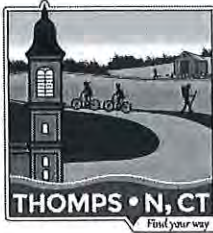


INLAND WETLANDS COMMISSION
TUESDAY, August 9, 2022
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C.a.
Action on Minutes of Previous Meeting
Minutes of July 12, 2022



**TOWN OF
THOMPSON**
Inland Wetlands Commission
815 Riverside Drive, P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

RECEIVED
TOWN OF THOMPSON, CT.

2022 JUL 15 A 9:19

Linda Paradise
TOWN CLERK ASSJ

MEETING Minutes: Tuesday, July 12, 2022 7:00PM

Hybrid meeting via Zoom Online Meeting Portal
and in-person at Merrill Seney Community Room
Thompson Town Hall, 815 Riverside Drive, North Grosvenordale, CT 7:00pm

- A) The meeting was called to Order at 7:10 PM by Chairman George O'Neil, who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer), Francesca Morano (Commissioner, entered the meeting at 8:01 PM), Marla Butts (Wetlands Agent), Gloria Harvey (Recording Secretary), and Amy St. Onge (First Selectman)

Members of the Public: Valerie Clark, Janet Blanchette, Jason Lavalley, Dale Harger, Gregg Carso and others

- B) Appointment of Alternates – n/a

- C) Action on Minutes of Previous Meetings

- a) Motion Charlie Obert, second Diane Chapin to accept the Minutes of June 14, 2022. The Minutes of June 14, 2022 are accepted.

- D) Citizens Comments on Agenda Items - None

- E) Applications

- a) Old Applications

1. **WAA22013**, Hany Youssef, 274 Riverside Dr (Assessor's map 87, block 95, lot 39), construct commercial building on existing foundation for non-medical cannabis facility, stamped received 5/23/22, issued 6/27/22, legal notice to be published 7/8/22, end of appeal period 7/23/22. No action required by the Commission.
2. **WAA22015**, Greg & Anna Kuznecki, 0 Richard Bennett Lane (Assessor's map 137, block 7, lot 5L), construct septic system and discharge foundation drain in 100-foot upland review area, stamped received 6/6/22, issued 6/28/22, legal notice to be published 7/8/22, end of appeal period 7/23/22. No action required by the Commission.

- b) New Applications

1. **WAA22017**, Emily Kreidler, 31 Becola Rd (Assessor's map 116, block 24, lot 25), demolish existing home, reconstruct new home in same location with new well within the 100-foot upland review area for Little Pond, stamped received 6/15/22, under review. Copy of NDDH B100 approval received for home and new well. Requested J & D Engineering to submit a revised plan showing the 100-year flood plain. The existing septic system and leach field located on the other side of Becola Road is not being replaced. The Commissioners had no objection to the issuance of a Wetlands Agent Approval once the updated information is received.

2. **WAA22018**, Eliezer & Joyce Machado, 1290 Riverside Drive (Assessor's map 57, block 66, lot 6S), construct 12' X 24' inground pool, stamped received 6/15/22, issued 6/28/22, legal notice to be published 7/8/22, end of appeal period 7/23/22. Wetlands Agent Approval was issued with an additional condition stating all soil excavated for pool construction, if deposited on site, shall be placed outside of the 100-foot upland review area and stabilized with vegetation or if deposited offsite, such disposal must comply with all state requirements with respect to wetlands. No requests for appeal were received, so no action is required by the Commission at this time.
3. **SUB22019**, Lavallee Construction LLC, 0 Donovan Dr (Assessor's map 3, block 80, lots 2T, 2U & 2W), re-subdivide 3 existing lots into 4 lots, stamped received 6/30/22. Note: work proposed in the 100-foot upland review area on Lot 2T is already authorized under Permit IWA17037. This is a request for a conceptional subdivision plan approval. Zoom documents containing the application documents, were viewed. Janet Blanchette, J & D Civil Engineering, stated that the developer is donating 19 acres near the Quinebaug River. There use to be three lots which have enough frontage and area to split these three lots into four. No work is proposed in wetlands and very little work in the upland review area which is already covered by Permit IWA17037. Since there is no change in the regulated activities Marla stated she sees no reason why the Commission will not inform the PZC that all the work that was proposed in this conceptional subdivision plan, wetlands regulated activities have already been authorized, and no further action is required by the Wetlands Commission. Janet Blanchette stated the developer is required to provide a walking trail and parking. In response to a question as to when the public will be notified of access to the walking trail, Janet Blanchette stated she hoped it would be promoted on the website or by the Trails Committee. Sidewalk placement and maintenance, and effect on the upland review area were discussed. A motion was made by Charlie Obert, seconded by Diane Chapin to approve the conceptional subdivision plan with a supplemental recommendation to the Planning and Zoning Commission regarding sidewalks and trail. The motion was APPROVED 3-0. Chairman O'Neil asked Marla to notify the Planning and Zoning Commission as discussed.
4. **IWA22020**, Lavallee Construction LLC, 0 Donovan Dr. (Assessor's map 3, block 80, lot 2D), filling 690 sq ft of wetlands and work in the 100-foot upland review area for the construction to 2 single family homes with wells & septic systems, stamped received 6/30/22, statutorily received 7/12/22. Note: proposal involves a re-subdivision splitting the lot into 2 lots; site walk conducted on 3/12/22. The application was submitted as a permit application because it was filling in wetlands. Minor work will be required in the upland review area on the lot that is being created. One permit was submitted for both lots and the Commission's decision will be forwarded to the Planning and Zoning Commission because splitting one lot into two lots will require resubdivision approval. Janet Blanchette stated Margaret Washburn reported there was not enough water to make it a vernal pool. She made six sweeps with a net and found no fairy shrimp, amphibians or egg masses, no vernal pool obligates were observed. Large quantities of algae and some winged insects were observed. The Commission accepted this application per state statute and will be considered for a decision at next month's meeting.
5. **DEC220221**, Gregg & Lauren Corso, 36 Labonte Rd. (Assessor's map 120, block 30, lot 7), timber harvest request as use permitted as of right, stamped received 7/5/22. Applicant Gregg Corso, via Zoom, stated the plan was submitted by a cost sharing plan through the NRCS and the Forest Management Plan was prepared by Eric Hansen, Forester, in the state of Connecticut. He confirmed that this application did not contain the Timber Harvest on 0

Lowell Davis Road, the work is limited to only 36 LaBonte Road. Wetlands have been avoided. The plan indicated temporary stream/drainage crossing. Plan for timber harvest is for fall and winter to prevent damage to wet area, as conditions in the spring and summer are moist and not passible for equipment. Gregg Carso will send an electronic copy of the Forest Management Plan to Marla for the record. A motion to approve the application to grant a Use Permitted as of Right at 36 LaBonte Road was made by Charlie Obert and seconded by Diane Chapin. The application was approved 3-0.

- c) Applications Received After Agenda was Published - None
- F) Permit Extensions / Changes – None
- G) Violations & Pending Enforcement Actions
 - a) Notice of Violation **VIOL21023**, Jamie Piette, 0 & 73 Center Street (Assessor's map 16, block X, lots H & 2), unauthorized construction of retaining wall and associated backfill in or near Little Pond, issued 8/24/21. Email sent to Jamie Piette, stating the engineering evaluation was acceptable to allow the rebuilt retaining wall to remain without modification and if the plan Killingly Engineering Associates submitted entitled Improvement Location Survey prepared for Jamie Piette, 73 Center Street, Thompson, Ct dated 12/9/2021 was filed in Thompson Land Records the violation would be considered resolved without any requirement for the submission of After the Fact Permit Application. On June 21 2022, Jamie Piette replied that they plan to file the mylar. On July 11, 2022 Killingly Engineering was contacted and the mylar has been produced and waiting for the Piette's to pick it up and file it on the land records.
 - b) Notice of Permit Violation **VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021. This violation file will be kept open until an acceptable as built drawing for the site has been received so the Commission can decide if there is any remedial work that will be required. On July 6, 2022, Marla Butts visited the site and observed ongoing work and putting waterproofing material on the foundation. The Building Department was notified, and the Building Official went out and inspected the site and sent an email to Mr. Baer notifying him the work being done is not acceptable and issued a stop work order until site issues are addressed and corrected.
 - c) Notice of Violation **VIOL22008**, Rodney Lamay, 0 Quaddick Town Farm Road (Assessor's map 160, block 11, lot 15), unauthorized clearing, cutting & grading in wetlands, issued by Acting Wetland Agent 3/21/2022. Marla Butts visited the site and observed evidence that some vehicle or machine had crossed into the property and until she gets access from the neighboring property that abuts up to it, she will not be able to verify activity.
 - d) Notice of Violation **VIOL22014**, Jason Chin & Dannielle Lohler, 150 Wilsonville Rd (Assessor's map 77, block 46, lot 29), construction of detached garage in 100-foot upland review area, issued 6/6/2022. Notice of Violation issued on June 6, 2022 and sent by Certified Mail, delivered on June 6, 2022, stated that they were now placed on notice that any new earth moving or construction work within 100' of wetlands or watercourses or any alteration of wetlands or watercourses without seeking or obtaining approval from the Inland Wetlands Commission may result in the issuance of a Cease and Desist Order and if issued would be filed in the permanent land records in the Town of Thompson and would remain there until the violation was resolved. No contact from Mr. Chin or Ms. Lohler has been received to date. They have been placed on notice and there is nothing they have to do. With the approval of the Commission, Marla will close the file.

