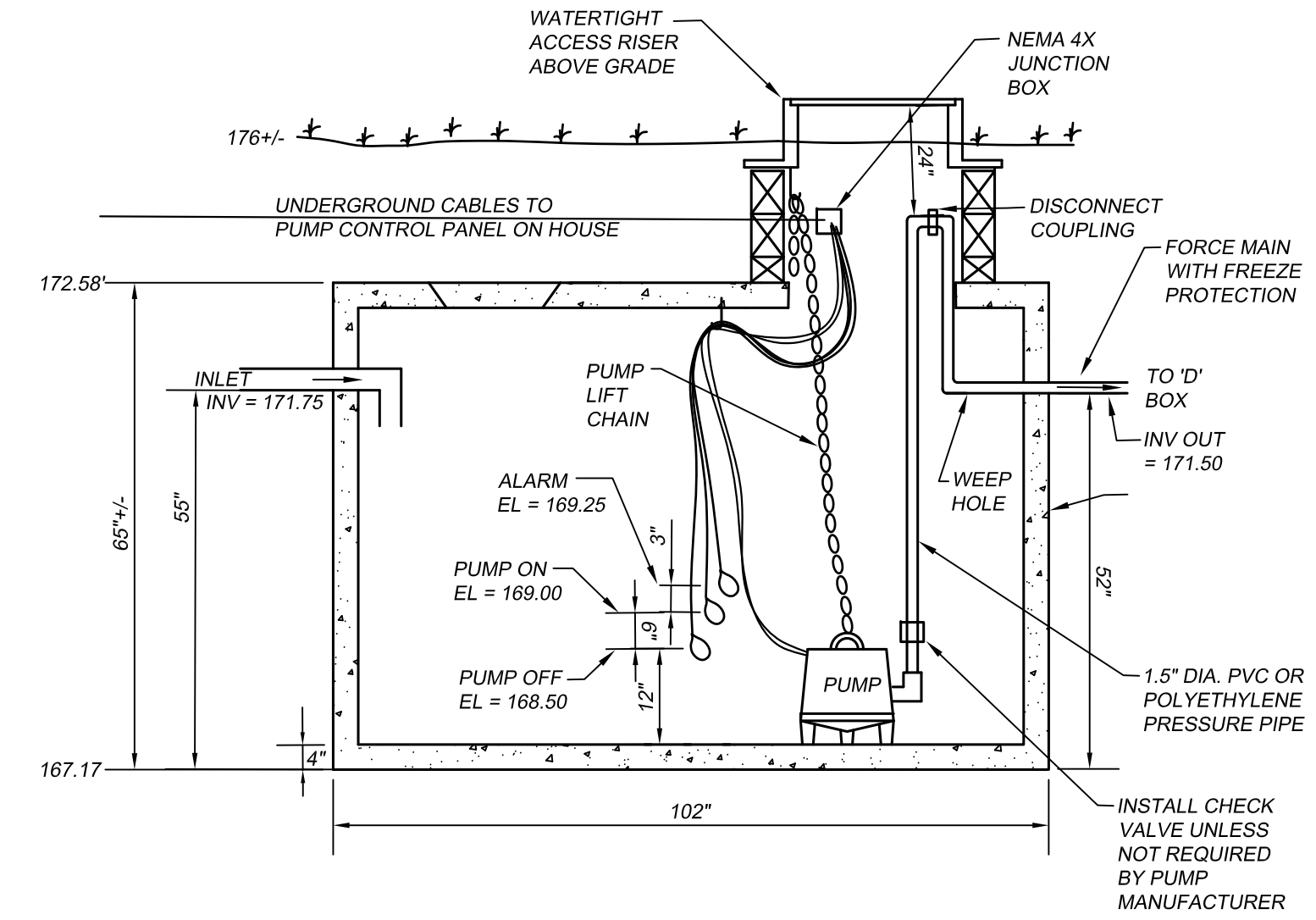


**CONCRETE BLOCK RETAINING WALL DETAIL**

NOT TO SCALE

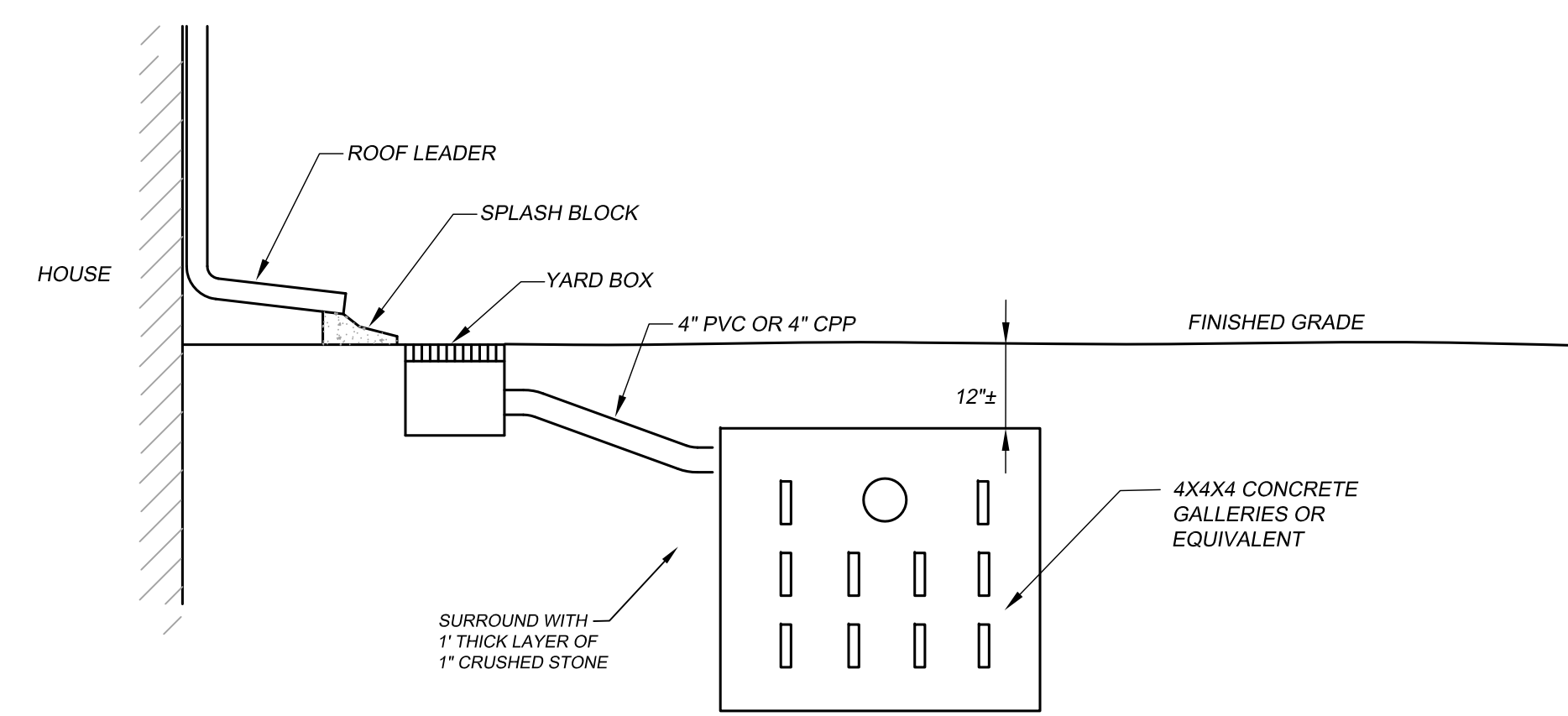
**PUMP AND PUMP CHAMBER SPECIFICATIONS:**

1. PUMP SHALL BE LITTLE GIANT 9EC OR EQUAL SUBMERSIBLE EFFLUENT PUMP.
2. PUMP SOLIDS HANDLING CAPABILITY IS 3/4".
3. DISCHARGE AND FORCE MAIN SHALL BE 1.5" IN DIAMETER.
4. ALL EXPOSED HARDWARE SHALL BE STAINLESS STEEL.
5. THE PUMP SHALL BE INSTALLED WITH A FLEXIBLE HOSE AND LIFTING CHAIN SO THAT THE PUMP CAN BE REMOVED WITHOUT HAVING TO DRAIN OR ENTER CHAMBER.
6. THE 1000 GALLON PRECAST CONCRETE PUMP CHAMBER SHALL BE WATERTIGHT AS MANUFACTURED BY JOLLEY PRECAST OR EQUAL, HEAVY DUTY CONSTRUCTION. THE ACCESS MANHOLES SHALL EXTEND 12" ABOVE FINISHED GRADE.
7. FLOATS TO CONTROL PUMP ON, PUMP OFF, AND ALARM SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS.
8. ALL CONTROLS SHALL BE ENCLOSED IN A NEMA 1 CONTROL PANEL WHICH SHALL BE INSTALLED INSIDE THE HOUSE.
9. AN AUDIO AND / OR VISUAL HIGH WATER ALARM SHALL BE INSTALLED IN THE HOUSE.
10. ALL MATERIALS, HARDWARE, AND EQUIPMENT SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
11. INVERTS SHOWN ARE BASED ON THE PUMP AND TANK SPECIFIED.
12. PUMP OFF LEVEL IS BASED ON AN ASSUMED MIN. LIQUID LEVEL OF 12".
13. INVERTS SPECIFIED WILL PROVIDE THE FOLLOWING FOR A 5 BEDROOM HOUSE WITH A DESIGN FLOW OF 660 GPD:  
DOSING VOLUME: 129 GALLONS  
DOSING FREQUENCY: 4-5 TIMES PER DAY  
EMERGENCY STORAGE ABOVE ALARM LEVEL: 650 GALLONS
14. MANTIS RECOMMENDS A MAXIMUM DOSING VOLUME OF 15 GALLONS PER UNIT, FOR A TOTAL MAXIMUM DOSING VOLUME OF 180 GALLONS



**1000 GALLON PUMP CHAMBER**

N.T.S.



**ROOF DRAIN INFILTRATION DETAIL**

NOT TO SCALE

**NOTES AND DETAILS**  
**PREPARED FOR**  
**MARC BAER**  
 1227 THOMPSON ROAD - THOMPSON, CT  
 MAP 116 BLOCK 24 LOT 10

**J&D CIVIL ENGINEERS, LLC**  
 401 RAVENELLE ROAD  
 N. GROSVENORDALE, CT 06255  
 860-923-2920

**DESIGNED: DDB**      **REVISIONS:**  
**CHECKED: DRB**      2020-09-01 WETLANDS

**JOB NO: 19216**      **DATE: JUNE 15, 2020**  
**SCALE: 1" = 20'**      **SHEET: 2 OF 2**





MUTUAL INDUSTRIES, INC.  
 707 W. GRANGE  
 PHILADELPHIA, PA 19120  
 215-927-6000 \* 800-523-0888  
 215-927-3388 FAX  
 www.mutualindustries.com

#3200-6-60  
**5' X 50' TURBIDITY CURTAIN  
 TYPE 1 DOT SPECIFICATION**

18oz. Laminated vinyl/polyester fabric meets the following specification:

CONSTRUCTION	Vinyl Laminate on 1300 Denier 9x9 scrim	
WEIGHT	18oz. / sq.yd	ASTM D-2374
ADHESION	15 lb / inch	ASTM D-751-95 Sec. 43.1.2
GRAB TENSILE	397 x 373 lb / inch	ASTM D-5034
TOUNG TEAR	96 x 86 lb / inch	ASTM D-2261
HYDROSTATIC	385 psi	ASTM D-751-95 Sec 34.2

\*\*\*\*\*

**ADDITIONAL PRODUCT SPECIFICATIONS**

- Heat sealed seams
- 5/8" polypropylene twisted rope edge reinforcement
- 6"x6"x48" EPS foam blocks providing 11 lbs / ft buoyancy
- Standard depth = 5 feet
- #4 brass grommets approximately 12" o.c. in edges for laced connection
- Aluminum stress plates at top and bottom corners
- 1/4" galvanized steel ballast chain

Received

SEP 04 2020

Thompson Wetlands Office





MUTUAL INDUSTRIES, INC.  
 707 W. GRANGE  
 PHILADELPHIA, PA 19120  
 215-927-6000 \* 800-523-0888  
 215-927-3388 FAX  
 www.mutualindustries.com

#3200-6-60  
**5' X 50' TURBIDITY CURTAIN  
 TYPE 1 DOT SPECIFICATION**

18oz. Laminated vinyl/polyester fabric meets the following specification:

CONSTRUCTION	Vinyl Laminate on 1300 Denier 9x9 scrim	
WEIGHT	18oz. / sq.yd	ASTM D-2374
ADHESION	15 lb / inch	ASTM D-751-95 Sec. 43.1.2
GRAB TENSILE	397 x 373 lb / inch	ASTM D-5034
TOUNG TEAR	96 x 86 lb / inch	ASTM D-2261
HYDROSTATIC	385 psi	ASTM D-751-95 Sec 34.2

\*\*\*\*\*

**ADDITIONAL PRODUCT SPECIFICATIONS**

- Heat sealed seams
- 5/8" polypropylene twisted rope edge reinforcement
- 6"x6"x48" EPS foam blocks providing 11 lbs / ft buoyancy
- Standard depth = 5 feet
- #4 brass grommets approximately 12" o.c. in edges for laced connection
- Aluminum stress plates at top and bottom corners
- 1/4" galvanized steel ballast chain

Received

SEP 04 2020

Thompson Wetlands Office



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

September 01, 2020

Marc Baer  
1227 Thompson Road  
Thompson, CT 06277

**SUBJECT: FILE #20000144 -- THOMPSON ROAD #1227, MAP #116, BLOCK #24, LOT #10,  
THOMPSON, CT**

Dear Marc Baer:

The subject plan (J&D CIVIL ENGINEERS, LLC., JOB NO#19216, DRAWN JUNE 15, 2020, REVISED 08/08/2020) submitted on 08/12/2020 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 5 bedroom house based on the following:

1. CT licensed surveyor must stake house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A current sieve analysis of ASTM C-33 sand (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
4. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
5. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
6. Existing septic system is to be properly abandoned prior to issuance of well permit. Proof of abandonment to be submitted to NDDH by Licensed septic system installer.
7. Well permit required for proposed new well. Well abandonment completed report required for existing dug well.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Sherry McGann, RS Registered Sanitarian-NDDH

cc: Thompson Building Official; J&D Civil Engineers, LLC.

Received

SEP 04 2020

Thompson Wetlands Office





# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234  
860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

September 01, 2020

Marc Baer  
1227 Thompson Road  
Thompson, CT 06277

**SUBJECT: FILE #20000144 -- THOMPSON ROAD #1227, MAP #116, BLOCK #24, LOT #10, THOMPSON, CT**

Dear Marc Baer:

The subject plan (J&D CIVIL ENGINEERS, LLC., JOB NO#19216, DRAWN JUNE 15, 2020, REVISED 08/08/2020) submitted on 08/12/2020 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 5 bedroom house based on the following:

1. CT licensed surveyor must stake house, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A current sieve analysis of ASTM C-33 sand (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
4. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
5. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
6. Existing septic system is to be properly abandoned prior to issuance of well permit. Proof of abandonment to be submitted to NDDH by Licensed septic system installer.
7. Well permit required for proposed new well. Well abandonment completed report required for existing dug well.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Sherry McGann, RS Registered Sanitarian-NDDH

cc: Thompson Building Official; J&D Civil Engineers, LLC.

Received

SEP 04 2020

Thompson Wetlands Office



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234  
860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

September 01, 2020

Marc Baer  
1227 Thompson Road  
Thompson, CT 06277

**B100/APPLICATION**

**SUBJECT: FILE #20000144 -- THOMPSON ROAD #1227, MAP #116, BLOCK #24, LOT #10,  
THOMPSON, CT**

Dear Marc Baer:

On July 20, 2020 this department received an application proposing to demolish your existing house and construct a new 5 bedroom house with a 3 car garage to your property.

Based on the information provided and paperwork in our files this request has been approved under the following conditions:

1. Approved per Engineer's plan (J&D Civil Engineer's, Job# 19216, drawn 06/15/2020, Revised 08/08/2020). New septic system and well to be located/installed per approved plan and under permit by NDDH.
2. Demolish existing house and construct a 5 bedroom house with a 3 car garage.