H) Other Business

a) Training Options

Public act passed regarding Land Use Commissioners, and OPM was supposed to set up a training program for PZC Commissioners. There was no reference to Inland Wetlands Commissioners. Marla Butts contacted the DEEP and was told the in-person training program they use to do was now only online and is being maintained by UCONN Clear's Land Use Academy. A link will be put on the website where Commissioners can get their certificate renewed, and find more supplemental ongoing education programs available at no charge.

b) Update on Proposed Revisions to Subdivision Regulations

Approached the Planning and Zoning Commission about concerns of the loss of net buildable area from the Zoning Regulations and the impact it might have on subdivision applications. The subdivision regulations that are being proposed will include some changes that increase the pressure on developing marginal lands such as flood plains and wetlands including shared drives, private roads and coupled with smaller lots. Marla will set up an in-house meeting in August with George O'Neil, Joseph Parodi-Brown, Tyra, Amy St. Onge and Janet Blanchette to discuss concerns about net buildable area and lot sizes in the Zoning Regulations before she approaches the Planning and Zoning Commission to discuss these issues.

I) Citizen's Comments – Placed incorrectly in Zoom documents, correct in the agenda—scribblers' error

Valeria Clark, 105 Alm Road- Noticed on Map Geo links to field cards are broken and she was unable to find the Assessors Data Base online. The Wetlands Agent responded that there is a problem with Map Geo, and it is being worked on to fix these issues. Function with Vision does not work anymore so the Town is not using Vision in Map Geo. The proposed fix to Map Geo will not change any information on the field cards. She advised Valerie Clark to contact the Assessor to discuss a way to obtain the information she is looking for.

J) Reports

a) Budget & Expenditures

Treasurer Diane Chapin reported the budget for year end, July 1, 2021-June 30, 2022, closed at 100.8% of budget. Encumbrances for the Wetlands Agent and Advertising totaled \$316.00

Wetlands Agent explained she spent over 100 hours when the request for redlining was received for the subdivision regulations revisions. This used a tremendous amount of her time and she cut back as much as she could in areas that were unnecessary so overages would not be too excessive. Overage on her salary was 109%. She also spoke with First Selectman Amy St. Onge who said she would find a way to cover the overage.

b) Wetlands Agent Report – For details see report filed in the Wetlands Office.

Updates: no progress has been made on the MS4 2019-2021 Annual Report, MS4 contracts, records disposal or on the drafting IWC regulation amendments. Focus will now be on Inlands Wetlands Commission regulation amendments, and she will send them out to the Commission Members in advance. She will suggest a Special Meeting to discuss potential changes, and she expressed concerns about application fees not being adequate and the elimination of conceptional subdivision plan approvals.

Inspections / Followup Actions: **Complaint 22-06**, 286 Thompson Hill Rd – Report of trenching in wetlands for electrical service at Thompson Manor – Determine that a very small amount of work occurred in the 100-foot upland review area and expect J&D Civil Engineers will be submitting in the next week a wetlands agent approval for the development of the house lot

including the work for the electrical service. **Complaint 22-07**, 21 Marcy Lane – Report of siltation from driveway expansion – Inspection revealed there is an erosion and siltation problem with widening of the driveway and a follow up inspection will be performed shortly to check on soil stabilization progress and determine what further action may be needed in coordination with any Public Works requirements on the driveway expansion. **117, 119 & 0 New Road** – Still investigating how a new water flow was created at 117 New Road affecting the properties at 119 New Road and 0 New Road. This involves researching the original subdivision plans, building permit files, gravel mining permits and the effects subsequently lot line adjustments may have had on the development of 117 New Road.

Building Permits Reviewed: 9 reviewed

Miscellaneous: Created and forwarded to the Director of Planning and the ZEO Word templates for legal notices on zoning permits and zoning public hearing to help reduce costs associated with such notices.

Purchase Requisition Status – Last fiscal year: 4 requisitions outstanding all related to legal notices

K) Correspondence – None

L) Signing of Mylars – None

M) Comments by Commissioners

Charlie Obert questioned the possibility of available hours for MS4 work be combined with Conservation or other departments to find responsibilities that could be combined. Marla responded she looked into that and Dan Malo is not available for MS4 work as he is working on Open Space, easements and cemeteries and he suggested that most of the work needs to be documented and done by the Public Works Department on a daily basis. Public Works also has monies budgeted to contract out the work for the annual report. This will be the last annual report to be drafted by her.

N) Adjournment

At 8:25 PM, Francesca Morano made a motion to adjourn the meeting. The motion was seconded by Diane Chapin. **The motion was unanimously APPROVED.**

Respectfully submitted,

Gloria Harvey, Recording Secretary

Gloria Harvey

Topic: Inlands Wetlands

Start Time: Jul 12, 2022 06:42 PM

Meeting Recording:

https://us02web.zoom.us/rec/share/7Rah-NaUknkKTvoctaeM88enegy99O9I2DrdUY9FRCfS4qGs6moFsa5KJbmNeaqF.qMmclxXkvjLs_HZ1

Access Passcode: ?Y3LWqTB

Agenda Item D.
Citizens Comments on Agenda Items

Agenda Item E.a) 1. Old Applications

WAA22017, Emily Kreidler, 31 Becola Rd (Assessor's map116, block 24, lot 25), demolish existing home, reconstruct new home in same location with new well within the 100-foot upland review area for Little Pond, stamped received 6/15/22, approved 7/19/22, legal notice published 8/5/22, appeal period ends 8/20/22.

Agenda Item E.a) 2. Old Applications

IWA22020, Lavallee Construction LLC, 0 Donovan Dr. (Assessor's map 3, block 80, lot 2D), filling 690 sq ft of wetlands and work in the 100-foot upland review area for the construction to 2 single family homes with wells & septic systems. Note: proposal involves a re-subdivision splitting the lot into 2 lots; site walk conducted on 3/12/22.

IW Application	Issued / Expires	Property Reference Assessor's Map 3, Block 80	Nature of Applications	Pending PZC Application
IWA17037	1/18/2018 1/18/2032 (per P.A. 21-163)	Green Valley Estates Subdivision Lots 2D-2Z, 2AA-2AK Dev. Lots 1 thru 31	Wetlands=whole subdivision PZC= 9 lot subdivision on Lavallee Lane (formerly Patriots Way)	PZC # 22-27
SUB22019	7/12/2022 7/12/2027	Lots 2T, 2U & 2W Dev. Lots 17, 18 & 20	re-subdivision 3 lots to 4 lots	PZC #22-25
IWA22020	pending	Lot 2D Dev Lot 1	fill wetlands re-subdivision	PZC # 22-24

File: [https://thompsonctorg-my.sharepoint.com/personal/wetlands_thompsonct_org/Documents/Wetlands/00 Wetlands/Application-Permits/SUB22019 Lavallee Construction Donovan Dr 3-4 lots/IW & PZC Application References on Donovan Drive.docx](https://thompsonctorg-my.sharepoint.com/personal/wetlands_thompsonct_org/Documents/Wetlands/00%20Wetlands/Application-Permits/SUB22019%20Lavallee%20Construction%20Donovan%20Dr%203-4%20lots/IW%20&%20PZC%20Application%20References%20on%20Donovan%20Drive.docx)