Approval is being granted under Section 19-13-B100a of the CT Public Health Code. This approval is given with the understanding that you will provide proper care and maintenance of the existing system (the septic tank is to be pumped every 3 years).

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

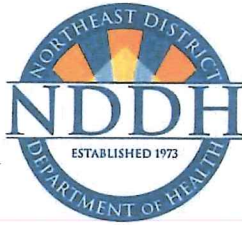
Sherry McGann, RS  
Registered Sanitarian-NDDH

cc: Thompson Building Official; J&D Civil Engineers

Received

SEP 04 2020

Thompson Wetlands Office



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234  
860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

September 01, 2020

Marc Baer  
1227 Thompson Road  
Thompson, CT 06277

### **B100/APPLICATION**

**SUBJECT: FILE #20000144 -- THOMPSON ROAD #1227, MAP #116, BLOCK #24, LOT #10,  
THOMPSON, CT**

Dear Marc Baer:

On July 20, 2020 this department received an application proposing to demolish your existing house and construct a new 5 bedroom house with a 3 car garage to your property.

Based on the information provided and paperwork in our files this request has been approved under the following conditions:

1. Approved per Engineer's plan (J&D Civil Engineer's, Job# 19216, drawn 06/15/2020, Revised 08/08/2020). New septic system and well to be located/installed per approved plan and under permit by NDDH.
2. Demolish existing house and construct a 5 bedroom house with a 3 car garage.

Approval is being granted under Section 19-13-B100a of the CT Public Health Code. This approval is given with the understanding that you will provide proper care and maintenance of the existing system (the septic tank is to be pumped every 3 years).

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Sherry McGann, RS  
Registered Sanitarian-NDDH

Received

SEP 04 2020

cc: Thompson Building Official; J&D Civil Engineers

Thompson Wetlands Office



**Date:** 09/02/2020 [01:26:13 PM CDT]  
**From:** wetlands@thompsonct.org  
**To:** Daniel Blanchette <daniel@jdcivilengineers.com>  
**Cc:** Dale Harger <harger@mountaindearborn.com>, Patrick Wall <wallexcavation@gmail.com>, Marc Baer <marcmason1054@cs.com>  
**Subject:** Harger Concerns Regarding Application IWA20022 [Fwd: 1227 Thompson Road]

Daniel,

Please see the forwarded email. I expect Mr. Harger's concerns will be raised during the next Tuesday's Inland Wetlands Commission ZOOM meeting. By copy of this email Marc Baer and Patrick Wall are notified of the same. - Marla

----- Forwarded message from Dale Harger <harger@mountaindearborn.com> -----  
Date: Wed, 2 Sep 2020 15:54:43 +0000  
From: Dale Harger <harger@mountaindearborn.com>  
Subject: 1227 Thompson Road  
To: wetlands@thompsonct.org  
Cc: putnamcard@aol.com

Hi, Marla.

We appreciate the time you have spent accommodating our concerns with the vast tree removals at 1227 Thompson Road.

Thank you!

We have two further concerns about that issue. And one new concern, regarding the proposed revetment.

- 1) Following your site visit on 8/17, we no longer entertain the illusion that Mr. Wall will take care to avoid damaging the few trees that might be saved along our property line. We give up. We will be advising Marc Baer that we withdraw our request to save the birches.
- 2) But we are very fearful that the huge pines directly opposite our house will be blown down onto our heads. All it would take is one more big storm. For the safety of our house and property, would you consider making an exception to the cease & desist order, by allowing him (or requiring him) to remove those trees promptly and safely?
- 3) We are concerned that the construction of the revetment will damage the north end of our lake wall, which ends at the property boundary. It's difficult to imagine Pat Wall manipulating those huge boulders along the lakeshore, right up against the property line, without damaging our wall. But we can't think of any way the Commission's approval order could be written so as to minimize that risk.

We will advise Marc Baer, in writing, of those concerns -- and several other ones that do not involve the Commission's mandate.

We again thank you for your time and attention.

.....Dale and Jean Harger

----- End forwarded message -----

--

Marla Butts  
Thompson Wetlands Agent  
860-923-1852, Ext. 1  
wetlands@thompsonct.org



## Agenda Item E.a) 5. Old Applications

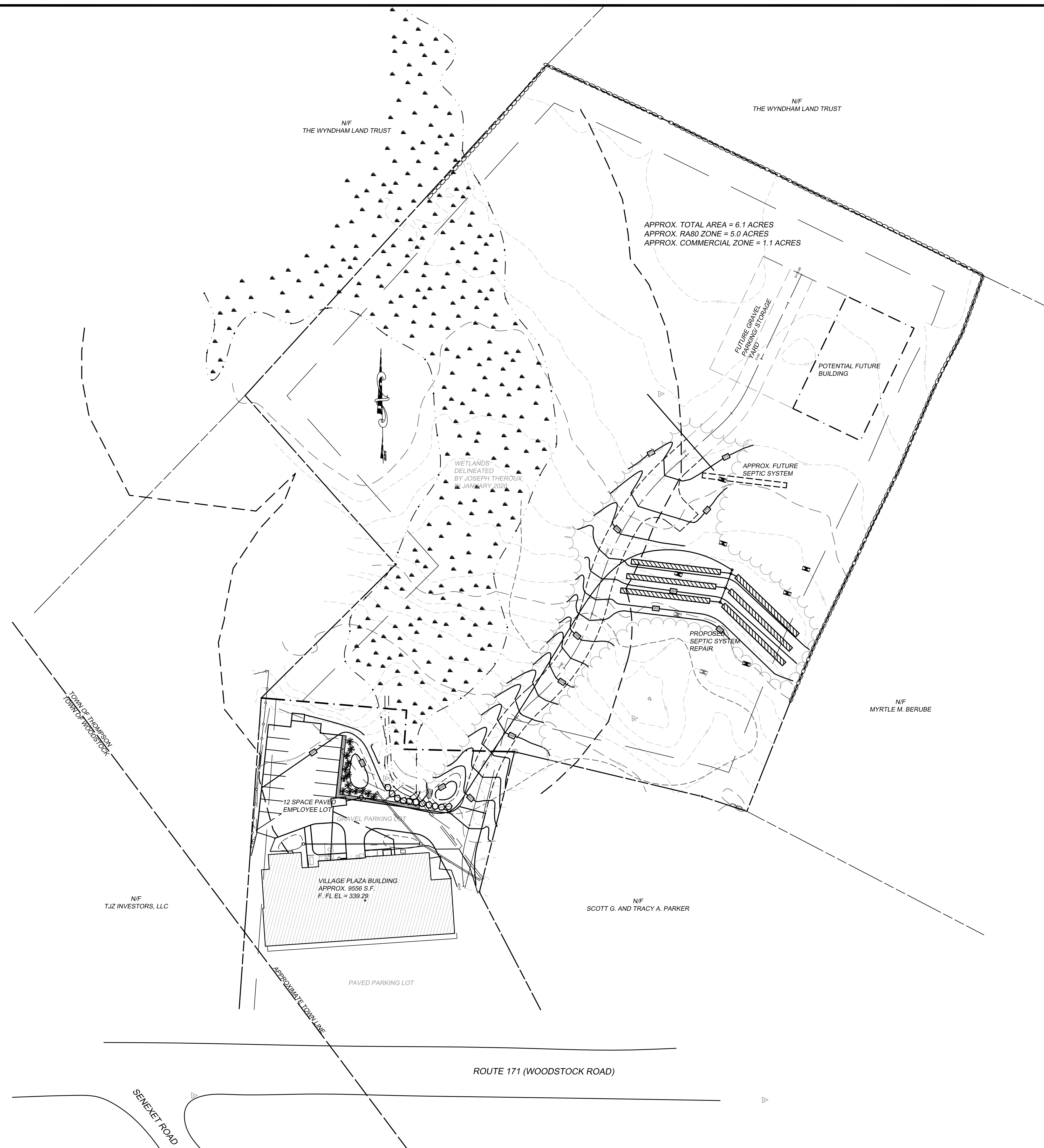
**WAA20023**, Thomas Murray, 0 Sand Dam Rd., Assessor's map 114, block 24, lot 60B discharge of footing drain associated with the construction of new single family home, stamped received 6/18/2020, under review pending receipt of additional information.

## Agenda Item E.a) 6. Old Applications

**WAA20024**, Thomas Murray, 0 Sand Dam Rd., Assessor's map 114, block 24, lot 60C construct new single family home, driveway and footing drain portions of which are located in the 100-foot upland review area, stamped received 6/18/2020, under review pending receipt of additional information.

## Agenda Item E.a) 7. Old Applications

IWA20026, WBA Real Estate LLC, 22 Woodstock Road (Assessor's map 29. block 104, lot 23), septic repair, parking lot improvements and access road for future site development, stamped received by the Town Clerk 7/10/2020, converted to individual permit application and statutory received 8/11/2020.



**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION, PERFORMED IN FEBRUARY 2020

HORIZONTAL ACCURACY: CLASS B

TOPOGRAPHIC CLASS: T-2

PURPOSE: DESIGN OF AN ENGINEERED SEPTIC SYSTEM REPAIR AND PARKING LOT GRADING.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. UTILITY LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLANS:

(A) SITE DEVELOPMENT PLAN, PREPARED FOR SCOTT G. PARKER AND TRACY A. PARKER, ROUTE #171 (WOODSTOCK ROAD), THOMPSON, CONNECTICUT, PREPARED BY PC SURVEY ASSOCIATES, DATED JULY 2014, SCALE 1" = 20'.

(B) IMPROVEMENT LOCATION PLAN, PREPARED FOR MACKEY'S INC. #7 CONNECTICUT ROUTE 171, WOODSTOCK/THOMPSON, CONNECTICUT, PREPARED BY MESSIER & ASSOCIATES, INC. DATED OCTOBER 2013, SCALE 1" = 20'. ON FILE WITH TOWN CLERK AS MAP #2392.

4. LIMIT OF FIELD TOPOGRAPHY: INSTRUMENT FIELD TOPOGRAPHY WAS PERFORMED TO THE REAR OF THE BUILDING AND EAST OF THE WETLANDS. CONTOURS TO THE WEST OF THE EASTERN WETLAND EDGE ARE APPROXIMATE AND WERE OBTAINED FROM THOMPSON GIS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/20 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2020 J&D CIVIL ENGINEERS, LLC

**LEGEND**

- BUILDING SETBACK LINE
- - - PROPERTY LINE
- - - EXISTING CONTOUR LINE
- - - 246 - - - PROPOSED CONTOUR LINE
- - - EDGE OF WETLANDS
- - - WETLAND BUFFER/UPLAND REVIEW AREA
- ⊠ TEST PIT
- ▨ LEACHING TRENCH
- STONEMALL
- UTILITIES
- ~ TREELINE

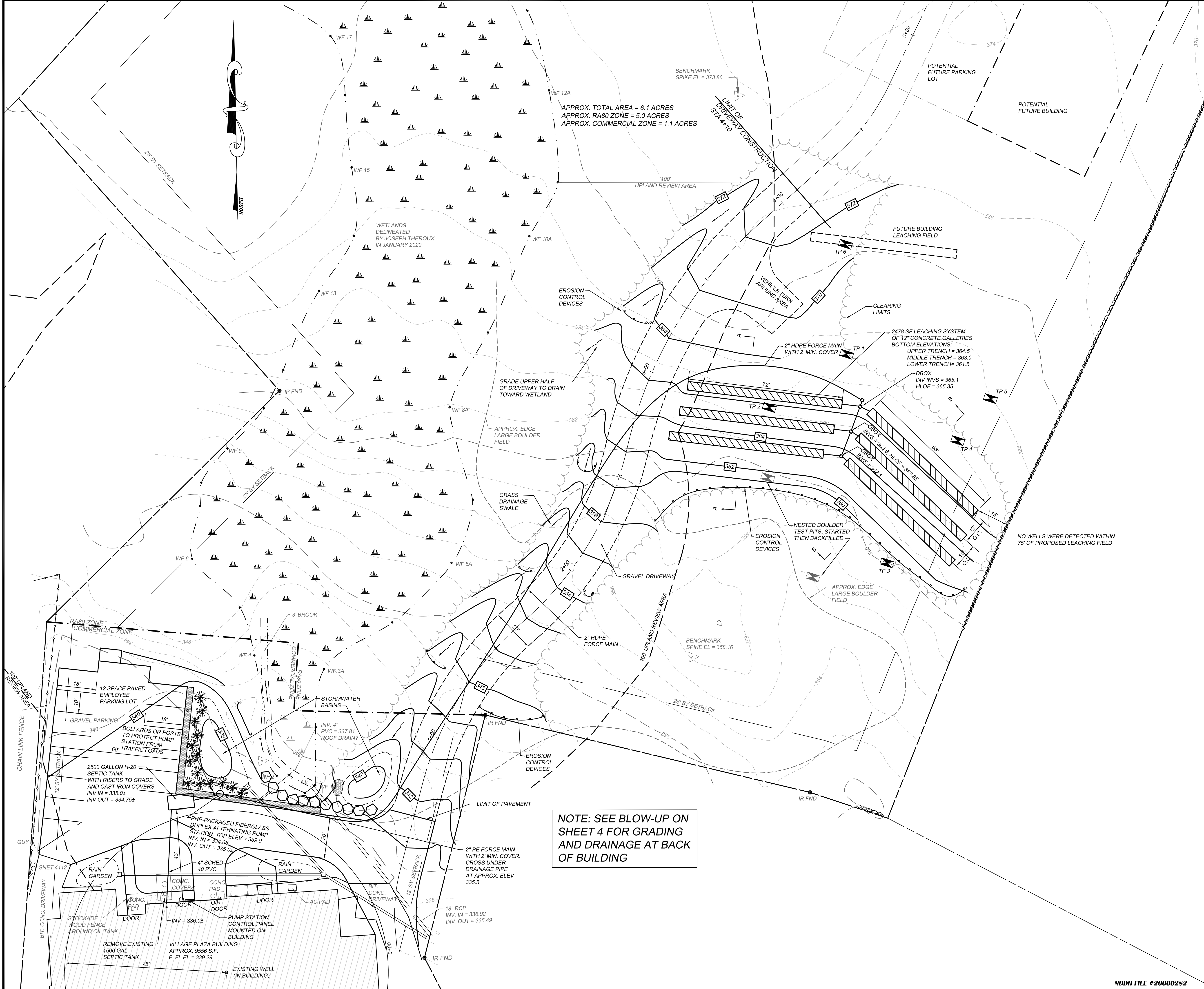
**VICINITY PLAN**  
 PREPARED FOR  
**WOODSTOCK BUILDING ASSOCIATES**  
 22 WOODSTOCK ROAD, THOMPSON, CT  
 MAP 29 BLOCK 104 LOT 23

---

**J&D CIVIL ENGINEERS, LLC**  
 401 RAVENELLE ROAD  
 N. GROSVENORDALE, CT 06255  
 860-923-2920

---

<b>DESIGNED: JJB</b>	<b>REVISIONS:</b>
<b>CHECKED: DRB</b>	<b>8-19-20</b>
<b>JOB NO: 20110</b>	<b>DATE: JULY 8, 2020</b>
<b>SCALE: 1" = 40'</b>	<b>SHEET: 1 OF 4</b>



**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION, PERFORMED IN FEBRUARY 2020

HORIZONTAL ACCURACY: CLASS B

TOPOGRAPHIC CLASS: T-2

PURPOSE: DESIGN OF AN ENGINEERED SEPTIC SYSTEM REPAIR AND PARKING LOT GRADING.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. UTILITY LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED INTO THIS PLAN AS A RESULT.

**3. REFERENCE PLANS:**

(A) SITE DEVELOPMENT PLAN, PREPARED FOR SCOTT G. PARKER AND TRACY A. PARKER, ROUTE #171 (WOODSTOCK ROAD), THOMPSON, CONNECTICUT, PREPARED BY PC SURVEY ASSOCIATES, DATED JULY 2014, SCALE 1" = 20'.

(B) IMPROVEMENT LOCATION PLAN, PREPARED FOR MACKEY'S INC. #7 CONNECTICUT ROUTE 171, WOODSTOCK/THOMPSON, CONNECTICUT, PREPARED BY MESSIER & ASSOCIATES, INC. DATED OCTOBER 2013, SCALE 1" = 20'. ON FILE WITH TOWN CLERK AS MAP #2392.

4. LIMIT OF FIELD TOPOGRAPHY: INSTRUMENT FIELD TOPOGRAPHY WAS PERFORMED TO THE REAR OF THE BUILDING AND EAST OF THE WETLANDS. CONTOURS TO THE WEST OF THE EASTERN WETLAND EDGE ARE APPROXIMATE AND WERE OBTAINED FROM THOMPSON GIS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07/20 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2020 J&D CIVIL ENGINEERS, LLC

**LEGEND**

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- TREELINE

**NOTE: SEE BLOW-UP ON SHEET 4 FOR GRADING AND DRAINAGE AT BACK OF BUILDING**

**SEPTIC SYSTEM REPAIR PLAN**  
 PREPARED FOR  
**WOODSTOCK BUILDING ASSOCIATES**  
 22 WOODSTOCK ROAD, THOMPSON, CT  
 MAP 29 BLOCK 104 LOT 23

**J&D CIVIL ENGINEERS, LLC**  
 401 RAVENELLE ROAD  
 N. GROSVENORDALE, CT 06255  
 860-923-2920

DESIGNED: JJB  
 CHECKED: DRB  
 REVISIONS:  
 8-19-20

JOB NO: 20110  
 SCALE: 1" = 20'  
 DATE: JULY 8, 2020  
 SHEET: 2 OF 4



**TEST PIT RESULTS**

INVESTIGATED BY: SHERRY MCGANN, R.S.  
DATE: MAY 7, 2020  
PIT NO. 1

0 - 9" TOPSOIL  
9 - 34" OB FINE SANDY LOAM  
34 - 84" GR COMPACT SANDY PAN WITH STONES AND BOULDERS  
84 - 85" GROUND WATER

MOTTLING: 34"  
WATER: 84" SEEPS AT 59"  
LEDGE: N/A  
ROOTS: 34"

**PIT NO. 2**

0 - 7" TOPSOIL  
7 - 36" OB FINE SANDY LOAM  
36 - 56" GR LOAMY FINE SAND WITH GRAVEL STONES  
56 - 72" GROUND WATER

MOTTLING: 36"  
WATER: 56" SEEPS AT 38"  
LEDGE: N/A  
ROOTS: 36"

**PIT NO. 3**

0 - 6" TOPSOIL  
6 - 36" OB FINE SANDY LOAM  
36 - 63" GR LOAMY SAND WITH GRAVEL, STONES AND BOULDERS  
63 - 75" GROUND WATER

MOTTLING: 36"  
WATER: 63" SEEPS AT 40"  
LEDGE: N/A  
ROOTS: 36"

**PIT NO. 4**

0 - 7" TOPSOIL  
7 - 30" OB FINE SANDY LOAM  
30 - 70" GR COMPACT SANDY PAN WITH STONES AND BOULDERS  
70 - 78" GROUND WATER

MOTTLING: 30"  
WATER: 70" SEEPS AT 60"  
LEDGE: N/A  
ROOTS: 36"

**PIT NO. 5**

0 - 8" TOPSOIL  
8 - 25" OB FINE SANDY LOAM  
25 - 82" GR COMPACT SANDY PAN WITH STONES AND BOULDERS  
82 - 94" GROUND WATER

MOTTLING: 25"  
WATER: 82" SEEPS AT 70"  
LEDGE: N/A  
ROOTS: 25"

**PIT NO. 6**

0 - 6" TOPSOIL  
6 - 24" OB FINE SANDY LOAM  
24 - 38" YB FINE SANDY LOAM  
38 - 84" GR LOAMY FINE SAND WITH GRAVEL, COBBLES, STONES, BOULDERS  
84 - 85" GROUND WATER

MOTTLING: 38"  
WATER: 84" SEEPS AT 78"  
LEDGE: N/A  
ROOTS: 38"

**PERC. TEST RESULTS**

INVESTIGATED BY: SHERRY MCGANN, R.S.  
DATE: MAY 7, 2020

HOLE A - NEAR TP4

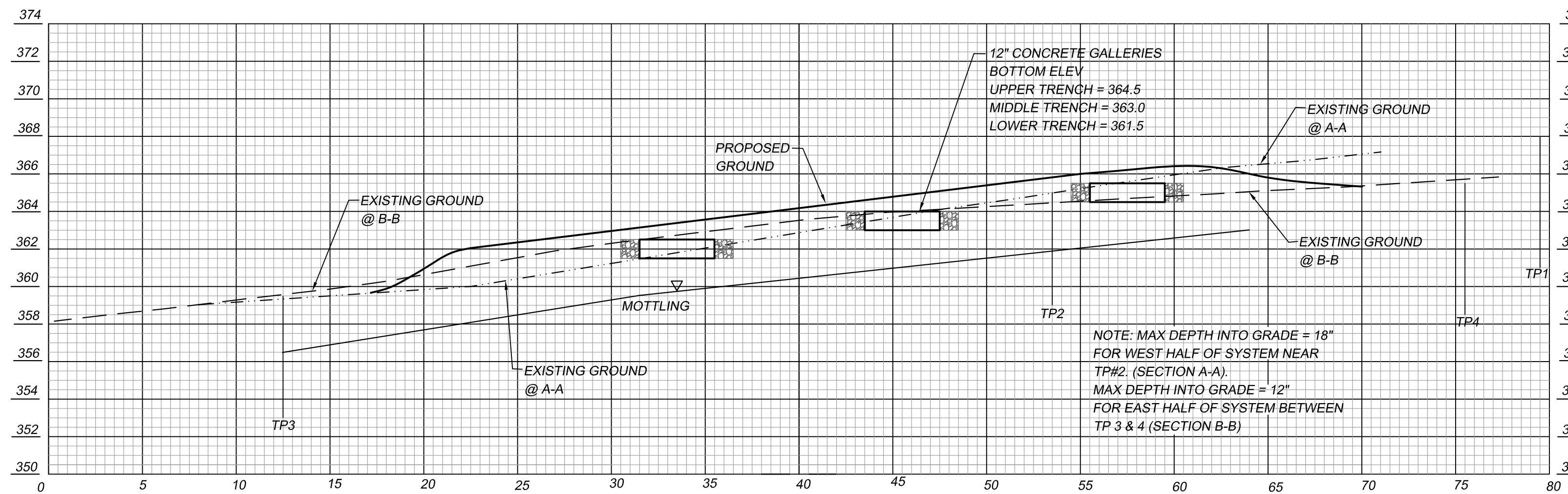
TIME	READING
2:20	11 1/2"
2:30	13 3/4"
2:40	15"
2:50	16 1/4"
3:00	17 1/2"
3:10	18 3/4"

DEPTH: 24"  
PRE-SOAK: YES  
RATE: 8 MIN/IN

HOLE B - NEAR TP6

TIME	READING
3:18	12 3/4"
3:28	15"
3:38	16 1/4"
3:48	17 1/2"
3:58	18 1/2"

DEPTH: 22"  
PRE-SOAK: YES  
RATE: 10 MIN/IN

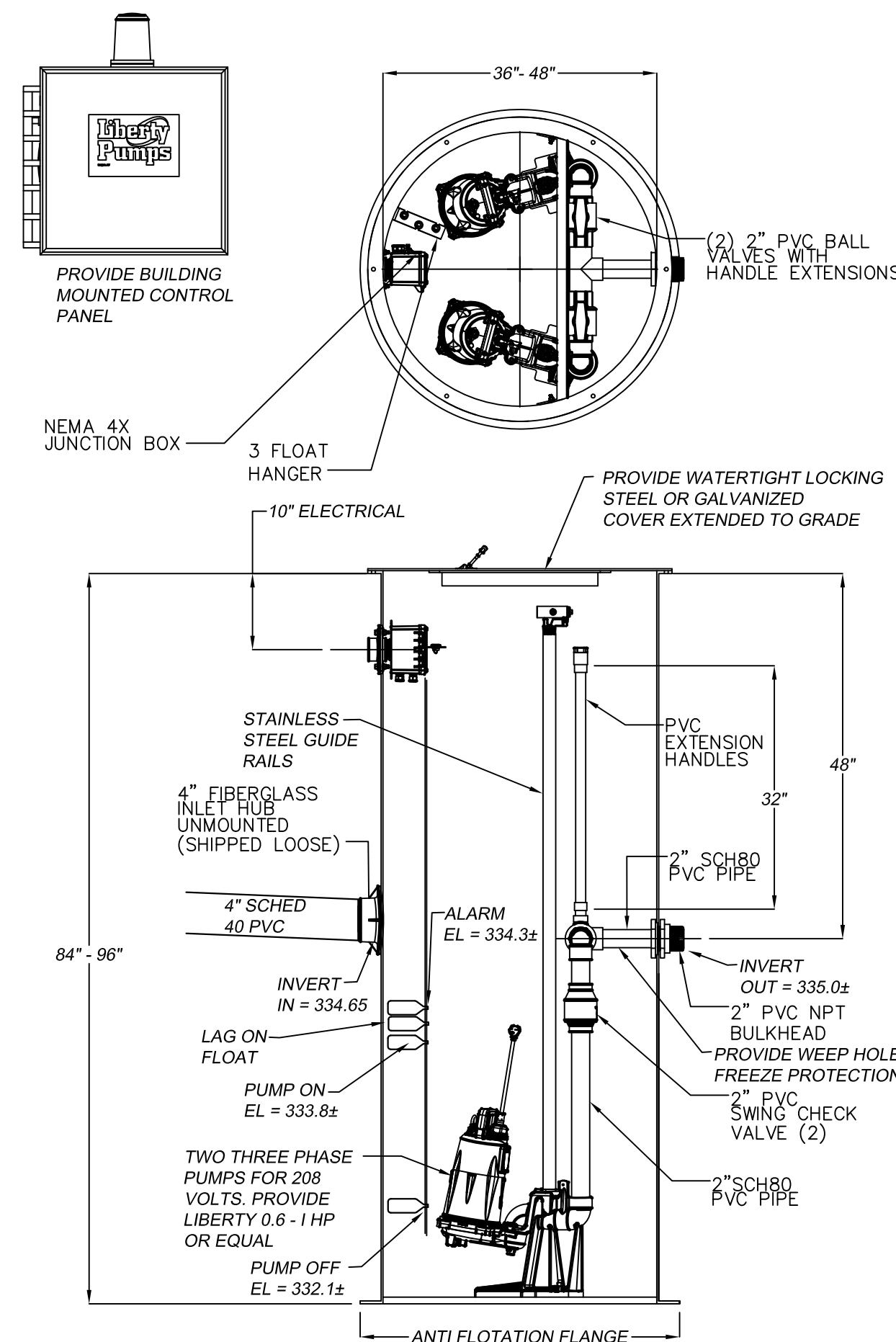


**LEACHING FIELD CROSS SECTION A-A**

1" = 5'

**PUMP STATION SPECIFICATIONS**

- PUMP STATION SHALL BE A PREASSEMBLED DUPLEX PACKAGE PUMP STATION CAPABLE OF MEETING THE FOLLOWING CRITERIA:  
DESIGN FLOW AS PER HEALTH CODE: 2235 GPD  
ESTIMATED INITIAL FLOW: 1000 GALLONS PER DAY  
POTENTIAL FUTURE FLOW: 2235 GALLONS PER DAY  
STATIC HEAD: 30'  
FORCE MAIN LENGTH: 420±
- PUMPS SHALL BE SEPTIC TANK EFFLUENT PUMPS (STEP) WITH SOLIDS HANDLING CAPABILITY OF 3/4".
- DISCHARGE AND FORCE MAIN SHALL BE 2.0" IN DIAMETER.
- ALL EXPOSED HARDWARE SHALL BE STAINLESS STEEL.
- SUPPLY 1.25" STAINLESS STEEL GUIDE RAIL ASSEMBLY, WITH STAINLESS STEEL LIFTING CHAIN FOR EACH PUMP.
- SUPPLY A NEMA 4X BUILDING MOUNTED DUPLEX ALTERNATING CONTROL PANEL, WITH HOA SWITCH AND VISUAL AND AUDIO ALARM, AUXILIARY CONTACTS, RUNNING TIME METERS, ANTI CONDENSATION HEATER, LOCKABLE LATCH, ALARM TEST AND RESET BUTTONS, LIBERTY AE-SERIES OR EQUAL.
- FLOATS (NON-MERCURY) TO CONTROL LEAD PUMP ON/OFF, LAG PUMP ON/OFF, AND ALARM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL MATERIALS, HARDWARE, AND EQUIPMENT SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- FIBERGLASS PUMP STATIONS SHALL BE SUPPLIED WITH ANTI FLOTATION FLANGE WITH FLOTATION CALCULATIONS SHOWING AMOUNT OF CONCRETE REQUIRED AND SHALL COMPLY WITH ALL MARKING REQUIREMENTS OF V.1.b OF THE CT HEALTH CODE TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL SUPPLY SHOP DRAWINGS WHICH INDICATE THE FLOAT ELEVATION SETTINGS AND THE PUMP RUN TIME AND CYCLES PER DAY FOR THE GIVEN SETTINGS FOR INITIAL AND FUTURE FLOW CONDITIONS.
- CONTRACTOR SHALL SUPPLY AND INSTALL PUMPS, PIPING, CHAMBERS, WIRING, CONTROLS, VALVES AND MISCELLANEOUS ITEMS NECESSARY TO RESULT IN A FULLY FUNCTIONAL PUMP STATION.
- PROVIDE WATERTIGHT STEEL GALVANIZED LOCKABLE HATCH COVER EXTENDED TO GRADE.
- PROVIDE UP TO 8 HOURS OF START UP SERVICES.
- ADDRESS ODOR CONTROL WITH GAS TIGHT COVER OR VENT WITH CHARCOAL FILTER.
- MANUFACTURER SHALL PROVIDE 12 MONTHS WARRANTY COMMENCING ON THE DAY OF START-UP.
- FORCE MAIN SHALL BE 2" HDPE SDR 17, 100 PSI. ALTERNATE PIPES SHALL BE ANALYZED AS TO FLOW AND HEAD LOSS.



**FIBERGLASS DUPLICATE ALTERNATING PUMP STATION**  
N.T.S.

**SOIL EROSION CONTROL PLAN**

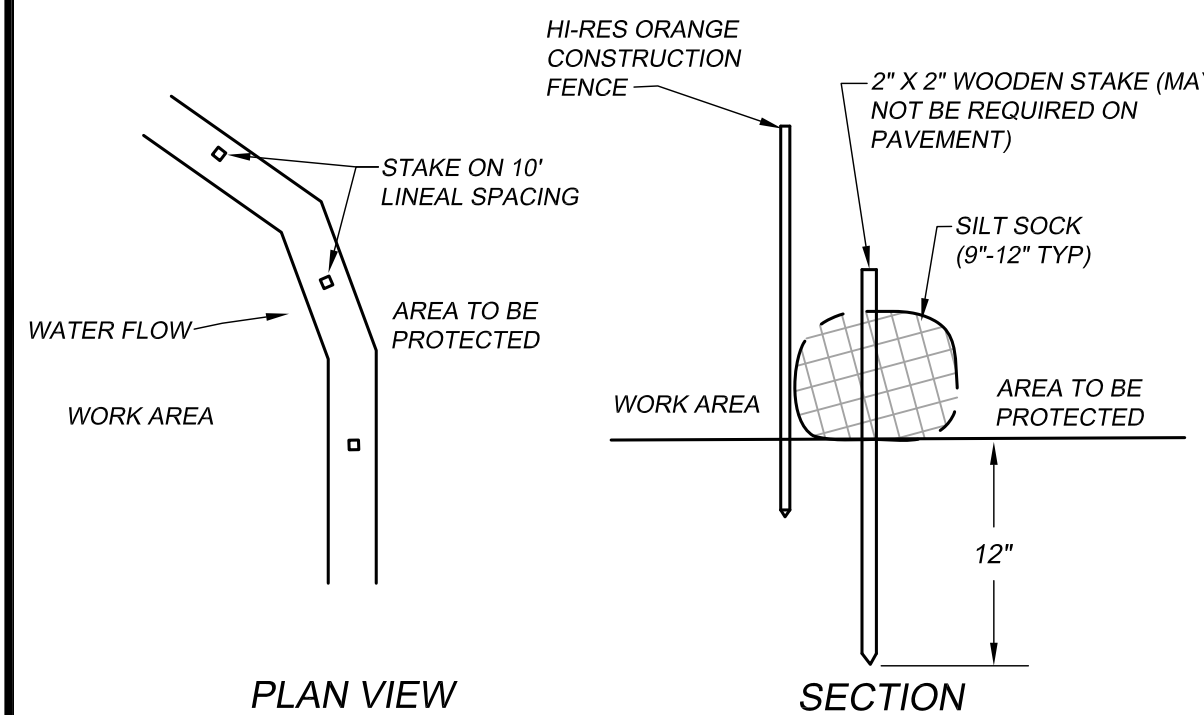
THE PURPOSE OF THIS PROJECT IS TO REPAIR A COMMERCIAL SEPTIC SYSTEM, IMPROVE AN EXISTING PARKING LOT, CONSTRUCT A GRAVEL DRIVEWAY, AND CONSTRUCT A STORMWATER MANAGEMENT SYSTEM. THE GOAL OF THE EROSION CONTROL PLAN IS TO PROHIBIT ANY ERODED SEDIMENT OR SEDIMENT LADEN RUNOFF FROM ENTERING DOWNSTREAM WETLANDS. THE SITE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES AS NEEDED, BEYOND WHAT IS INDICATED ON THE PLAN, SUCH AS HAYBALES, SILT SOCK, STONE CHECK DAMS ETC, TO ENSURE THE NO SEDIMENT ERODES FROM THE SITE.