2 LOT RESUBDIVISION PLAN
MAP 3 BLOCK 80 LOT 2D
(DEVELOPER'S LOT 1)
DONOVAN DRIVE - THOMPSON, CT

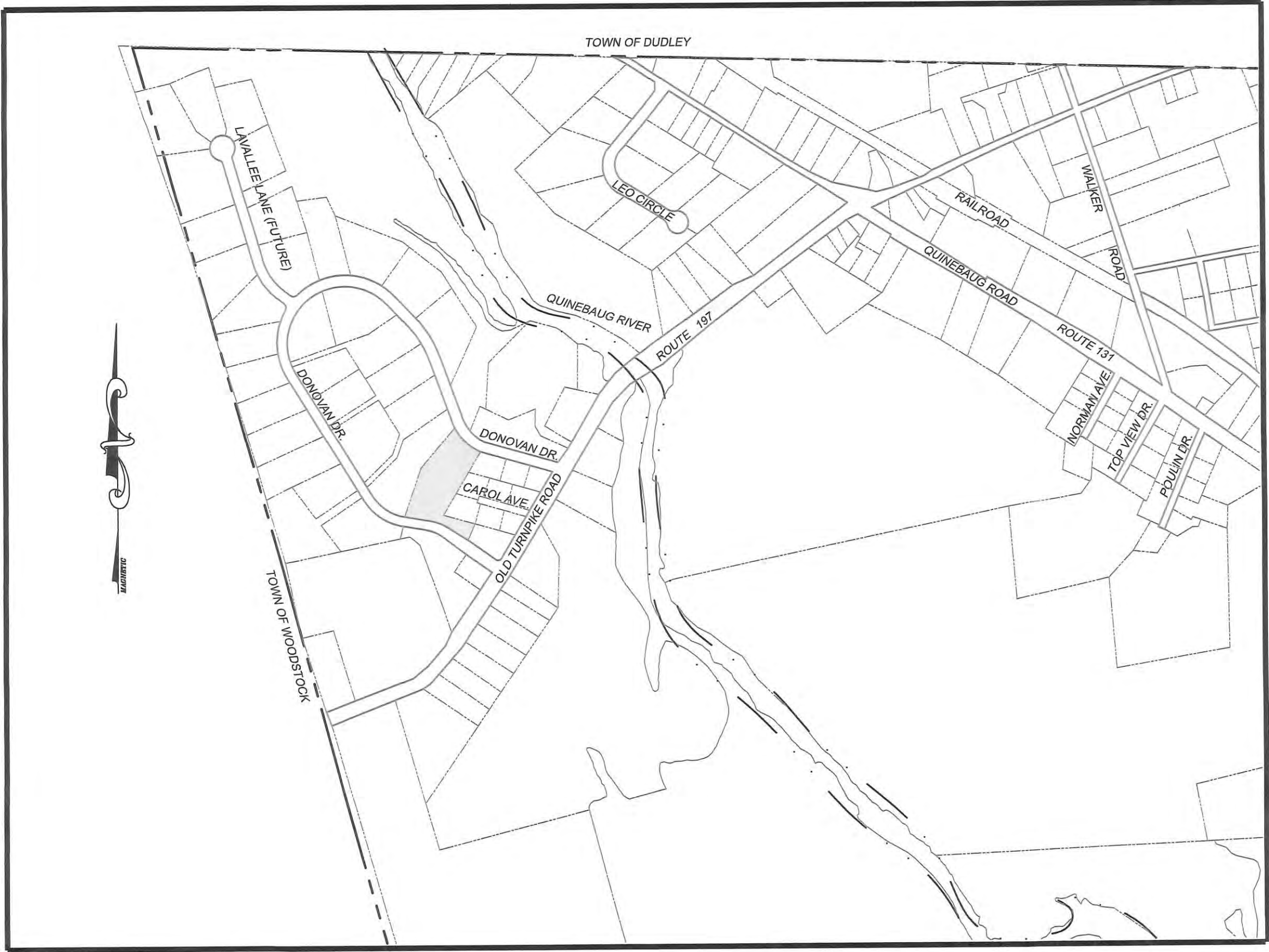
DATED: JUNE 27, 2022

OWNER AND APPLICANT:

LAVALLEE CONSTRUCTION LLC
83 RICH ROAD
NORTH GROSVENORDALE, CT 06255

INDEX OF DRAWINGS

- 1 COVER
- 2 RESUBDIVISION PLAN
- 3 SITE DEVELOPMENT PLAN - NORTH
- 4 SITE DEVELOPMENT PLAN - SOUTH



LOCATION MAP

1" = 500'

ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT (RRAD)
USE: RESIDENTIAL

ITEM	REQUIRED	LOT 2D-NORTH	LOT 2D-SOUTH
FRONTAGE	150'	173.27'	328.23'
LOT COVERAGE	<50%	8.5%	7.7%
FRONT SETBACK	40'	122'	63'
SIDE SETBACK	20'	54'	48'
REAR SETBACK	20'	64'	110'
LOT SIZE	40,000 SF	41,206 SF	48,224 SF

Received
JUN 30 2022
Thompson Wetlands Office

J & D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
THOMPSON, CT 06255
JDCIVILENGINEERS.COM
860-923-2920

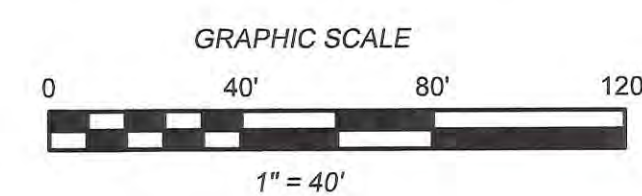
APPROVED INLAND WETLANDS COMMISSION		APPROVED PLANNING AND ZONING COMMISSION	
CHAIRMAN	DATE	CHAIRMAN	DATE
TOWN OF THOMPSON RECEIVED FOR RECORDING		DATE OF PZC APPROVAL	
TOWN CLERK		DATE OF EXPIRATION	
DATE	TIME	MAP #	



ASSESSORS REFERENCE
MAP 3 BLOCK 80 LOT 2D

SHEET: 2 OF 4

CHAIRMAN _____ DATE _____



TEST PIT & PERC TEST RESULTS

OBSERVED BY MAUREEN MARCOUX AND
LYNETTE SWANSON
DATE: JUNE 6-11, 2007

TEST PIT NO. 45

0-12" TOPSOIL WITH ORGANICS
12-44" REDDISH BROWN FINE
SANDY LOAM WITH GRAVEL
44-119" COARSE LOAMY SAND AND
GRAVEL, WATER WORKED

MOTTLING: 44"
RESTRICTIVE LAYER: 44"
LEDGE: N/A
WATER: N/A

TEST PIT NO. 46

0-19" DISTURBED SOIL, COARSE
LOAMY SAND, GRAVEL,
POCKETS VFSL
19-145" DARK GRAY COMPACT
SANDY PAN, MOTTLED

MOTTLING: 19"
RESTRICTIVE LAYER: 19"
LEDGE: N/A

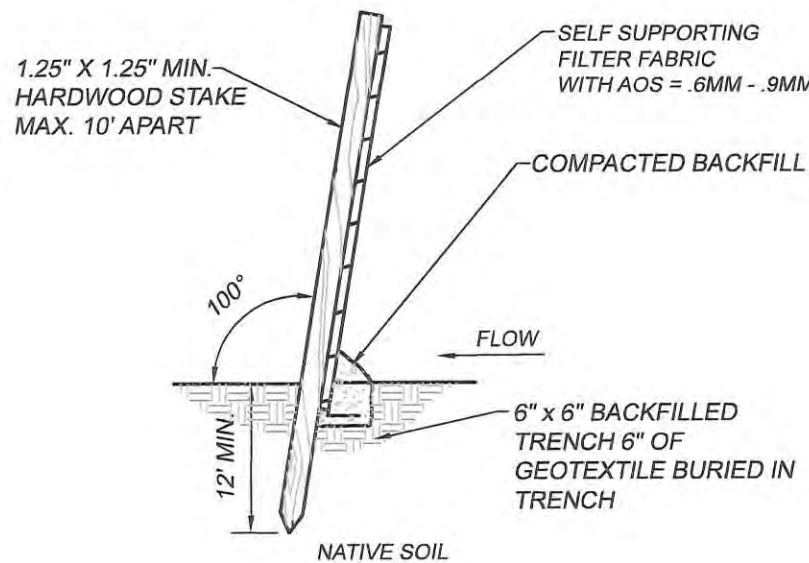
TEST PIT NO. 46A

0-19" GRAVELLY TOPSOIL
10-19" FILL ROOTS
19-28" ORIGINAL TOPSOIL
28-50" GRAVELLY SANDY LOAM,
ROOTS
50-91" COARSE SANDS AND
GRAVEL
91-132" WASHED COARSE SANDS
AND GRAVEL

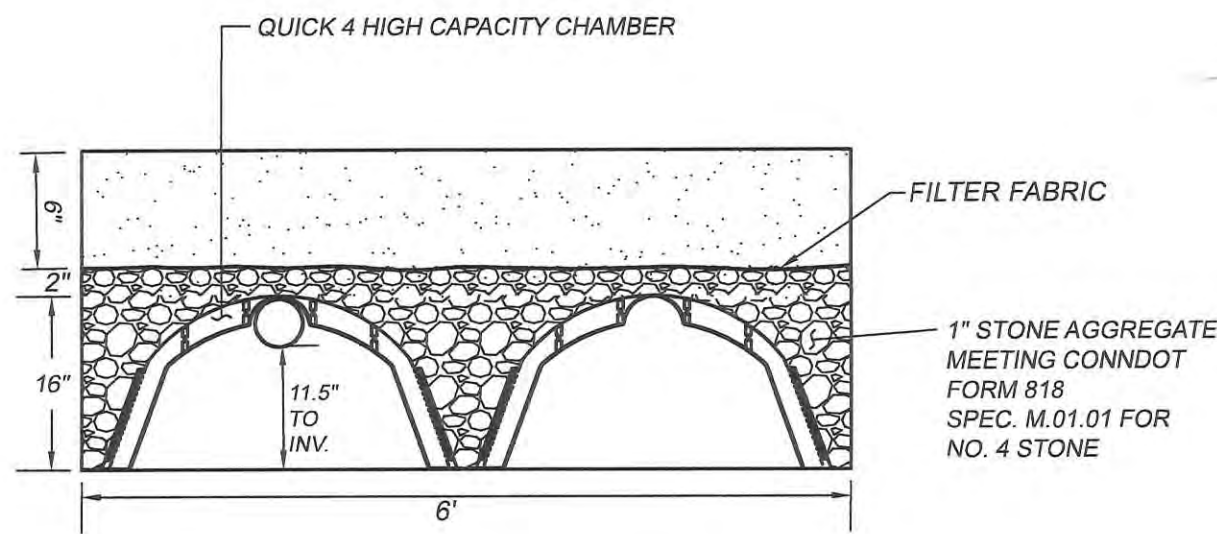
MOTTLING: N/A
RESTRICTIVE LAYER: 91"
LEDGE: N/A
WATER: N/A

HOLE W (TP 46 A)
DEPTH = 17"
PERC. RATE = 2.5 MIN/INCH

TIME	READING
10:53	3"
10:55	7"
10:57	9.25"
11:00	11.25"
11:05	13.25"
11:10	15.25"
11:12	DRY



SILT FENCE INSTALLATION
NOT TO SCALE



INSTALL INFILTRATORS AS PER MANUFACTURERS' SPECIFICATIONS

QUICK 4 HIGH CAPACITY GALLERY TRENCH
N.T.S.