**CONSTRUCTION SEQUENCE**

- INSTALLATION OF SEDIMENT CONTROL BARRIERS AS SHOWN ON THE PLAN.
- CLEARING AND GRUBBING
- STRIP TOPSOIL AND STOCKPILE
- GRADE AND CONSTRUCT 50' GRAVEL DRIVEWAY
- INSTALL SEPTIC SYSTEM
- INSTALL DRAINAGE FEATURES
- PAVE REAR PARKING LOT
- EXCAVATE AND STABILIZE STORMWATER INFILTRATION BASINS
- SEED AND MULCH OVER DISTURBED AREAS
- COMPLETE SITE STABILIZATION AND REMOVE EROSION CONTROL.

**OPERATIONS AND MAINTENANCE**

- ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
- PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
- DISTURBED AREAS SHALL BE FINAL GRADED AS SOON AS POSSIBLE AFTER EXCAVATION. FINAL GRADING SHALL INCLUDE REMOVAL OF LARGE ROCKS, STUMPS AND OTHER DEBRIS FROM THE FINISHED SURFACE.
- STORMWATER INFILTRATION BASINS MUST BE PROTECTED FROM SILTATION. ANY SILT THAT ACCUMULATES DURING CONSTRUCTION SHALL BE EXCAVATED PRIOR TO LOAMING AND SEEDING.
- DAILY INSPECTIONS SHALL BE MADE OF EROSION AND SEDIMENT CONTROL MEASURES TO INSURE EFFECTIVENESS AND IMMEDIATE CORRECTIVE ACTION SHALL BE TAKEN IF FAILURE OCCURS. ADDITIONAL EROSION CONTROL MEASURES BEYOND WHAT IS SHOWN ON THE PLAN MAY BE NECESSARY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND VEGETATIVE COVER HAS BEEN ESTABLISHED.
- THE OWNER SHALL DESIGNATE THE ON-SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THIS EROSION AND SEDIMENT CONTROL PLAN. THE AGENT PHONE NUMBER SHALL BE PROVIDED TO THE ZEO.



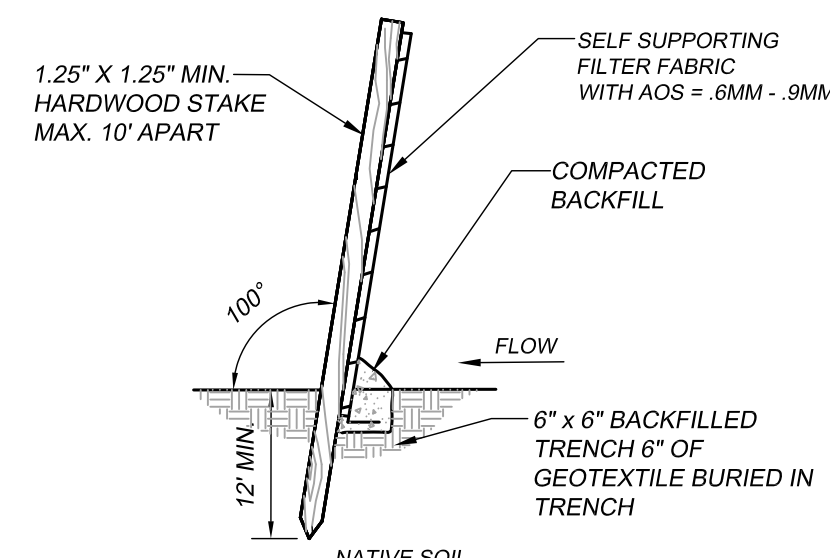
**PLAN VIEW**

**SECTION**

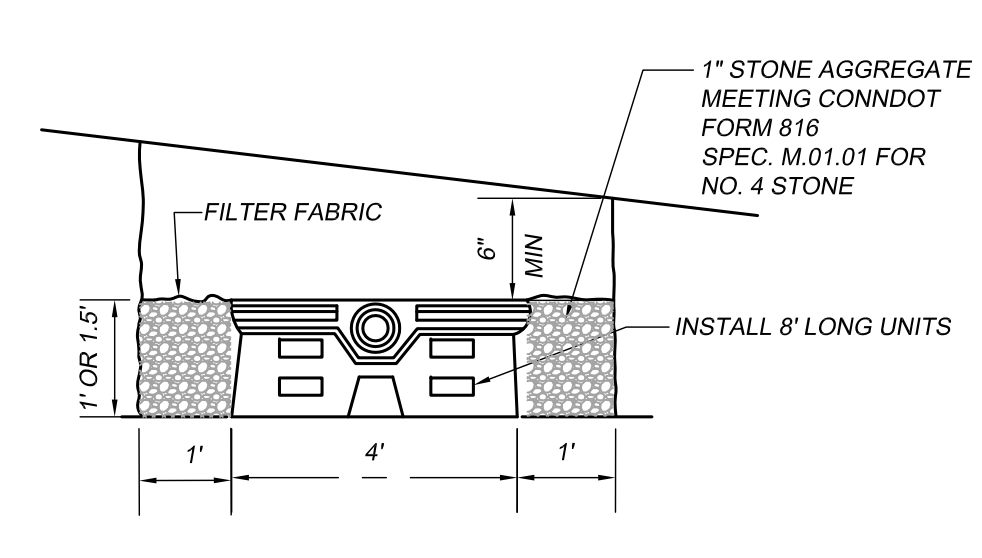
**NOTES**

- SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
- ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
- SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS
- FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

**SILT SOCK DETAIL**  
NOT TO SCALE



**SILT FENCE INSTALLATION**  
NOT TO SCALE



**CONCRETE FLOW DIFFUSOR**  
NOT TO SCALE

**SEPTIC SYSTEM DESIGN CRITERIA**

**DESIGN FLOW CALCULATIONS:**

HAIR SALON WITH 7 STYLING CHAIRS @ 200 GPD/CHAIR = 1400 GPD  
8350 SF OFFICE/RETAIL WITH 200 SF PER EMPLOYEE AND 20 GPD PER EMPLOYEE = 835 GPD  
TOTAL DESIGN FLOW = 1400 + 835 = 2235 GPD  
SEPTIC TANK: USE 2500 GALLON  
PERC RATE: 8-10 MINS/INCH  
MOTTLING (TP 1,2,3, AND 4): 30"-36" (AVERAGE 34"), LEDGE: N/A, WATER: SEEPS 38" - 70", RL: USE 31.75", SLOPE: 10.1% - 15.0%  
EFFECTIVE LEACHING AREA REQUIRED (ELA):  
PROBLEMATIC TABLE 7: FLOW TO BE USED FOR 7 STYLING CHAIRS (1400 GPD) 1400 GPD/0.8 SF PER GPD = 1750 SF  
NON PROBLEMATIC TABLE 8: REMAINDER OF TOTAL GPD = 835 GPD, 835 GPD/1.5 SF PER GPD = 557 SF  
TOTAL ELA REQUIRED = 1750 SF + 557 SF = 2307 SF

LEACHING AREA PROVIDED: 420' OF 12" CONCRETE GALLERIES@ 5.9 SF/LF = 2478 SF  
MLSS (PRIMARY) = 149' (HF=20, PF=1.0, FF=7.45)  
LSS PROVIDED = 149'

**SPECIFICATIONS**

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".  
THE SEPTIC SYSTEM, AND DRIVEWAY SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.  
ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.  
SEPTIC TANK: H-20 TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS TO GRADE.  
DISTRIBUTION BOXES: 4 HOLE D-BOXES  
HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.  
CONCRETE GALLERIES: INSTALL 12" HIGH FLOW DIFFUSORS.  
POLYETHYLENE (HDPE) FORCE MAIN SHALL BE SDR 75 (RATED FOR 100 PSI). PROVIDE 2' MINIMUM COVER  
POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.  
BOTTOM OF TRENCHES TO BE LEVEL.  
TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.  
ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:  
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%  
GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.  
SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.  
SELECT FILL MATERIAL SHALL EXTEND A MINIMUM OF 10' BEYOND THE LOWEST TRENCH BEFORE TAPERING OFF.  
THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

**EROSION AND SEDIMENT CONTROL NOTES:**

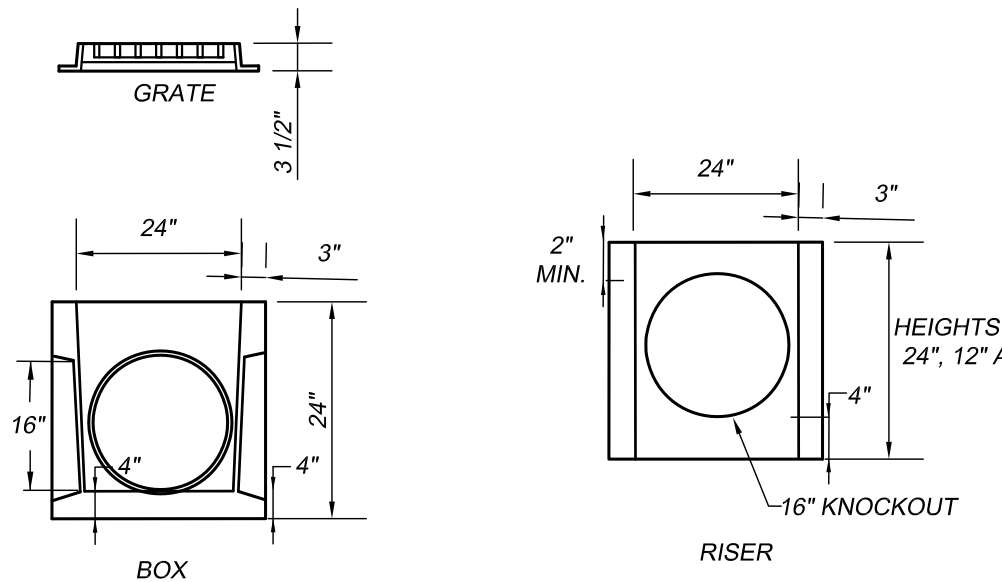
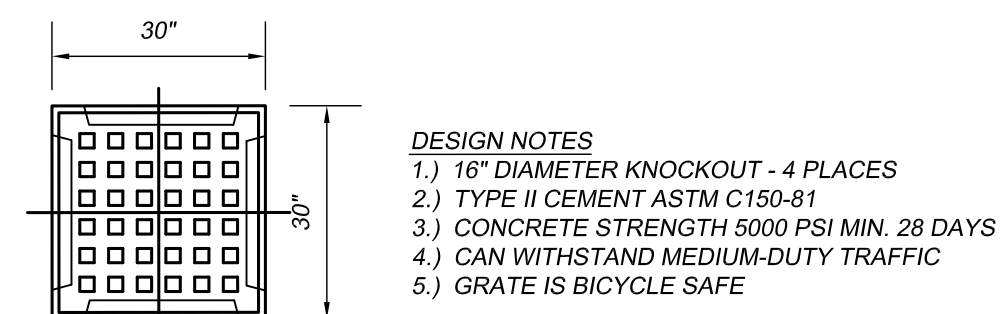
- THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SEPTIC SYSTEM AND DRIVEWAY.
- EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
- THE OWNER OF RECORD SHALL DESIGNATE THE ON-SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

**SEPTIC SYSTEM AND E & S  
DETAILS AND NOTES**

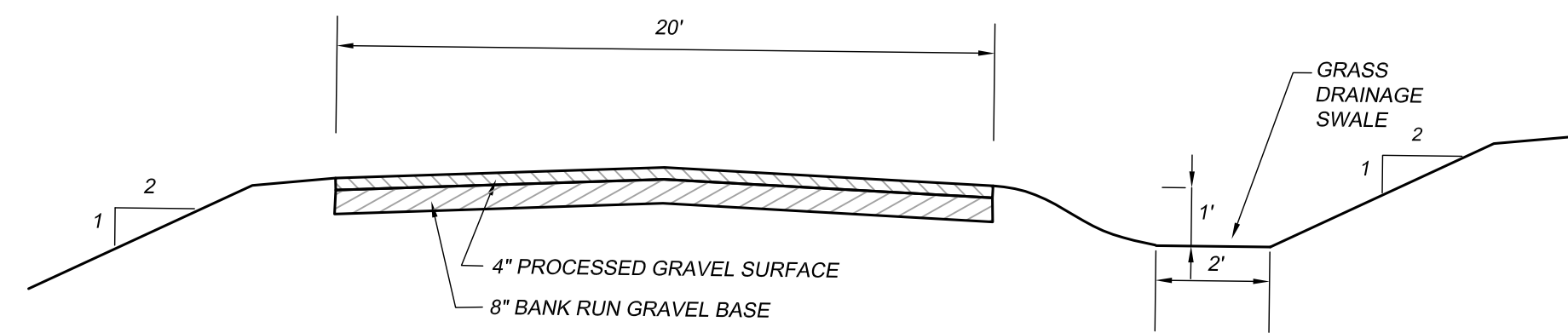
PREPARED FOR  
**WOODSTOCK BUILDING ASSOCIATES**  
22 WOODSTOCK ROAD, THOMPSON, CT

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

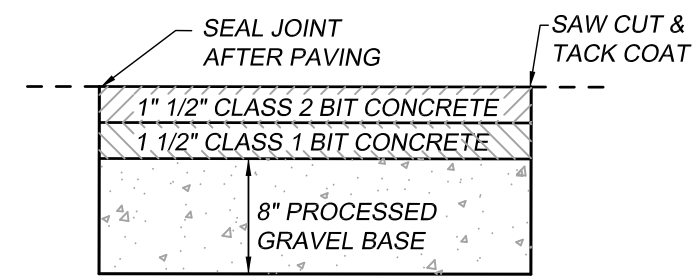
DESIGNED: JJB CHECKED: DRB	REVISIONS: 8-19-20
JOB NO: 20110 SCALE: 1" = 20'	DATE: JULY 8, 2020 SHEET: 3 OF 4



24" x 24" YARD BOX  
NOT TO SCALE



GRAVEL DRIVEWAY SECTION  
NOT TO SCALE



BITUMINOUS PAVEMENT SECTION  
NOT TO SCALE

**RAIN GARDEN NOTES:**

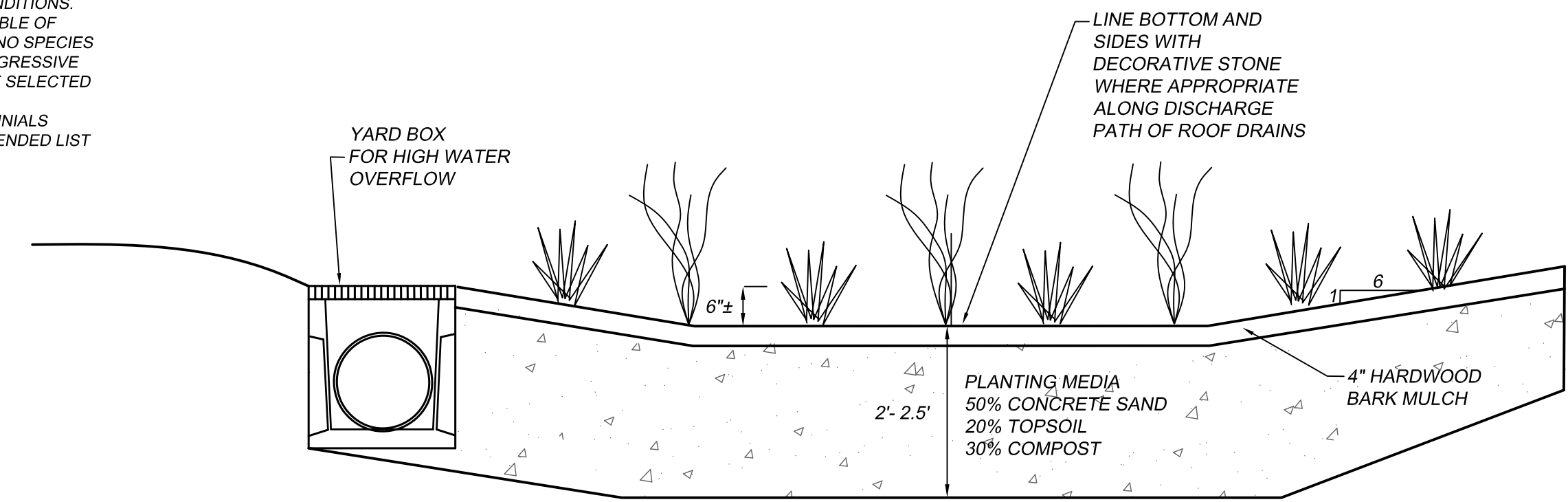
THE PLANTS WITHIN THE RAIN GARDEN WILL BE SUBJECT TO PERIODIC INUNDATION AS WELL AS DROUGHT CONDITIONS. THEREFORE ANY SPECIES PLANTED MUST BE CAPABLE OF SURVIVING UNDER VARIABLE WATER CONDITIONS. NO SPECIES LISTED AS INVASIVE IN CONNECTICUT, OR VERY AGGRESSIVE SPREADERS, SHALL BE PLANTED. PLANTS SHALL BE SELECTED AND PLANTED BY EXPERIENCED PROFESSIONAL LANDSCAPERS. A MIXTURE OF SHRUBS, AND PERENNIALS SHALL BE PLANTED. THE FOLLOWING IS A RECOMMENDED LIST OF SPECIES.

**PERENNIALS**

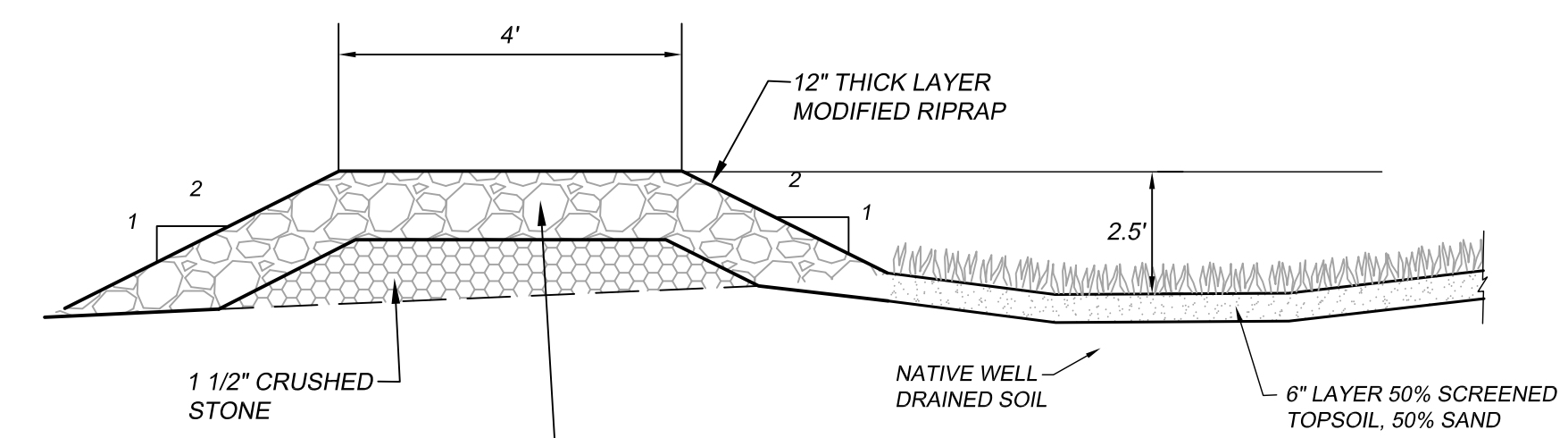
- RED COLUMBINE (AQUILEGIA CANADENSIS)
- ASTILBE (ASTILBE SPP.)
- JOE PYE WEED (EUPATORIUM FISTULOSUM)
- SPIKED GAY FEATHER (LIATRIS SPICATA)
- CINNAMON FERN (OSMUNDA CINNAMOMEA)
- ROYAL FERN (OSMUNDA REGALIS)
- BLACK-EYED SUSAN (RUDBECKIA HIRTA)
- EARLY CONEFLOWER (RUDBECKIA FULGIDA)

**SHRUBS**

- RED CHOKEBERRY (ARONIA ARBUTIFOLIA)
- PASTURE ROSE (ROSA CAROLINA)
- RED OSIER DOGWOOD (CORNUS SERICEA)
- INKBERRY (ILEX GLABRA)
- SPICEBUSH (LINDERA AESTIVALE BENZONI)
- PINKERBLOOM AZALEA (RHODODENDRON PERICLYMENOIDES)
- ELDERBERRY (SAMBUCUS CANADENSIS)
- LOWBUSH BLUEBERRY (VACCINIUM ANGUSTIFOLIUM)
- HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
- WITHEROD (VIBURNUM CASSINOIDES)
- ARROWWOOD (VIBURNUM DENTATUM)
- NANNYBERRY (VIBURNUM LENTAGO)
- BLACK HAW (VIBURNUM PRUNIFOLIUM)
- BUSHY ST. JOHNS WORT (HYPERICUM DENSIFLORUM)
- BLACK HUCKLEBERRY (GAYLUSSACIA BACCATA)



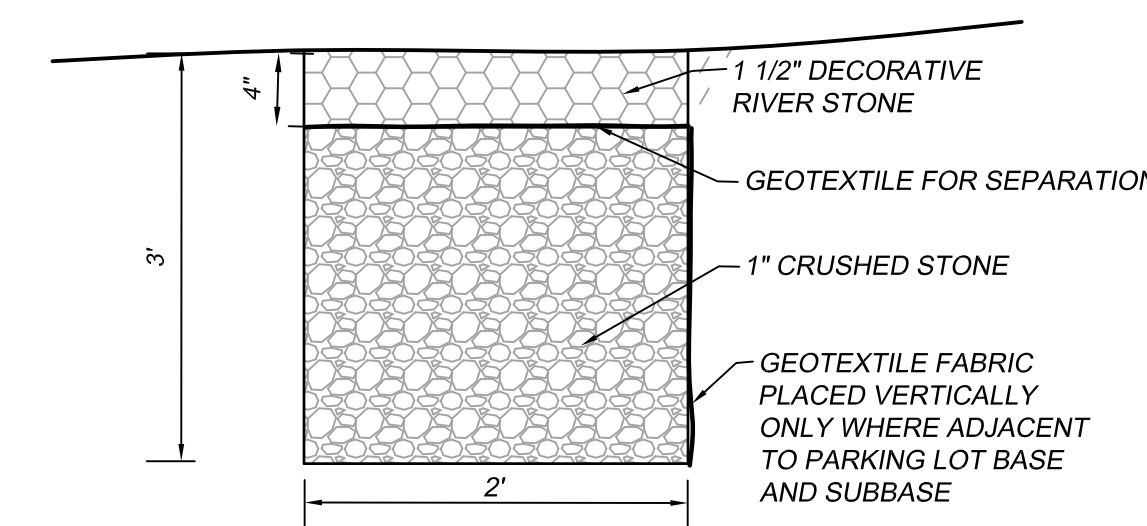
TYPICAL RAIN GARDEN CROSS SECTION  
N.T.S.



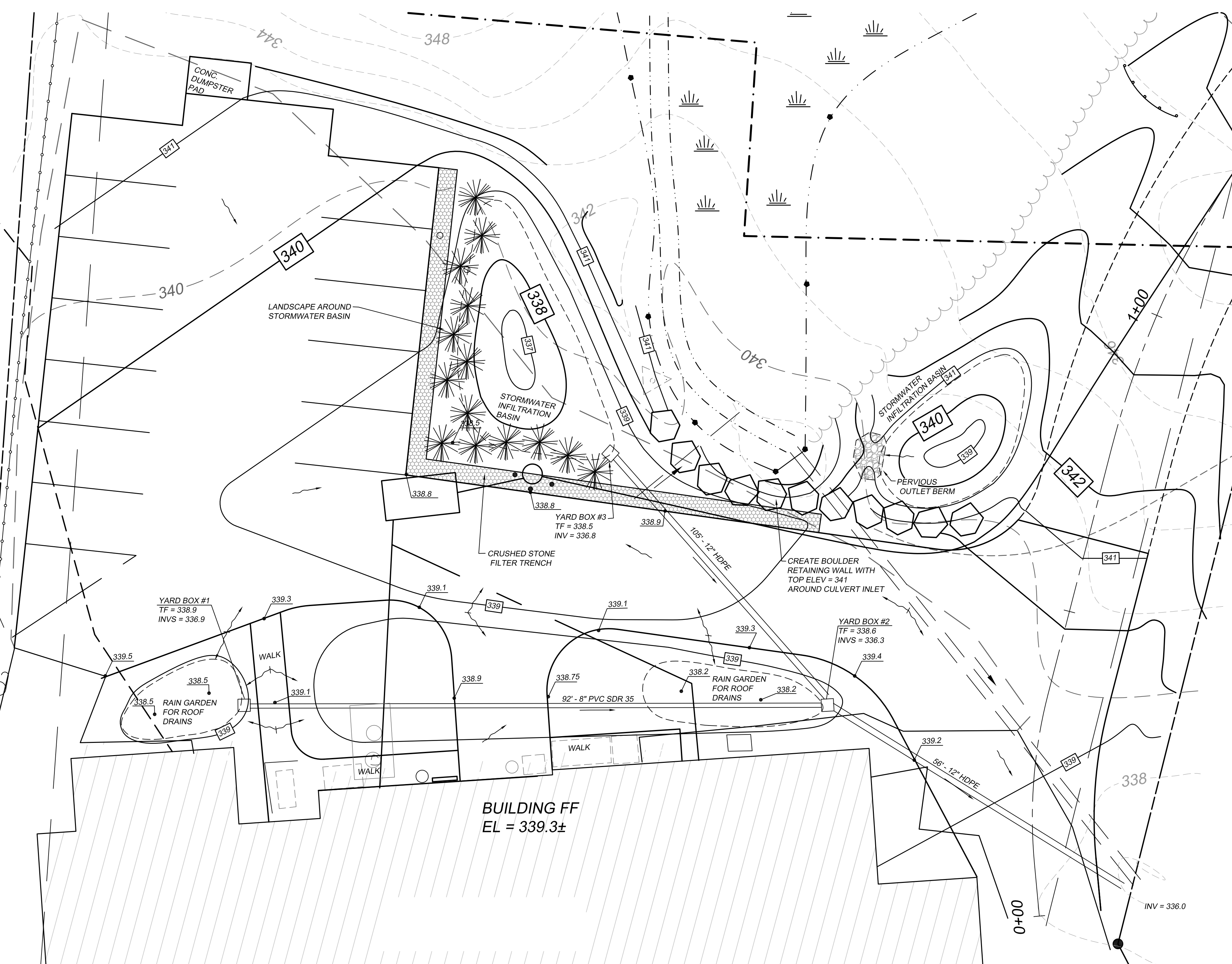
STORMWATER INFILTRATION BASIN SECTION  
NOT TO SCALE

- CONSTRUCTION NOTES:
1. PROTECT STORMWATER INFILTRATION AREAS FROM OVERCOMPACTION.
  2. AFTER EXCAVATION MINIMIZE VEHICULAR TRAFFIC.
  3. PROTECT AREA FROM SILTATION.

NOTE: INFILTRATION TRENCH SHALL NOT BE INSTALLED UNTIL THE ADJACENT SURFACES ARE STABILIZED TO THE GREATEST EXTENT POSSIBLE (-BINDER COURSE -MIN). PROTECT TOP OF TRENCH WITH A GEOTEXTILE OR BUILDING PAPER UNTIL ADJACENT VEGETATION IS ESTABLISHED. TOPSOIL OR SEDIMENT MUST NOT BE PERMITTED TO WASH INTO TRENCH.



CRUSHED STONE FILTER TRENCH  
N.T.S.



GRADING AND DRAINAGE DETAILS

1" = 10'

**GRADING AND DRAINAGE CONSTRUCTION  
DETAILS AND NOTES**  
PREPARED FOR  
**WOODSTOCK BUILDING ASSOCIATES**  
22 WOODSTOCK ROAD, THOMPSON, CT

**J&D** CIVIL  
ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	8-19-20
JOB NO: 20110	DATE: JULY 8, 2020
SCALE: 1" = 20'	SHEET: 4 OF 4



## Agenda Item E.a) 8. Old Applications

WAA20027, Richard & Lynn Skowronski, 21 Richard Bennett Lane (Assessor's map 137, block 7, lot 5K), construct in ground pool, shed and driveway paving in the 100-foot upland review area, stamped received 7/14/2020, approved 8/3/2020, legal notice published 8/28/2020, appeal period ends 9/11/2020

## Agenda Item E.a) 9. Old Applications

WAA20029, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6E, subdivision lot 5), grading and footing drain for new single family home, stamped received 8/3/2020, issued 8/12/2020, legal notice published 8/28/2020, appeal period ends 9/11/2020.

## Agenda Item E.a) 10. Old Applications

WAA20030, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6F, subdivision lot 6), footing drain for new single family home, stamped received 8/3/2020, issued 8/12/2020, legal notice published 8/28/2020, appeal period ends 9/11/2020.

## Agenda Item E.a) 11. Old Applications

WAA20031, Madison Avenue Investments, LLC, 0  
Madison Ave. (Assessor's map 103, block 31, lot 6K,  
subdivision lot 11), driveway and grading for new single  
family home, stamped received 8/3/2020, under review.

## Agenda Item E.a) 12. Old Applications

WAA20032, David Poplawski, 1247 Thompson Rd (Assessor's map 116, block 24, lot 12), reconstruct single family home, septic system & driveway in 100-foot upland review area, stamped received 8/3/2020, under review.

## Agenda Item E.b) 1.New Applications

WAA20033, Madison Avenue Investments, LLC, 0 Madison Ave. (Assessor's map 103, block 31, lot 6R, subdivision lot 18), septic system for new single family home, stamped received 8/12/2020, under review.