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

PURPOSE: THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM

TYPE: GENERAL LOCATION

HORIZONTAL ACCURACY: CLASS B

TOPOGRAPHIC ACCURACY: CLASS T3 - CONTOURS ARE FROM AN AERIAL SURVEY IN 2006, SUPPLEMENTED BY ON THE GROUND FIELD SURVEY IN THE AREA OF THE SEPTIC SYSTEMS BY J & D CIVIL ENGINEERS IN 2020.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION

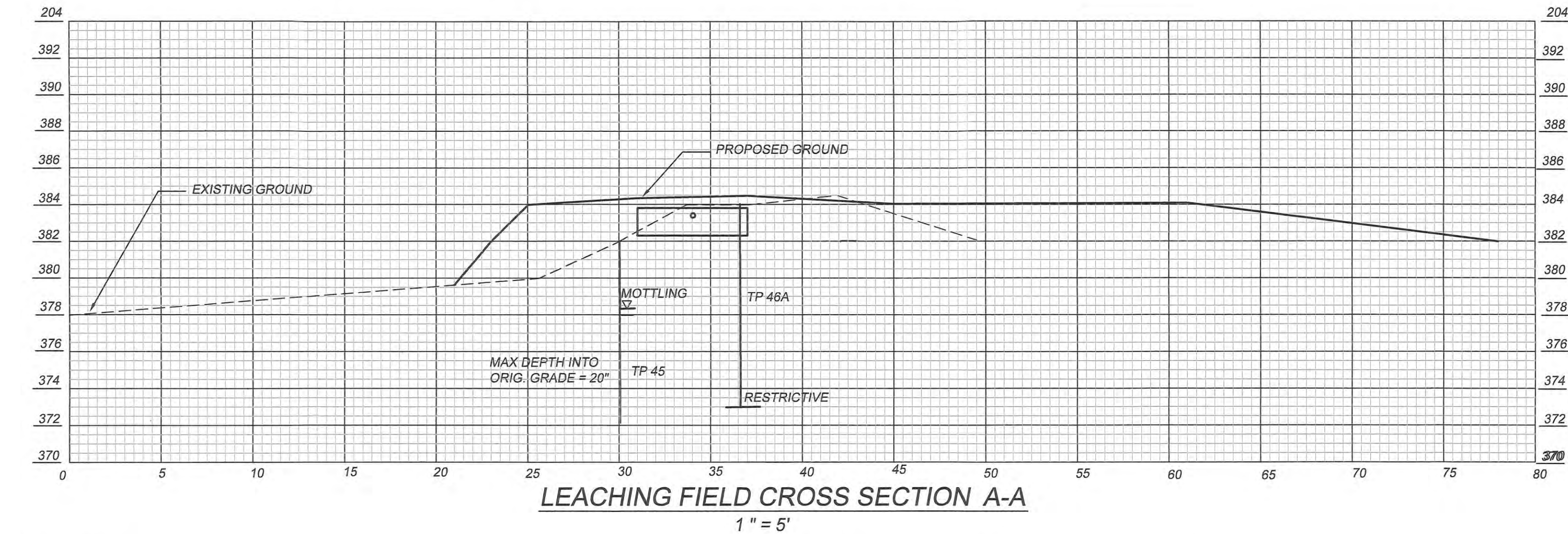
2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J&D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: SUBDIVISION AND SITE PLANS TITLED "GREEN VALLEY VIEW ESTATES" THOMPSON, CT BY J & D CIVIL ENGINEERS ORIGINALLY APPROVED IN 2006 AND UPDATED IN 2018.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/2022 LICENSE

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2022 J&D CIVIL ENGINEERS, LLC



SEPTIC SYSTEM DESIGN CRITERIA

NUMBER OF BEDROOMS: 3
SEPTIC TANK: 1000 GALLON
PERC RATE: 2.5 MINS/INCH
MOTTLING: 32"; LEDGE: N/A; WATER: N/A; RL: 44"; SLOPE: 8.1-10%
LEACHING AREA REQUIRED: 495 SQUARE FEET
LEACHING AREA PROVIDED: 80' OF INFILTRATORS IN A GALLERY CONFIGURATION, 6' WIDE, @ 6.2 SF/LF = 496 SQUARE FEET
MLSS (PRIMARY) = 27' (HF=18, PF=1.0, FF=1.5)
LSS PROVIDED = 80'

SEPTIC SYSTEM SPECIFICATIONS

- SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".
- THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.
- ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.
- SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.
- DISTRIBUTION BOXES: 4 HOLE D-BOXES
- HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.
- DISTRIBUTION: HIGH CAPACITY INFILTRATORS IN A GALLERY CONFIGURATION. INSTALL PER MANUFACTURER'S DIRECTIONS.
- BOTTOM OF TRENCHES TO BE LEVEL.
- TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.
- ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) = 5%		
11. GRADATION ON FILL LESS GRAVEL:		
SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

12. THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES

- THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
- EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
- THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

LEGEND

---	BUILDING SETBACK LINE
---	PROPERTY LINE
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
---	EDGE OF WETLANDS
---	WETLAND BUFFER/UPLAND REVIEW AREA
---	EROSION CONTROL DEVICES
---	TEST PIT
---	LEACHING TRENCH
---	STONEWALL
---	UTILITIES
---	TREELINE

NDDH FILE # 7001397

SITE DEVELOPMENT PLAN - NORTH LOT 2D- NORTH (DEVELOPER'S LOT 1) PREPARED FOR LAVALLEE CONSTRUCTION LLC DONOVAN DRIVE - THOMPSON, CT	
J&D CIVIL ENGINEERS, LLC 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 860-923-2920	
DESIGNED: JJB CHECKED: DRB	REVISIONS:
JOB NO: 22142 SCALE: 1" = 20'	DATE: JUNE 27, 2022 SHEET: 3 OF 4

TEST PIT & PERC TEST RESULTS

OBSERVED BY MAUREEN MARCOUX
DATE: MAY 10, 2022

TEST PIT NO. 1

0-12" FILL
12-26" TOPSOIL
26-40" RED BROWN SANDY LOAM ROOTS
40-58" YELLOW BROWN F SANDY LOAM ROOTS
58-111" COARSE SAND AND GRAVEL

MOTTLING: N/A
RESTRICTIVE LAYER: N/A
LEDGE: N/A
WATER: N/A
ROOTS: 60"