Date: 08/29/2020 [08:05:37 AM CDT]

From: wetlands@thompsonct.org

To: Greg Glaude <gglaude@killinglyea.com>

Cc: "Richard Benoit, Director DPW" <dpwdirector@thompsonct.org>, Kelly Genest <kgenest@thompsonct.org>, "Donna Hall, Building Office" <dhall@thompsonct.org>, "Cynthia Dunne, ZEO" <zeo@thompsonct.org>, "Amy St.Onge" <firstselectman@thompsonct.org>

Subject: Application WAA20033 Additional Information Required [Re: Lot 18 - Madison Ave]

Greg,

I have logged in the wetlands agent approval application as WAA20033 for future reference. As you know the construction of the water quality basin for Madison Avenue was approved under a prior inland wetlands permit. This should be noted on the drawing. Additionally, there were post approval modifications to that design. The application drawing should contain an as-built of the existing conditions for the property. Finally, has the Town accepted the constructed drainage system and language for the drainage easement for the deed to this property? I will not approve work in the upland review area for the construction of the proposed septic system until the plan reflects existing conditions, where the drainage system is not subject to further modification. Feel free to contact me if you have questions. - Marla

Quoting Greg Glaude <gglaude@killinglyea.com>:

Marla,

Attached is the site plan and IW agent application for Lot 18 on Madison Ave. Please confirm that you have received this message.

Thanks.

Greg A. Glaude, L.S.

<<http://www.killinglyengineering.com/>> [www.killinglyengineering.com](http://www.killinglyengineering.com)

Mailing address:

P.O. Box 421

Killingly, CT 06241

Office address:

114 Westcott Road

Killingly, CT 06239

Phone: 860-779-7299

Cell: 860-617-9998

email: <<mailto:gglaude@killinglyea.com>> [gglaude@killinglyea.com](mailto:gglaude@killinglyea.com)

--

Marla Butts

Thompson Wetlands Agent

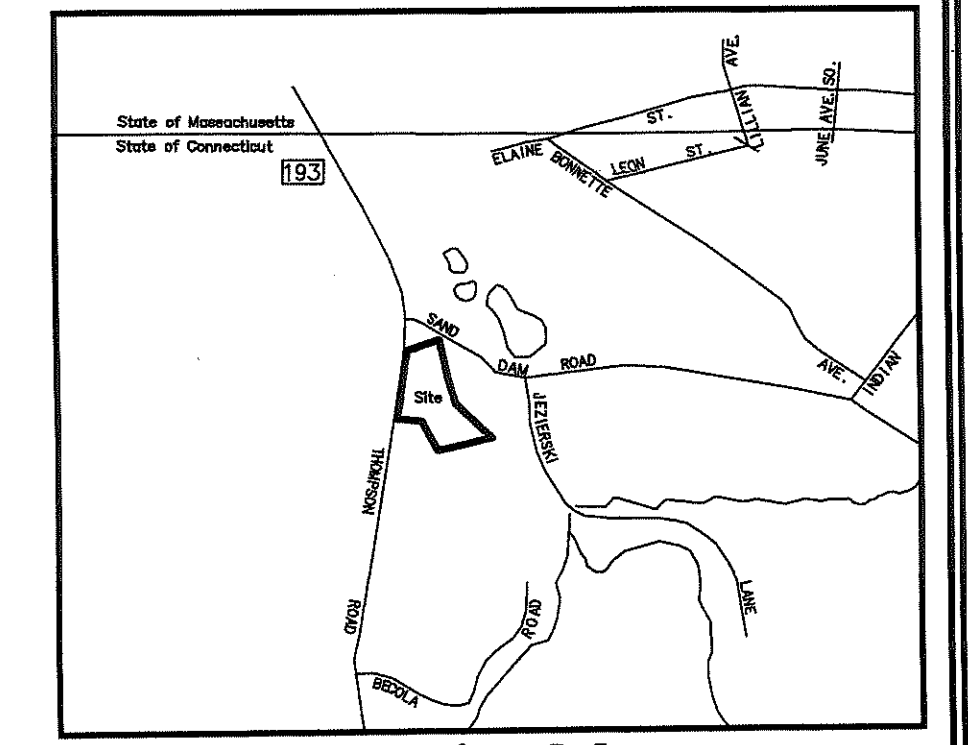
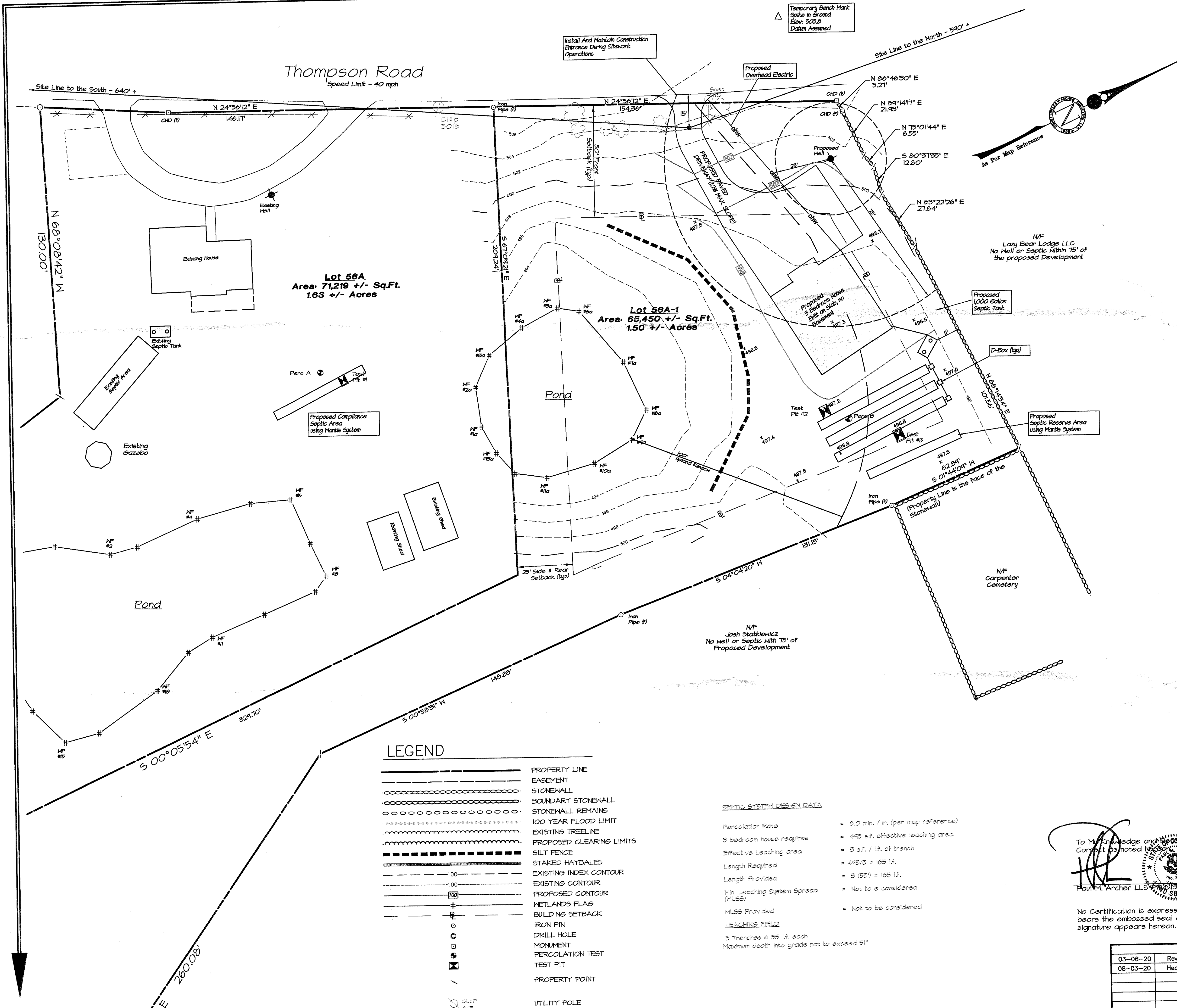
860-923-1852, Ext. 1

wetlands@thompsonct.org



## Agenda Item E.b) 2. New Applications

WAA20035, Kenneth Weiss, 0 Thompson Rd.  
(Assessor's map 116, block 24, lot 56A-1), new single family home, septic system and driveway, stamped received 8/24/2020, issued 8/31/2020, legal notice to be published 9/11/2020, end of appeal period 9/25/2020.



**Location Map**  
SCALE  
1" = 1000 FT

**Notes**

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-20 and the "Standards for Surveys and Maps in State of Connecticut" as adopted by the Connecticut Associations of Land Surveyors, Inc. on September 26, 1996
  - This Survey conforms to a Class "A-2" Horizontal Accuracy
  - "T-2" Vertical Accuracy
  - Survey Type: Site Development Plan
  - Boundary Determination: Resurvey
  - Intent: Site Development
- Parcels shown as Lot 56A, Block 24 on Assessors Tax Map 114 of the Thompson Assessors Office
- Wetlands delineated by Joseph Theroux and field located by Archer Surveying LLC

**Map References**

- Boundary Line Agreement: Plan Prepared for Nellie Weiss, Lot 56B Sand Dam Road, Thompson, Connecticut, Dated: August 1999, Scaled: 1"=40', Prepared by Messier and Associates Inc.
- Connecticut State Highway Department, Right of Way Map, Town of Thompson, Brandy Hill Road from The R.R. Underpass Notherly to the Mass. State Line, Route No. 193, Dated: April 1937
- Division of Property, First Time Split, Prepared For: Ken Weiss, 1343 Thompson Road, Thompson, Connecticut, Prepared By: Archer Surveying LLC.

Received  
AUG 24 2020  
Thompson Wetlands Office

**LEGEND**

- PROPERTY LINE
- - - EASEMENT
- ○ ○ ○ ○ STONEWALL
- ○ ○ ○ ○ BOUNDARY STONEWALL
- ○ ○ ○ ○ STONEWALL REMAINS
- ○ ○ ○ ○ 100 YEAR FLOOD LIMIT
- ○ ○ ○ ○ EXISTING TREELINE
- — — PROPOSED CLEARING LIMITS
- — — SILT FENCE
- — — STAKED HAYBALES
- — — EXISTING INDEX CONTOUR
- — — EXISTING CONTOUR
- — — PROPOSED CONTOUR
- — — NETLANDS FLAG
- — — BUILDING SETBACK
- IRON PIN
- DRILL HOLE
- MONUMENT
- PERCOLATION TEST
- TEST PIT
- PROPERTY POINT
- UTILITY POLE

**SEPTIC SYSTEM DESIGN DATA**

- Percolation Rate = 6.0 min. / in. (per map reference)
- 3 bedroom house requires = 443 s.f. effective leaching area
- Effective Leaching area = 3 s.f. / l.f. of trench
- Length Required = 443/3 = 148 l.f.
- Length Provided = 3 (55') = 165 l.f.
- Min. Leaching System Spread (MLSS) = Not to be considered
- MLSS Provided = Not to be considered
- LEACHING FIELD**
- 3 Trenches @ 55 l.f. each
- Maximum depth into grade not to exceed 51"

To My Knowledge and Belief this Map is substantially correct as noted hereon.  
 [Signature]  
 Paul M. Archer, L.L.S., No. 70913  
 8-4-2020  
 Date

No Certification is expressed or implied unless this map bears the embossed seal of the land surveyor whose signature appears hereon.

REVISIONS	
03-06-20	Revised as per installer
08-03-20	Health Department Comments

**Site Development Plan**

Prepared For:  
**Ken Weiss**  
1343 Thompson Road  
Thompson, Connecticut

DRAWING SCALE: 1"=20'

**ARCHER Surveying LLC**  
18 Providence Road, Brooklyn, CT  
(860) 779-2240

Sheet No.	1 OF 2	Project No.	1738 Site	Date:	February 20, 2020
-----------	--------	-------------	-----------	-------	-------------------



Stitched photos taken by Marla Botts 8/31/2020  
Facing east from west side of Thompson Rd (Rte 198) showing proposed house site  
for application WAA20036, Kenneth Weiss



house site

pond almost dry

E.c) 1. Applications Received After Agenda was  
Published

DEC20036, Town of Thompson, Sand Dam Road at Five  
Mile River cross-culvert (Assessor's map 133, block 24,  
no lot #), replace existing beaver deceiver with a new  
deceiver consisting of a culvert protective fence for non-  
regulated use – conservation of wildlife, stamped  
received 9/4/2020





*Town of Thompson*  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

For Commission Use Only  
Application #: DEC20036  
Received

SEP 04 2020

Thompson Wetlands Office

**APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE**

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

**Part I Request for Use Permitted as of Right or Non-Regulation Use** (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
  - a.  Grazing, farming, nurseries, gardening and harvesting of crops.
  - b.  Farm pond three (3) acres or less essential to the farming operation.
  - c.  Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
  - d.  Boat anchorage or mooring.
  - e.  Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
  - f.  Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
  - g.  Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
  - a.  Conservation of soil, vegetation, water, fish or wildlife.
  - b.  Outdoor recreation
  - c.  Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
  - a.  The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
  - b.  The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
  - c.  The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)



**Part II Contact Information**

1) Applicant Contact Information

a) Applicant Name: Amy St. Onge, Thompson First Selectman

b) Mailing Address: Thompson Town Hall, 815 Riverside Drive, No. Grosvenordale CT 06255  
(include town state zip)

c) Daytime Phone #: 860-923-9561

d) Evening Phone #: \_\_\_\_\_

e) Cell Phone # (optional): \_\_\_\_\_

f) Email Address (optional): \_\_\_\_\_

2) Applicant's Interest in Property (check one only)

property owner                       lessee                       easement holder

3) Owner Contact Information (required if applicant is not property owner)

a) Name: \_\_\_\_\_

b) Mailing Address: \_\_\_\_\_  
(include town state zip)

c) Daytime Phone #: \_\_\_\_\_

d) Evening Phone #: \_\_\_\_\_

e) Cell Phone # (optional): \_\_\_\_\_

f) Email Address (optional): \_\_\_\_\_

**Part III Site Information**

1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot
San Dam Road at Five Mile River Culvert	133	24	

2) Attach an 8 ½ inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable – see <https://thompsonct.mapgeo.io> )

3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

a) Wetlands: \_\_\_\_\_ (in square feet)

b) Open Water Body: \_\_\_\_\_ < 200 \_\_\_\_\_ (in square feet)

c) Stream: \_\_\_\_\_ (in linear feet)

4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see [http://thompsonct.org/images/stories/Inland\\_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf](http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf) - check one)     No     Yes (If Yes, then upland review area = 200 ft.)

5) Upland Review Area altered: 0 (in square feet)

For 6 & 7 below see [http://thompsonct.org/images/stories/Planning\\_Development/Inland\\_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf](http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf)

6) U.S.G.S. Topographic Quadrangle (check all involved)

#13 Webster MA

#14 Oxford MA

#28 Putnam

#29 Thompson

7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

French River     3300     3301

Quinebaug River     3700     3708

Five Mile River     3400     3401     3402



**Part IV Description of Activity Proposed**

- Detailed project description and purpose:** Replacement of an existing beaver deceiver with a new beaver deceiver consisting of a culvert protective fence that has been used elsewhere in the State to reduce the ability of beaver to block the culvert that carries the Five Mile River under Sand Dam Road. The blockage of this hydraulic structure has been a long standing problem causing the Town to use various beaver deceiver designs over at least the past 10 years with limited success (see attached photo). Given the this methodology has been successfully used in Connecticut and elsewhere in New England the Town would like to replace the existing structure with the proposed culvert protective fencing. Given the low flows currently occurring the proposed removal and replacement would take place in September. The Town has secured a grant from the Beaver Institute to help cover the cost of installation and for at least one year of maintenance.
- Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

**Part V Application Permissions & Certifications**

**1) Owner's Permission<sup>1</sup>**

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposed of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

\_\_\_\_\_  
(Signature of property owner)

\_\_\_\_\_  
Date

\_\_\_\_\_  
For all persons excluding individuals print name and title of signatory above

**2) Applicant's Certification<sup>1</sup>**

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

  
\_\_\_\_\_  
(Signature of applicant)

9-3-2020  
\_\_\_\_\_  
Date

\_\_\_\_\_  
For all persons excluding individuals print name and title of signatory above

**\*\*\* For Commission Use Only \*\*\***

Agency Response: \_\_\_\_\_

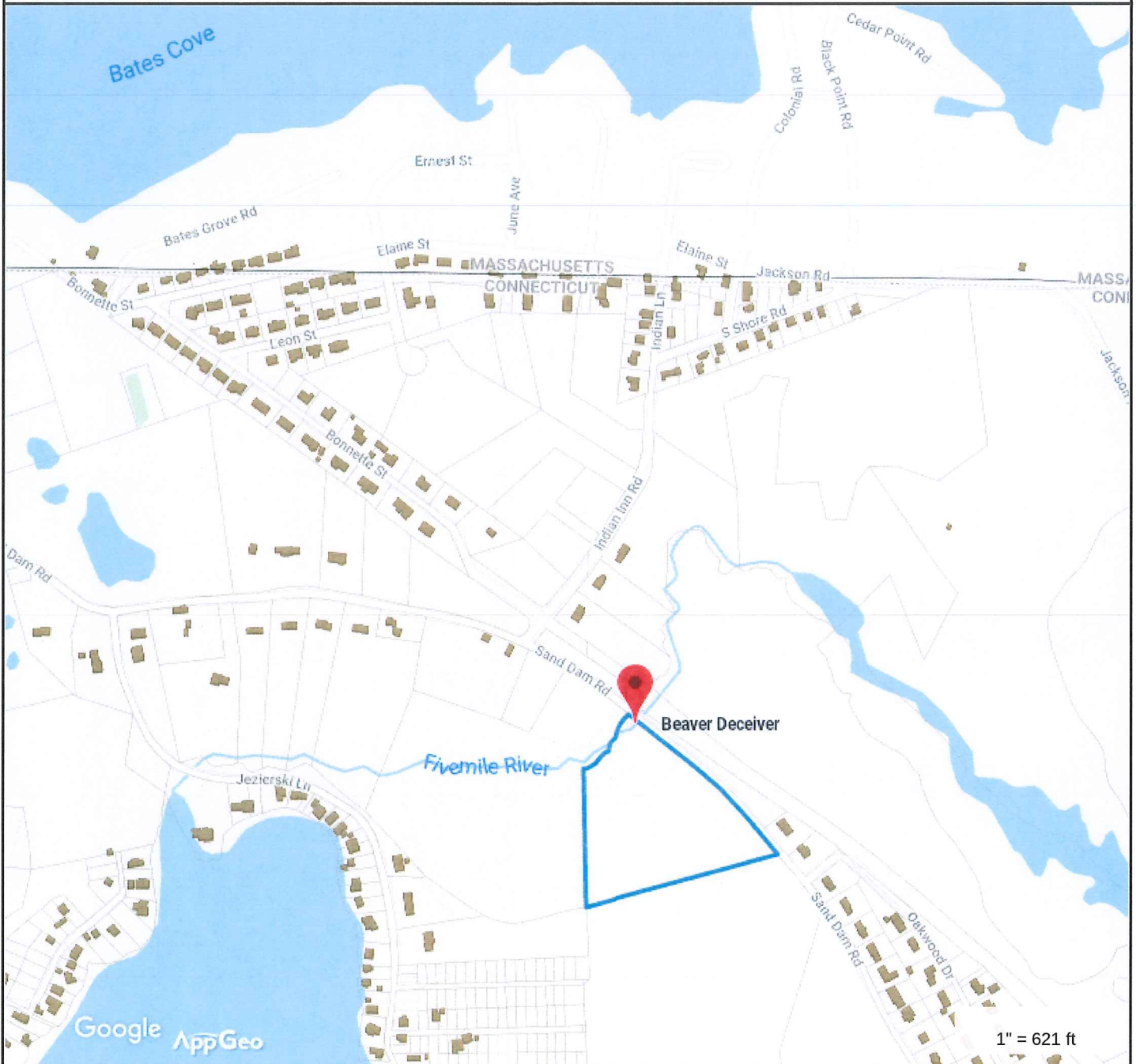
IWC Chair Signature: \_\_\_\_\_

Date: \_\_\_\_\_

<sup>1</sup> If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s) (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law and (6) a sole proprietor, then signature is required by the proprietor.



### Location of Replacement Beaver Deceiver



**Property Information**

Property ID 4054  
 Location 0 SAND DAM RD  
 Owner TRULL JOHN + CRAVER E BATES + ET ALS



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated April 1, 2018  
 Data updated April 1, 2018

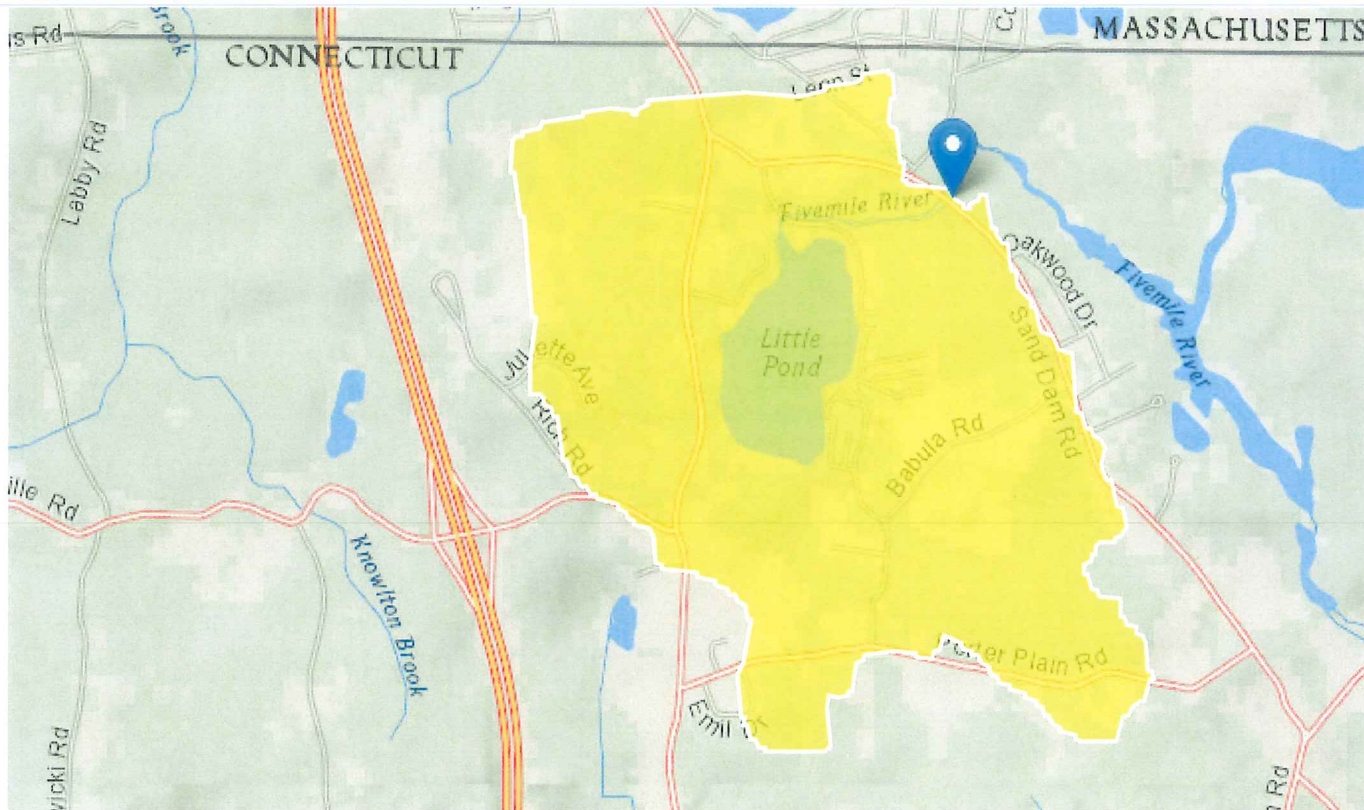
# StreamStats Report

Region ID: CT

Workspace ID: CT20200814153803797000

Clicked Point (Latitude, Longitude): 42.01907, -71.83354

Time: 2020-08-14 11:38:20 -0400



### Basin Characteristics

Parameter Code	Parameter Description	Value	Unit
DRNAREA	Area that drains to a point on a stream	1.35	square miles

USGS Data Disclaimer: Unless otherwise stated, all data, metadata and related materials are considered to satisfy the quality standards relative to the purpose for which the data were collected. Although these data and associated metadata have been reviewed for accuracy and completeness and approved for release by the U.S. Geological Survey (USGS), no warranty expressed or implied is made regarding the display or utility of the data for other purposes, nor on all computer systems, nor shall the act of distribution constitute any such warranty.



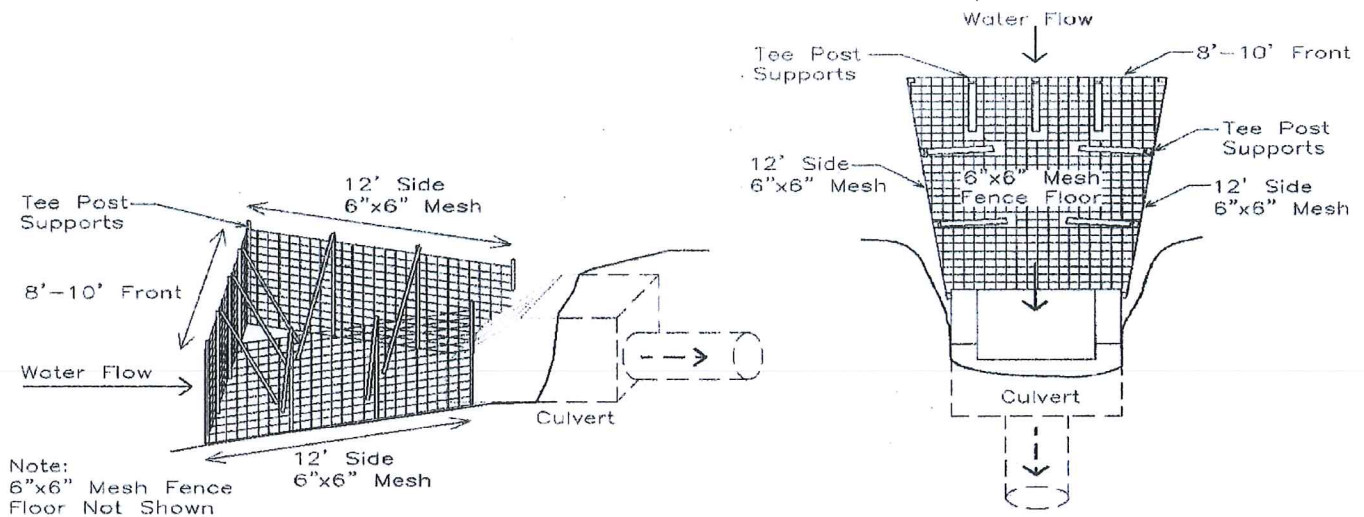


# BEAVER SOLUTIONS

## *The Keystone Fence™*

Road culverts are the most common beaver damming problem we encounter. Beavers often dam in culverts because with a little bit of work the entire roadbed becomes a large dam. To a beaver, a road bed with a culvert probably looks like a dam with a hole that must be repaired.

The Keystone Fence™ eliminates beaver damming of culverts. Beaver Solutions™ has installed several hundreds of these devices with a 95% success rate despite the continued presence of beavers. This device eliminates the cost of continued culvert clearing, repairs and trapping.



There are 3 reasons why the Keystone Fence™ is so effective at protecting culverts from beaver damming. First, damming 30 to 50 feet of fence is a lot more work for the beavers than simply plugging a narrow culvert. This discourages damming. See diagram. Second, if beavers begin to dam near the culvert the fence forces their damming away from the culvert which also discourages them. Third, if the beavers are determined to dam the fence, as they dam on the fence the opening that the water flows into becomes wider and wider. Therefore less water is moving through the fence where the beavers are damming. The decreasing water flow through the fence at the point of damming further decreases the damming stimulus for beavers.

Note, any device exposed to the seasons and the beavers will require some maintenance. While our Keystone Fences™ are designed to be very low maintenance, this maintenance is important. Quarterly all floated leaves and sticks should be cleared from the fence in order to keep the beavers from damming on it. When this routine maintenance is performed as recommended, the Keystone Fence™ will remain effective for many years.

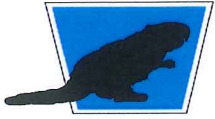
Since our customer's satisfaction and our reputation are very important to us, we offer an optional low cost Maintenance Plan which includes our "Worry-Free Guarantee" at no additional cost. See attached. However, if you prefer to do the maintenance, we are always available to answer any questions at no charge because the success of your flow device, your satisfaction and our good reputation are very important to us.

*May be reproduced courtesy of Mike Callahan, Owner  
Beaver Solutions LLC, "Working With Nature"*



Trapezoidal protective fence installed after re-opening dammed culvert





# BEAVER SOLUTIONS

14 Mountain Rd, Southampton, MA 01073

Phone: (413) 695-0484

Website: [www.beaversolutions.com](http://www.beaversolutions.com)

## Installation Procedure for a Culvert Protective Fence

1. The local Inland Wetlands Agent should review the proposal. Due to the lack of a negative impact and immediate benefits of a flow device installation typically the work is promptly approved.
2. All materials and tools to be brought manually to the site.
3. No heavy equipment to be used at any time during the project. No significant damage is expected to any grassy, upland, wetland or other areas as a result of this work.
4. The culvert should be open without damming materials inside it. Typically when a culvert is cleaned out there is no threat of downstream flooding since flow is restricted by the size of the culvert. However, it is best to be aware if there is an undersized/smaller culvert immediately downstream before a full culvert is unblocked.
5. Flash boards can be placed in front of most culverts if needed to slow water flow.
6. The Culvert Protective Fence is made from a concrete reinforcing mesh with 6" by 6" openings. It is assembled on dry land at the site using simple hand tools.
7. Once assembled they are manually put in place on the upstream side of the culvert.
8. Steel fence posts are hand driven along the perimeter of the fence, and the fence is secured to the posts with heavy gauge wire.
9. Occasionally a small fence is installed across the outlet of the culvert to prevent beavers accessing the culvert from the downstream side.
10. Typically the entire flow device is installed in one day.

Feel free to contact Beaver Solutions™ with any questions or concerns.

Sincerely,

Mike Callahan, Owner  
Beaver Solutions LLC

Received

SEP 04 2020

Thompson Wetlands Office

USGS Software Disclaimer: This software has been approved for release by the U.S. Geological Survey (USGS). Although the software has been subjected to rigorous review, the USGS reserves the right to update the software as needed pursuant to further analysis and review. No warranty, expressed or implied, is made by the USGS or the U.S. Government as to the functionality of the software and related material nor shall the fact of release constitute any such warranty. Furthermore, the software is released on condition that neither the USGS nor the U.S. Government shall be held liable for any damages resulting from its authorized or unauthorized use.

USGS Product Names Disclaimer: Any use of trade, firm, or product names is for descriptive purposes only and does not imply endorsement by the U.S. Government.

Application Version: 4.4.0



**BEAVER**  
SOLUTIONS

## Why Give a DAMn?

The North American beaver, *Castor canadensis*, builds dams that can cause serious flooding problems for people. However, did you know that beaver ponds are among the most biologically productive ecosystems in the world, including coral reefs and rain forests? <sup>i</sup> Beaver pond benefits include: <sup>ii</sup>

***Create diverse habitats and ecosystems <sup>iii</sup>***

***Increase biodiversity <sup>iv</sup>***

***More and bigger native trout <sup>v</sup>***

***Regulate stream flows <sup>vi</sup>***

***Improve water quality, acts as the “Earth’s Kidneys” <sup>vii</sup>***

***Replenish drinking water aquifers <sup>viii</sup>***

***Stabilize the water table <sup>ix</sup>***

***Repair eroded stream channels <sup>x</sup>***

***Restore watershed health <sup>xi</sup>***

Plus, beavers provide all these ecological restoration services for free, saving us millions of dollars!

Fortunately, when beaver damming cause problems for humans, cost-effective, long-term, environmentally-friendly and humane options exist to resolve most conflicts. Beaver trapping is legal, but is short term and we lose the benefits.

### We Guarantee Success

For most beaver problems flow devices are the best option to protect human property and interests <sup>xii</sup>, save money, and better steward the environment that we and all living things rely upon.

**For more information please see our website**



**BEAVER**  
SOLUTIONS

**Beaver Solutions LLC**  
**[www.beaversolutions.com](http://www.beaversolutions.com)**

*This document may be reproduced and distributed courtesy of Beaver Solutions LLC.*



## **References:**

---

<sup>i</sup> U.S. Environmental Protection Agency, Functions and Values of Wetlands, EPA 843-F-01-002c, September 2001.