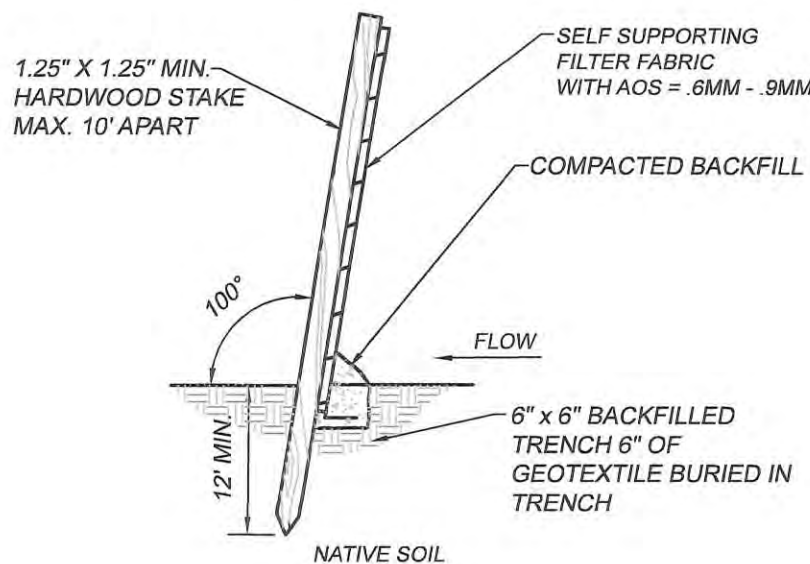
TEST PIT NO. 2

0-8" TOPSOIL
8-57" BONEY COARSE SANDS AND GRAVEL
57-96" GREY COMPACT SILTY PAN MOTTLED

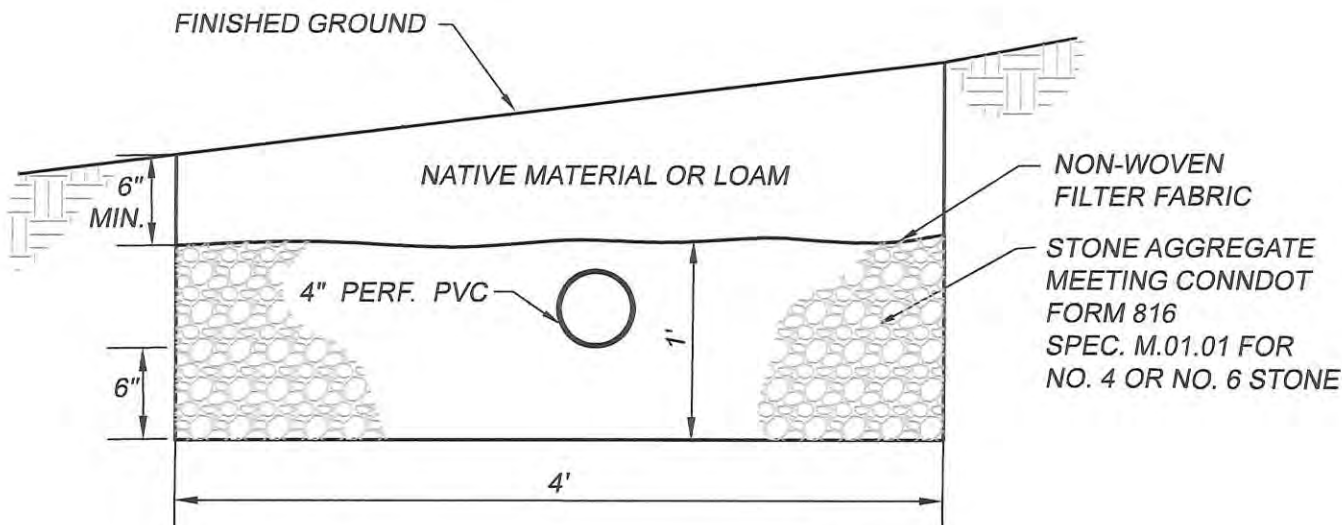
MOTTLING: 57"
RESTRICTIVE LAYER: 57"
LEDGE: N/A

HOLE BB TP 1&2
DEPTH = 15/48"
PERC. RATE = 6.1 MIN/INCH

TIME	FILL	READING
11:10	4.75"	
11:15	6.5"	
11:20	8"	
11:25	9"	
11:35	11"	
11:45	12.625"	



SILT FENCE INSTALLATION
NOT TO SCALE



LEACHING TRENCH DETAIL
N.T.S.

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

PURPOSE: THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM

TYPE: GENERAL LOCATION

HORIZONTAL ACCURACY: CLASS B

TOPOGRAPHIC ACCURACY: CLASS T3 - CONTOURS ARE FROM AN AERIAL SURVEY IN 2006, SUPPLEMENTED BY ON THE GROUND FIELD SURVEY IN THE AREA OF THE SEPTIC SYSTEMS BY J & D CIVIL ENGINEERS IN 2020.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J&D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: SUBDIVISION AND SITE PLANS TITLED "GREEN VALLEY VIEW ESTATES" THOMPSON, CT BY J & D CIVIL ENGINEERS ORIGINALLY APPROVED IN 2006 AND UPDATED IN 2018.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07
LICENCE

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2022 J&D CIVIL ENGINEERS, LLC



SEPTIC SYSTEM DESIGN CRITERIA

NUMBER OF BEDROOMS: 3
SEPTIC TANK: 1000 GALLON
PERC RATE: 6.1 MINS/INCH
MOTTLING: 57"; LEDGE: N/A; WATER: N/A; RL: 57"; SLOPE: 4.1-6.0%
LEACHING AREA REQUIRED: 495 SQUARE FEET
LEACHING AREA PROVIDED: 165' OF 4' WIDE STONE TRENCHES, @ 3.0 SF/FF = 495 SQUARE FEET
MLSS (PRIMARY) = 30' (HF=20, PF=1.0, FF=1.5)
LSS PROVIDED = 55'

SEPTIC SYSTEM SPECIFICATIONS

- SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".
- THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.
- ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.
- SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.
- DISTRIBUTION BOXES: 4 HOLE D-BOXES
- HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2865 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.
- DISTRIBUTION: STONE FILLED TRENCHES.
- BOTTOM OF TRENCHES TO BE LEVEL.
- TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.
- ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

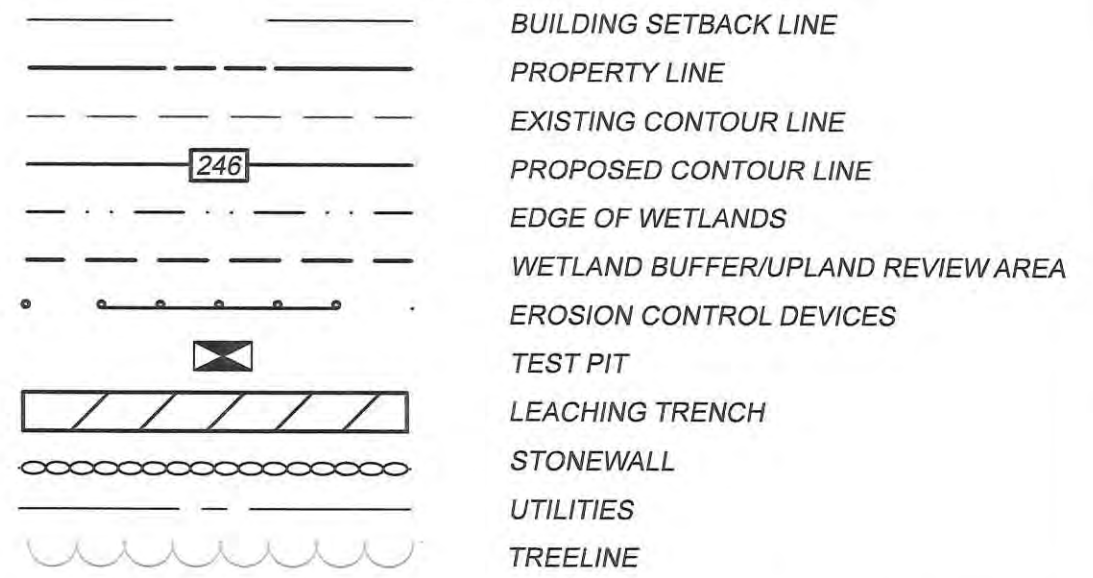
SIEVE	PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL. SELECT FILL MATERIAL SHALL EXTEND A MINIMUM OF 5' BEYOND THE SYSTEM ON ALL SIDES.
- THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES

- THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
- EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
- THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

LEGEND



NDDH FILE # 7001397

SITE DEVELOPMENT PLAN - SOUTH
LOT 2D- SOUTH (DEVELOPER'S LOT 1)
PREPARED FOR
LAVALLEE CONSTRUCTION LLC
DONOVAN DRIVE - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22142
SCALE: 1" = 20'
DATE: JUNE 27, 2022
SHEET: 4 OF 4



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/FAX 860-774-1308 WWW.NDDH.ORG

August 02, 2022

Lavallee Construction. LLC.
83 Rich Road
No Grosvenordale, CT 06255

SUBJECT: FILE #22000353 -- DONOVAN DRIVE #DL#1 NORTH, MAP #8, BLOCK #80, LOT #2D-NORTH, THOMPSON, CT

Dear Lavallee Construction. LLC.:

The subject plan (J&D CIVIL ENGINEERS, LLC., JOB# 22142, LAVALLEE, DRAWN 06/27/2022) submitted on 6/29/2022 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 3 bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil and fill material have been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. Select fill is to be perced once in place.
6. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
7. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
8. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Marcoux, RS
Senior Sanitarian-NDDH

cc: Thompson Building Official; J&D Civil Engineers, LLC.

Agenda Item E.b) 1. New Applications

WAA22023, Brandon Stand, 42 Logee Rd (Assessor's map 141, block 17, lots 184S, 184T & 184U), 10' X 32' addition to home on existing concrete slab, demolish existing detached garage with new 24' X 24' detached garage, construct 26' X 8' retaining wall all within 100-foot upland review area for Quaddick Reservoir, stamped received 8/2/22, under review

For Wetland Agent:	rev 01/11
APPLICATION #WAA	20023
DATE RECEIVED	August 2, 2022

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number
 - *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

*Please call for how much
to pay. Thanks!*

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Received

AUG 02 2022

Date 10/8/21

1) Name of Applicant Brandon Stand
Home Address 42 Logee Rd. Thompson, CT 06277
Home Tele & Hrs 774-280-4065 Business Tele & Hrs _____
Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☒ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) James Rawson
Home Address 9 Logee Point RD Thompson CT
Business Address Retired
Home Tele & Hrs (860) 428-5578 Business Tele & Hrs (860) 422-5578

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location 2067 (Front left by driveway)
Street or Road Location 42 Logee Road

Tax Assessor's Map # 141
Block # 17
Lot # that appears on site plan 184TSU

Deed Information : Volume # 1001
Page # 231

5) The property to be affected by the proposed activity contains:

Soil Types Dirt
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses 17th (Lake or Pond ☒ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes ☒ No

6) Description of the Activity for which Approval is requested (1) 10x32' addition

Set on techno Post

(2) Detached garage 24'x24'

26' x 8' tall retaining wall engineered by P&R concrete

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? NO If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

- 10) Names and Addresses of Abutters:

Quaddick Camping Area Inc. James W. Rawson
(President)

- 11) Estimated start date 10/25/2021

Estimated date of completion (all disturbed areas are stabilized) 11/25/2021

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.


Signature of Applicant

10/7/21
Date


Consent of Landowner if other than applicant

10/7/21
Date

Please attach a written consent by the owner if applicant is not the property owner.

42 Logee Rd

silt fence

Logee Rd

Garage

11' 11" Logee Rd

11' 11" Logee Rd

Logee Rd

184 V

184 U

184 T

184 S

184 R

184 Q



Google AppGeo

1" = 40 ft



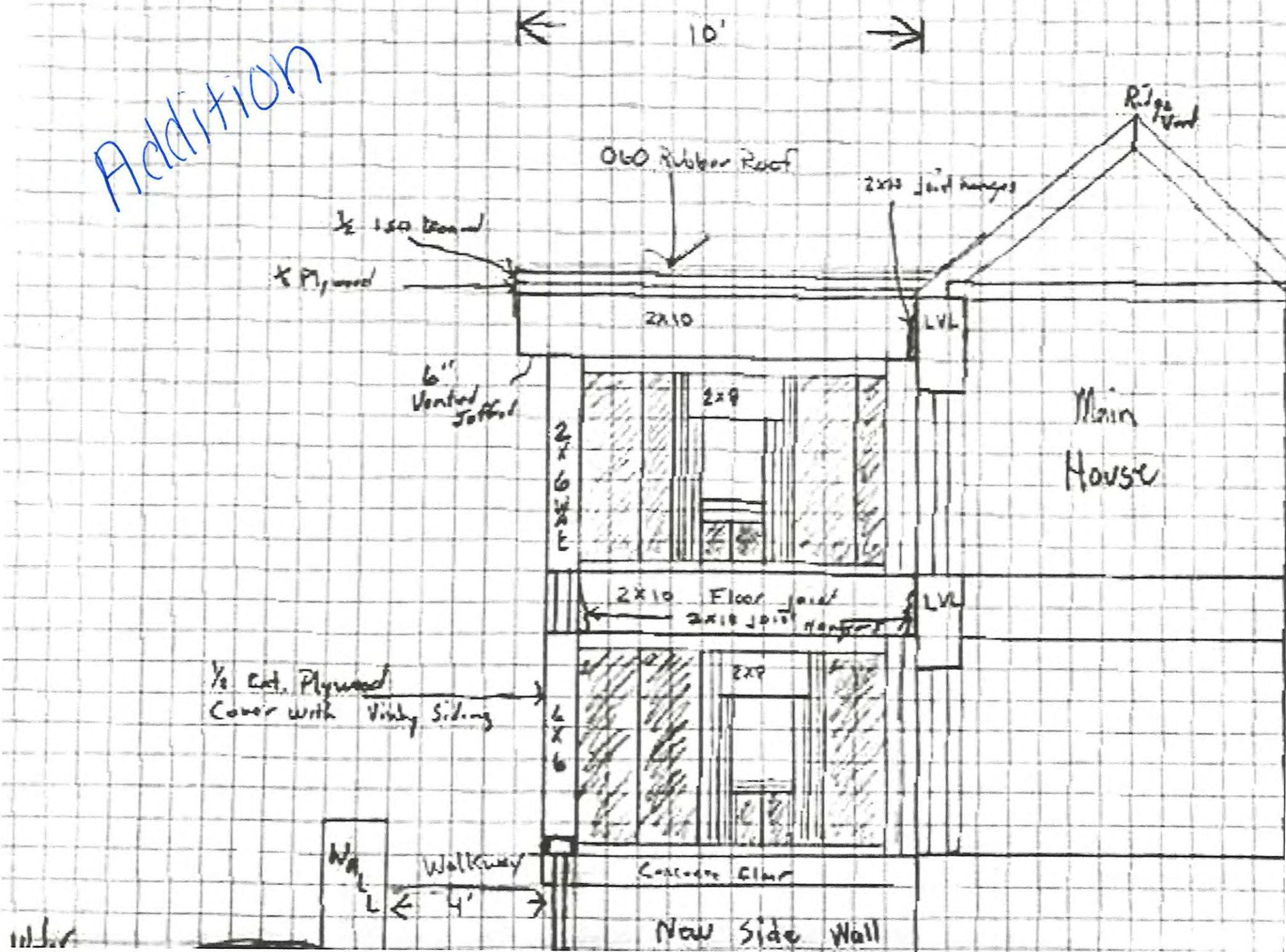
**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Addition





79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

July 20, 2022

Brandon J. Stand
42 Logee Rd
Thompson CT 06277
Bstand202@gmail.com

Project: Garage, addition, retaining wall, 42 Logee Rd, Thompson, CT
NDDB Determination No.: 202207452

Dear Brandon Stand,

I have reviewed Natural Diversity Database (NDDB) maps and files regarding the area of work provided for the proposed new garage, addition on existing residence and retaining wall at 42 Logee Road in Thompson, Connecticut. I do not anticipate negative impacts to State-listed species (RCSA Sec. 26-306) resulting from your proposed activity at the site based upon the information contained within the NDDB. The result of this review does not preclude the possibility that listed species may be encountered on site and that additional action may be necessary to remain in compliance with certain state permits. Contact NDDB to report the presence of any listed species and for more detailed guidance. This determination is good for two years. Please re-submit a new NDDB Request for Review if the scope of work changes or if work has not begun on this project by July 10, 2024.

Natural Diversity Data Base information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Natural History Survey, cooperating units of DEEP, landowners, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the NDDB should not be substitutes for on-site surveys necessary for a thorough environmental impact assessment. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated into the database as it becomes available.

Please contact me if you have further questions at (860) 424-3378, or karen.zyko@ct.gov. Thank you for consulting the Natural Diversity Database.

Sincerely,

A handwritten signature in dark ink, appearing to read "Karen Zyko", is written over a light blue horizontal line.

Karen Zyko
Environmental Analyst

Request to Amend Agenda

Agenda Item E.b) 2. New Applications

WAA22022, Inn Acquisition Associates, LLC, 286 Thompson Hill Rd (Assessor's map 103, block 40, lot 2), construct new single family home with portion of driveway, septic system & utilities in 100-foot upland review area, stamped received 7/25/22, under review.

Request for Revised Page 2 for Application WAA22022, New Home Associated with SUB21027

Marla Butts <wetlands@thompsonct.org>

Tue 7/26/2022 2:09 PM

To: Daniel Blanchette <daniel@jdcivilengineers.com>

Cc: Paul Hopkins <assessor@thompsonct.org>

Daniel,

This is to confirm our conversation held earlier today that you will be supplying a revised page 2 of the wetland agent approval application you submitted where in the name of the applicant will be changed from Andrew Silverston to Inn Acquisition Associates, LLC. This is because the new lot has not been transferred yet and no deed has been filed for the new lot that was approved by the Inland Wetlands Commission in Conceptual Subdivision Approval SUB21027. I have confirmed with Assessor Paul Hopkins that the new lot number will be Lot 2E, so keep that reference in the application.

However, if the new deed is filed in the next several days you may keep Mr. Silverston as the applicant and provide the new volume and page #s. Otherwise, please change the name of the applicant and use Volume # 224 / Page# 144. The application will be on hold until I receive the updated information and the NDDH design approval letter.

Finally, it should be recognized that the conduit for the underground utilities has already been installed and this application was submitted following my request to Andres Silverston to address that unauthorized work. I visited the site on July 6, 2022 in response my receipt of an anonymous complain (Wetlands Complaint File 22-06) that wetlands were being filled. I found the conduit already installed in the upland review area. There appeared to be no adverse effects to the wetlands at that time and this application adequately addresses that work. - Marla Butts, Thompson Wetlands Agent

8/7/22 Checked with Assessor - deed has not yet been
filed. Property will keep current reference of 102/40/2
and address of 286 Thompson Hill Rd, at least and
until deed for new lot is filed on the land records

[Signature]

Copy 1

For Wetland Agent:	rev 01/11
APPLICATION #WAA <u>22022</u>	
DATE RECEIVED <u>July 25, 2022</u>	

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

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Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Received

JUL 25 2022

Date July 14, 2022

1) Name of Applicant Inn Acquisition Associates LLC, c/o Andrew Silverston

Home Address PO Box 428, Thompson CT 06277

Home Tele & Hrs 860-384-0238 Business Tele & Hrs 860-923-3886

Business Address 286 Thompson Hill Road, Thompson CT 06277

2) Applicant's interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location n/a

Street or Road Location east side of Route 200

Tax Assessor's Map # 103

Block # 40

Lot # that appears on site plan 2E

Deed Information : Volume # 334

Page # 144

5) The property to be affected by the proposed activity contains:

Soil Types fine sandy loams

Wetland Soils ☒ (Swamp ☒ Marsh ☐ Bog ☐ Vernal Pool ☐)

Watercourses ☒ (Lake or Pond ☐ Stream or River ☐ Intermittent Stream ☐)

Floodplain - Yes ☒ No ☐

6) Description of the Activity for which Approval is requested Construction of new single family

home with driveway and septic system. Portions of the driveway and utility trenching are within

the upland review area. No work is proposed within wetlands or watercourses.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☒ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☒ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list

11) Estimated start date Spring 2023

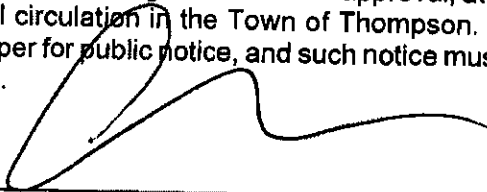
Estimated date of completion (all disturbed areas are stabilized) fall 2023

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.