<sup>ii</sup> U.S. Environmental Protection Agency pdf, 2016, <https://www.epa.gov/sites/production/files/2016-02/documents/wetlandfunctionsvalues.pdf>

<sup>iii</sup> The Beaver Restoration Guidebook, p 5.

**Note - The Beaver Restoration Guidebook: Working with Beaver to Restore Streams, Wetlands, and Floodplains**, Pollock, M.M., G.M. Lewallen, K. Woodruff, C.E. Jordan and J.M. Castro (Editors) Version 2.0, 2017. United States Fish and Wildlife Service, Portland, Oregon. 2017, pp. 219.

This guidebook is the definitive, highly referenced manual on beavers and their management. It can be downloaded in its entirety at: <https://www.beaverinstitute.org/education/beaver-basics/>

<sup>iv</sup> The Beaver Restoration Guidebook, pp. 13-19.

<sup>v</sup> The Beaver Restoration Guidebook, pp. 15-17.

<sup>vi</sup> The Beaver Restoration Guidebook, pp. 4-5.

<sup>vii</sup> The Beaver Restoration Guidebook, pp. 7-10.

<sup>viii</sup> The Beaver Restoration Guidebook, pp. 6 -7.

<sup>ix</sup> The Beaver Restoration Guidebook, pp. 4-5.

<sup>x</sup> The Beaver Restoration Guidebook, pp. 11-13.

<sup>xi</sup> The Beaver Restoration Guidebook, pp. 2-19.

<sup>xiii</sup> <https://www.beaverinstitute.org/research/library/>, See "Flow Devices".



First known beaver deceiver installed at Sand Dam Road  
Five Mile River crossing. Photo by Marla Butts

06/01/2012 13:43





IMG\_1581.JPG Beaver deceiver at Sand Dam Road Five mile River X-Culvert inlet. Photo by Marla Butts



06/04/2019 11:44



IMG\_1582 JPG Beaver deceiver  
at Sand Dam Rd close up.  
Photo By Marla Butts

06/04/2019 11:44





E.c) 2. Applications Received After Agenda was  
Published

DEC20037, Mirash & Alketa Isufi, 4 Fairway Drive  
(Assessor's Map 77, block 62, Lot 571), cleaning of man-  
made pond during low flow under maintenance &  
enjoyment of residential home, stamped received  
9/4/2020





*Town of Thompson*  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

For Commission Use Only  
Application #: DEC20037

Received

SEP 04 2020

Thompson Wetlands Office

**APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE**

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

**Part I Request for Use Permitted as of Right or Non-Regulation Use** (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
  - a.  Grazing, farming, nurseries, gardening and harvesting of crops.
  - b.  Farm pond three (3) acres or less essential to the farming operation.
  - c.  Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
  - d.  Boat anchorage or mooring.
  - e.  Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
  - f.  Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
  - g.  Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
  - a.  Conservation of soil, vegetation, water, fish or wildlife.
  - b.  Outdoor recreation
  - c.  Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
  - a.  The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
  - b.  The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
  - c.  The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)



**Part II Contact Information**

1) Applicant Contact Information

a) Applicant Name: Mirash & Alketa Isufi

b) Mailing Address: 4 Fairway Dr. North Grosvenordale CT 06255  
 (include town state zip)

c) Daytime Phone #: 774-535-1234

d) Evening Phone #: 774-535-1234

e) Cell Phone # (optional): \_\_\_\_\_

f) Email Address (optional): Misufi70@gmail.com

2) Applicant's Interest in Property (check one only)

property owner       lessee       easement holder

3) Owner Contact Information (required if applicant is not property owner)

a) Name: \_\_\_\_\_

b) Mailing Address: \_\_\_\_\_  
 (include town state zip)

c) Daytime Phone #: \_\_\_\_\_

d) Evening Phone #: \_\_\_\_\_

e) Cell Phone # (optional): \_\_\_\_\_

f) Email Address (optional): \_\_\_\_\_

**Part III Site Information**

1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot
4 Fairway Dr.	77	62	571

2) Attach an 8 1/2 inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable – see <https://thompsonct.mapgeo.io> )

3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

a) Wetlands: 0 (in square feet)

b) Open Water Body: 0 (in square feet)

c) Stream: 0 (in linear feet)

4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see [http://thompsonct.org/images/stories/Inland\\_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf](http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf) - check one)       No       Yes (If Yes, then upland review area = 200 ft.)

5) Upland Review Area altered: 1340 (in square feet)

For 6 & 7 below see [http://thompsonct.org/images/stories/Planning\\_Development/Inland\\_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf](http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf)

6) U.S.G.S. Topographic Quadrangle (check all involved)

#13 Webster MA

#14 Oxford MA

#28 Putnam

#29 Thompson

7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

French River       3300       3301

Quinebaug River       3700       3708

Five Mile River       3400       3401       3402



**Part IV Description of Activity Proposed**

1. Detailed project description and purpose:

The intent of this project is to clean and maintain the body of water on the property at #4 Fairway Dr., The timing of this project is immediate, due to the current low water levels, now is an opportune time to do so and their for the primary reason for this request. The specifics of the project as identified on the attached site plan dated 09/04/2020, are the areas that immediately surround the "pond" and the pond itself. The scope of this project is to remove debris and sediment from the "pond" as well as stabilize the surrounding area to prevent future sedimentary runoff into this body of water helping to better maintain a natural healthy habitat for wildlife as well as a more aesthetic view for the owner and the community. This activity has been neglected for over 30 years and as stated earlier due to the low water conditions this year it is the opportune time to commence this activity. It is under the understanding that this body of water was man made as part of the golf course back when the property was used as such. ~1980's

2. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

**Part V Application Permissions & Certifications**

1) Owner's Permission<sup>1</sup>

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposed of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

Mirash Isaji  
(Signature of property owner)

9/4/20  
Date

Mirash Isaji  
For all persons excluding individuals print name and title of signatory above

2) Applicant's Certification<sup>1</sup>

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

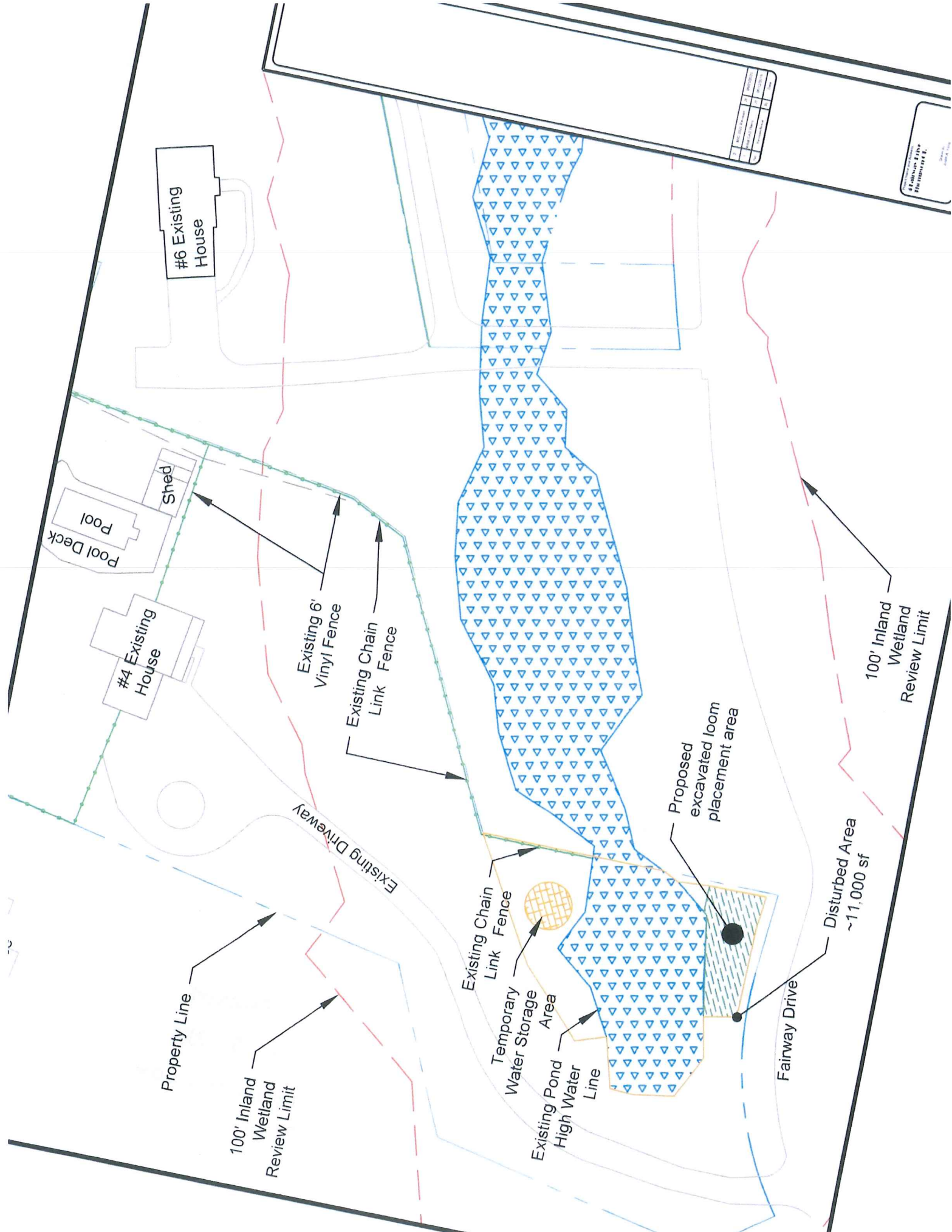
\_\_\_\_\_  
(Signature of applicant)

\_\_\_\_\_  
Date

\_\_\_\_\_  
For all persons excluding individuals print name and title of signatory above

<b>*** For Commission Use Only ***</b>	
Agency Response:	
IWC Chair Signature:	Date:

<sup>1</sup> If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president , (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner; (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.



#6 Existing House

Pool Deck  
Pool  
Shed

#4 Existing House

Existing 6' Vinyl Fence

Existing Chain Link Fence

Existing Driveway

Property Line

100' Inland Wetland Review Limit

Existing Chain Link Fence

Temporary Water Storage Area

Existing Pond High Water Line

Proposed excavated loom placement area

Fairway Drive

Disturbed Area ~11,000 sf

100' Inland Wetland Review Limit

NO	DATE	DESCRIPTION
1		
2		
3		
4		
5		

4/10/2018  
10/10/2018  
10/10/2018  
10/10/2018  
10/10/2018  
10/10/2018



**Complaint 20-11 4 Fairway Drive, Application:  
DEC20037 Pond Cleaning  
Photo by Marla Butts taken 08-31-2020**





## Agenda Item G.b. Violations & Pending Enforcement Actions

VIOL20013, Adrienne Martin and Joseph Fagan, 208 Linehouse Rd, Assessor's map 36, block 70, lot 4, clearcutting of trees and earth moving work in 100-foot upland review area, Notice of Violation issued 5/14/2020 7/14/2020 granted extension to 10/1/2020 for completion of work.

## Agenda Item G.a. Violations & Pending Enforcement Actions

**Cease & Restore Order VIOL20003** Scott Josey, 637 East Thompson Road, Assessor's map 154, block 5, lot 14: filling of wetlands and work within 100-foot upland review area, issued 3/5/2020, hearing and decision 3/10/2020 soil scientist report submitted 5/10/2020 approved, and to be work completed by 9/15/2020.

## Agenda Item G.c. & d. Violations & Pending Enforcement Actions

**VIOL20018**, Marc Baer, 1227 Thompson Rd, Assessor's map 116, block 24, lot 10, clearcutting trees and earth moving work in 100-foot upland review area for Little Pond, Notice of Violation issued 5/27/2020 to cease tree cutting and earth moving work, install E&S controls and by 6/3/2020 provide written explanation for work done and schedule for submitting application (reference Application IWA20022 above).

&

**VIOL20019**, Patrick Wall & Wall Excavation and Home Improvement LLC, 1227 Thompson Rd, Assessor's map 116, block 24, lot 10, clearcutting trees and earth moving work in 100-foot upland review area for Little Pond. Notice of Violation issued 5/28/2020 to cease any further earth moving work until a permit or wetlands agent approval is issued and immediately install E&S controls along Little Pond. 8/6/2020 follow up letter sent to remove woody debris from Little Pond by 9/1/2020.



## Agenda Item G.e. Violations & Pending Enforcement Actions

VIOL20033, Jennifer Burlingame & Robert Lemieux, Jr., 480 Quaddick Town Farm Rd., Assessor's map 158, block 20, lot 8K, filling / earthmoving within 100-foot upland review area and possibly within delineated wetlands. Notice of Violation issued 8/6/2020 to cease any further earthmoving work and by August 20, 2020 provide an explanation for the earth moving work and the reason why an approval was not sought prior to the initiation of work within 100 feet of delineated wetlands.

## Agenda Item H Other Business

- a) CACIWC Membership Renewal for FY 20-21



# Connecticut Association of Conservation and Inland Wetlands Commissions, Inc.

## MEMBERSHIP APPLICATION & RENEWAL FORM

To: CACIWC Members and Supporters:

**Membership Dues for July 1, 2020 through June 30, 2021 Are Due.**

Please consider joining CACIWC or renewing your membership.

Your annual dues support CACIWC education and outreach programs, the Annual Meeting and Environmental Conference, the publication and distribution of our newsletter The Habitat, the CACIWC.org website and CACIWC's operational budget. Please note that we have not increased membership fees for the 2020-2021 fiscal year.

Your continued support is vital to our mission to promote the statutory responsibilities of Connecticut Conservation Commissions and Inland Wetlands Agencies, and to foster environmental quality through education and through the conservation and protection of wetlands and other natural resources.

CACIWC is a 501(c)(3) non-profit organization.

*Please complete the below form and return to with your check payable to CACIWC at:  
CACIWC; deKoven House Community Center; 27 Washington Street, Middletown, CT 06457*

### CACIWC MEMBERSHIP - July 1, 2020 through June 30, 2021

#### Voting: Commissions & Agencies

- One Commission \$ 65.00
- One Commission (Sustaining Member) \$ 75.00
- Two Commissions \$ 120.00
- Two Commissions (Sustaining Member) \$ 150.00

- Membership Renewal**
  - New Membership**

#### Non-Voting: Individual, Organization, Business

- |  |  |
|--|--|
| <input type="checkbox"/> Individual \$25.00        | <input type="checkbox"/> Organization/Business \$ 50.00                      |
| <input type="checkbox"/> Saw-Whet Owl \$35.00      | <input type="checkbox"/> Organization/Business (Supporting Member) \$ 100.00 |
| <input type="checkbox"/> Long-Eared Owl \$50.00    | <input type="checkbox"/> Organization/Business (Sustaining Member) \$ 250.00 |
| <input type="checkbox"/> Great-Horned Owl \$100.00 | <input type="checkbox"/> Individual (Lifetime) \$ 750.00                     |

Please visit [www.caciwc.org](http://www.caciwc.org) and click on "Support CACIWC" for additional information

#### CONTACT INFORMATION:

Commission/Organization/Individual Name: \_\_\_\_\_

City/Town: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ email (required): \_\_\_\_\_

Chairperson's Name: \_\_\_\_\_ email: \_\_\_\_\_

Staff Person's Name: \_\_\_\_\_ Phone/email: \_\_\_\_\_ / \_\_\_\_\_

*NOTE: If membership payment is for two commissions please complete the following.*

Name of 2<sup>nd</sup> Commission: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ email (required): \_\_\_\_\_

Chairperson's Name: \_\_\_\_\_ email: \_\_\_\_\_

Staff Person's Name: \_\_\_\_\_ Phone/email: \_\_\_\_\_ / \_\_\_\_\_

**Please make checks payable to: CACIWC**



## Agenda Item I Reports

- 1 Budget & Expenditures
- 2 Wetlands Agent Report

Agenda Item J - Correspondence

Agenda Item K - Signing of Mylars

Agenda Item L - Comments by Commissioners

Agenda Item M - Adjournment