Signature of Applicant

7/15/22

Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

Site Address	Owner Name	Owner City	Owner State	Owner Zip	Map Block Lot
36 TERRACE DR	PAQUETTE CHARLES R & ROBIN G	THOMPSON	CT	06277	103 2
81 BROOKSIDE DR	BRANCH ALBERT J + LINDA M	THOMPSON	CT	06277	103 6
18 TERRACE DR	TEGUIS ELEANOR	THOMPSON	CT	06277	103 6
24 TERRACE DR	WATERHOUSE MARK A + DEBORAH	THOMPSON	CT	06277	103 6
32 TERRACE DR	QUERCIA COSMA A + BERNADETTE M	THOMPSON	CT	06277	103 6
286 THOMPSON HILL RD	INN ACQUISITION ASSOCIATES LLC	THOMPSON	CT	06277	103 2

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN AUGUST 2021, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

 12107
DENNIS R. BLANCHETTE DATE 7/5/22 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2021 J&D CIVIL ENGINEERS, LLC

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- TREELINE

SITE DEVELOPMENT PLAN
PREPARED FOR
INN ACQUISITION ASSOCIATES LLC
286 THOMPSON HILL ROAD - THOMPSON, CT
MAP 103 BLOCK 40 LOT 2

J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

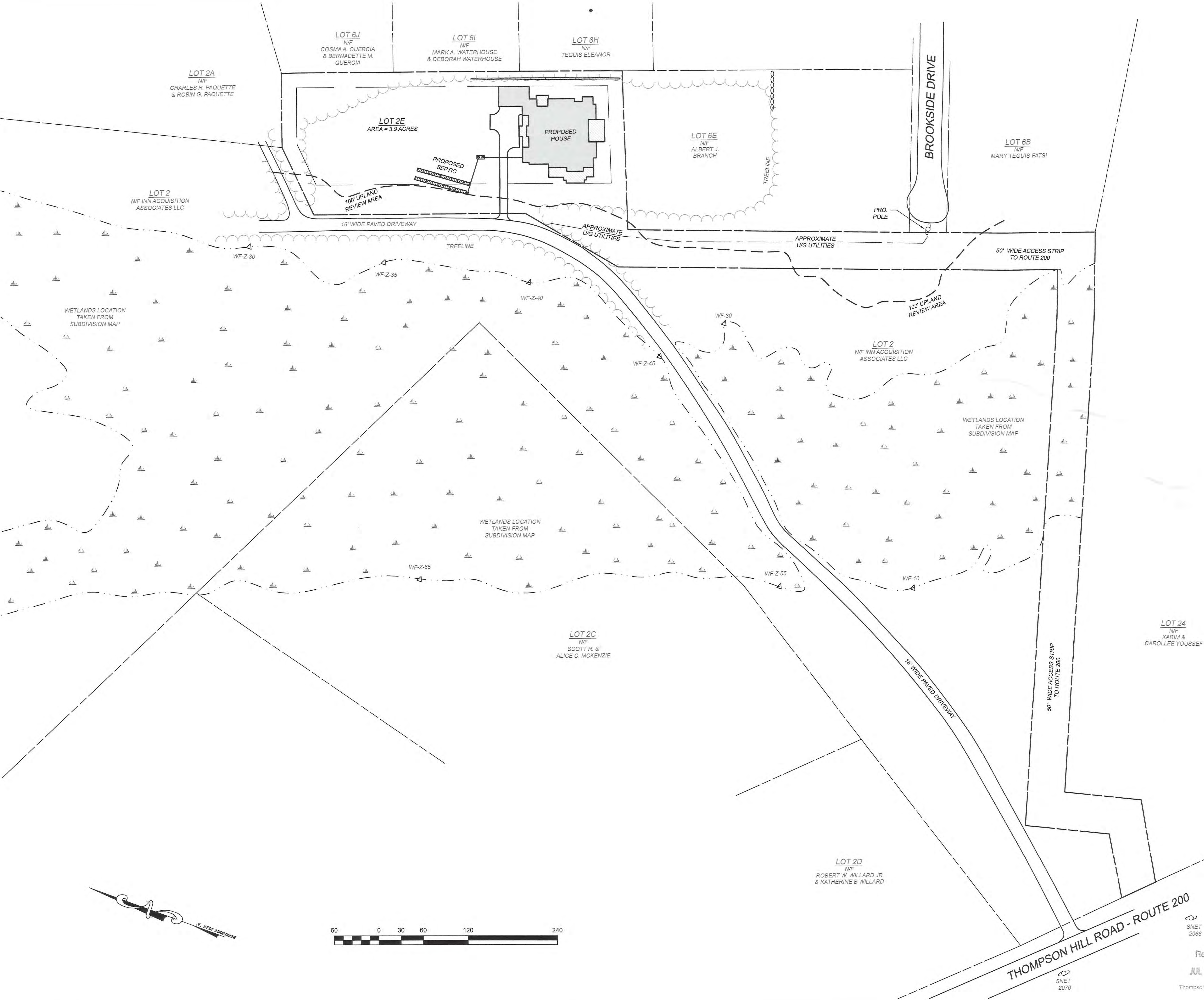


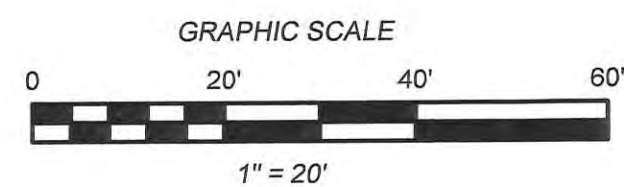
DESIGNED: **DDb**
CHECKED: **DRB**

REVISIONS:

JOB NO: **21216** DATE: **JULY 20, 2022**
SCALE: **1" = 60'** SHEET: **1 OF 3**

Appd WMA22022 copy 1





LOT 6J
32 TERRACE DRIVE
N/F QUERCIA

LOT 6L
24 TERRACE DRIVE
N/F WATERHOUSE

LOT 6H
18 TERRACE DRIVE
N/F TEGUIS

LOT 2A
36 TERRACE DRIVE
N/F PAQUETTE

LOT 2E
AREA = 3.89 ACRES

LOT 6E
81 BROOKSIDE DRIVE
N/F BRANCH

LOT 2
286 THOMPSON HILL ROAD
N/F INN ACQUISITION
ASSOCIATES LLC

LOT 2
286 THOMPSON HILL ROAD
N/F INN ACQUISITION ASSOCIATES LLC

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN AUGUST 2021, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.


DENNIS R. BLANCHETTE DATE 7/20/22 LICENSE NUMBER 12107

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2021 J&D CIVIL ENGINEERS, LLC

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- TREELINE

SITE DEVELOPMENT PLAN
PREPARED FOR
INN ACQUISITION ASSOCIATES LLC
286 THOMPSON HILL ROAD - THOMPSON, CT
MAP 103 BLOCK 40 LOT 2

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: **DDB**
CHECKED: **DRB**

REVISIONS:

JOB NO: **21216** DATE: **JULY 20, 2022**
SCALE: **1" = 20'** SHEET: **2 OF 3**

Received
JUL 25 2022
Thompson Wetlands Office

SEPTIC SYSTEM DESIGN CRITERIA

NUMBER OF BEDROOMS: 4

SEPTIC TANK: 1500 GALLON

PERC RATE: 10.0 MINS/INCH

MOTTLING: 24"; LEDGE: N/A; WATER: N/A; SLOPE: 6.4%

LEACHING AREA REQUIRED: 788 SQUARE FEET

LEACHING AREA PROVIDED: TWO ROWS OF 12" HIGH CONCRETE GALLERIES, 72' LONG, AT 5.9 SF PER LF = 850 SF ELA.

MLSS (PRIMARY) = 52.5' (HF=30, PF=1.75, FF=1.0)

LSS PROVIDED = 72'

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2685 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION PIPE: 12" HIGH CONCRETE GALLERIES, AKA FLO DIFFUSORS

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS. BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%		
GRADATION ON FILL LESS GRAVEL:		
SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

SELECT FILL MATERIAL SHALL EXTEND A MINIMUM OF 10' BEYOND THE LOWEST TRENCH BEFORE TAPERING OFF.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.

2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.

3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.

4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF ONE SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. FINAL STABILIZATION: SPREAD TOPSOIL, SEED AND MULCH FOR FINAL STABILIZATION OF LAWN AREAS.
5. THE OWNER SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT. THE OWNER SHALL PROVIDE THE TOWN WITH THE NAME & PHONE NUMBER OF THE DESIGNATED AGENT.

TEST PIT RESULTS

NDDH FILE #89002703
OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 18, 2021

PIT NO. 1

0" - 10" TOPSOIL
10 - 28" YELLOW BROWN FINE SANDY LOAM W/ SILT
28 - 72" MOTTLED COMPACT HARDPAN

MOTTLING: 28"
RESTRICTIVE: N/A
LEDGE: N/A
WATER: N/A

PIT NO. 2

0 - 10" TOPSOIL
10 - 24" YELLOW BROWN FINE SANDY LOAM W/ SILT
24 - 84" MOTTLED COMPACT HARDPAN

MOTTLING: 24"
RESTRICTIVE: N/A
LEDGE: N/A
WATER: N/A

PIT NO. 3

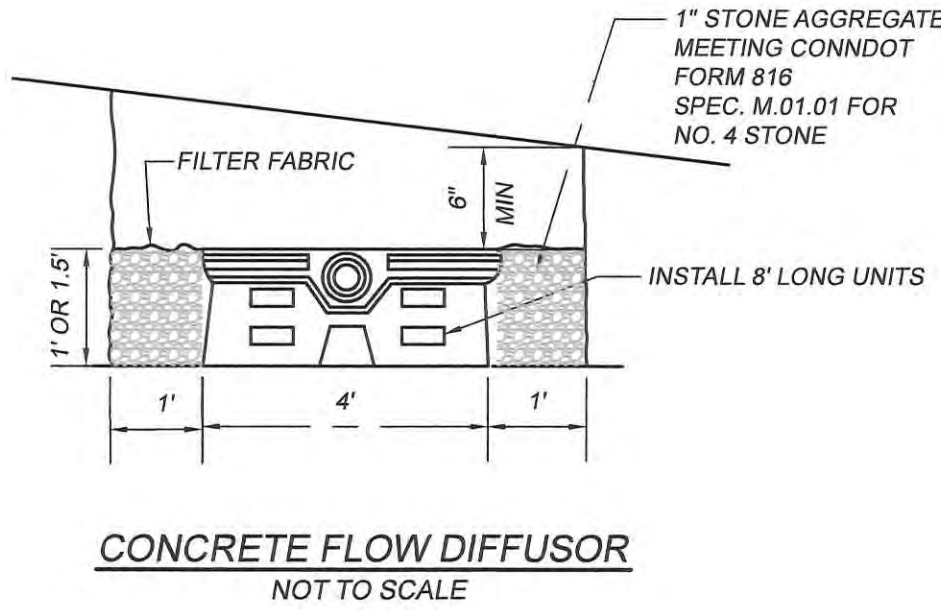
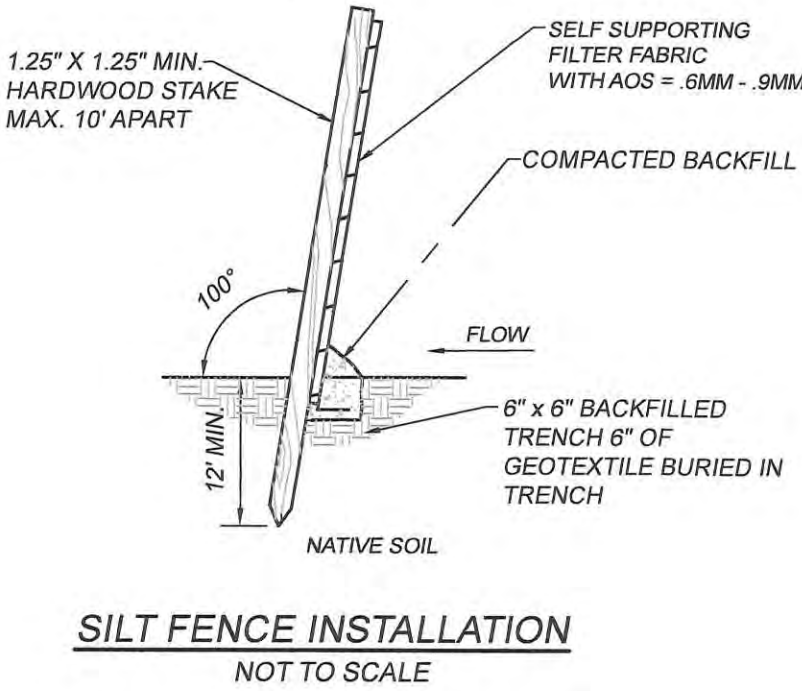
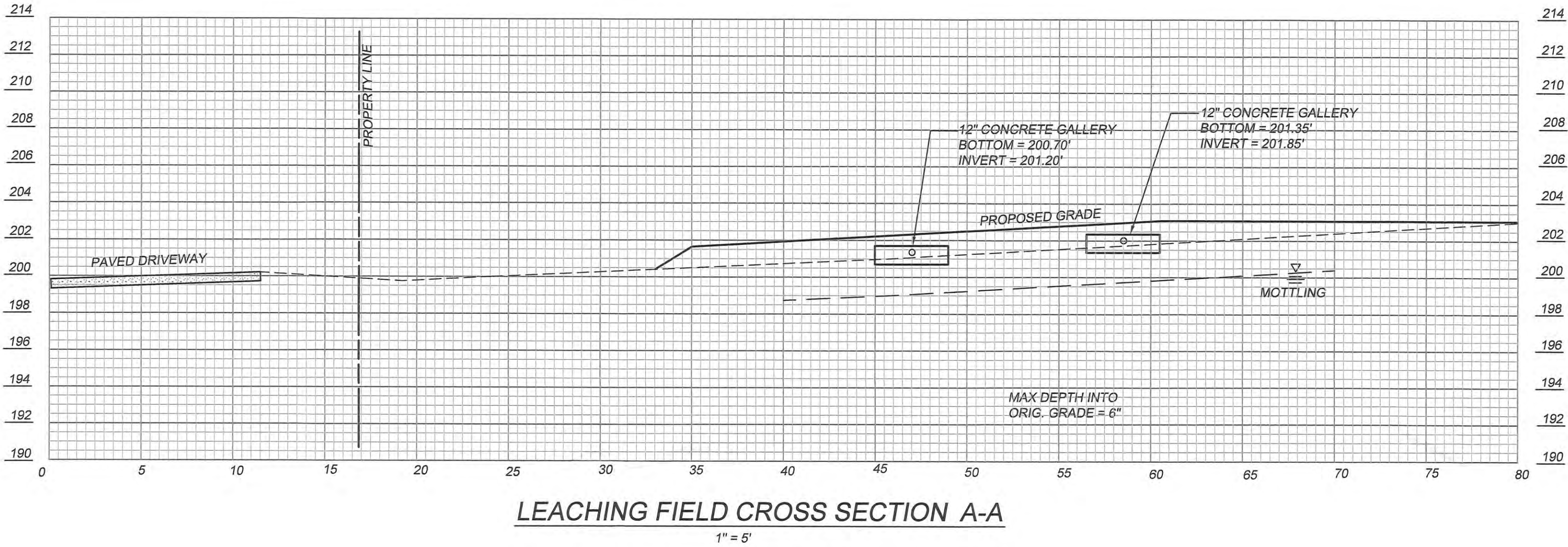
0 - 9" TOPSOIL
9 - 26" YELLOW BROWN FINE SANDY LOAM W/ SILT
26 - 75" MOTTLED COMPACT HARDPAN

MOTTLING: 26"
RESTRICTIVE: N/A
LEDGE: N/A
WATER: N/A

PERCOLATION TEST RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 18, 2021

HOLE 1 - NEAR TP 3	
TIME	READING
12:12	2.5"
12:22	4"
12:37	6.5"
12:52	7.5"
1:07	9"
1:17	10"
DEPTH: 14"	
RATE: 10 MINUTES PER INCH	



NOTES AND DETAILS
PREPARED FOR
INN ACQUISITION ASSOCIATES LLC
286 THOMPSON HILL ROAD - THOMPSON, CT
MAP 103 BLOCK 40 LOT 2

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: DDB CHECKED: DRB	REVISIONS:
JOB NO: 21216 SCALE: AS NOTED	DATE: JULY 20, 2022 SHEET: 3 OF 3

Received
JUL 25 2022
Thompson Wetland Office

Agenda Item E.c) Applications Received After Agenda
was Published

WAA22024, Thomas Shippee, 4 Logee Rd (Assessor's
map 141, block 17, lot 184AAC), construct solar
photovoltaic array on single pole in 100-foot upland
review area for Quaddick Reservoir, stamped received
8/3/22, under review.

Wetland Agent: rev 01/11

APPLICATION #WAA 22024
DATE RECEIVED August 3, 2022

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

RECEIVED
TOWN OF THOMPSON, CT
2022 AUG -3 P 3:24
TOWN CLERK

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Date 8-3-2022

1) Name of Applicant Thomas Shippee
Home Address 111 Sabin St Putnam CT 06260
Home Tele & Hrs 860-450-2345 Business Tele & Hrs _____
Business Address same

2) Applicant's interest in the Property: _____ Owner ☒ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) Benjamin Racson
Home Address 4 Logee
Business Address _____
Home Tele & Hrs 860-428-2004 Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location _____
Street or Road Location 4 Logee
Tax Assessor's Map # 141 Block # 17 BR
Lot # that appears on site plan 184AAC
Deed Information : Volume # 885
Page # 223

5) The property to be affected by the proposed activity contains:

Soil Types _____
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses _____ (Lake or Pond ☒ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes / No

6) Description of the Activity for which Approval is requested Solar PV
Pole Mounted Array. Mounted on single
Sonnet tube. No other earth moving work BR

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? no If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? _____ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

• Quaddick camping area inc. BCE
• Gary Rawson 3 Lodge Rd Thompson CT

11) Estimated start date ASAP

Estimated date of completion (all disturbed areas are stabilized) Dec 1 2022

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Signature of Applicant

Date

Consent of Landowner if other than applicant

8/4/2022

Date

Please attach a written consent by the owner if applicant is not the property owner.

4 Logee Rd 2016 Aerial & Topo for Application WAA22024 Solar PV Array



Property Information

Property ID 4235
Location 4 LOGEE RD
Owner RAWSON BENJAMIN J + JOANNE L

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

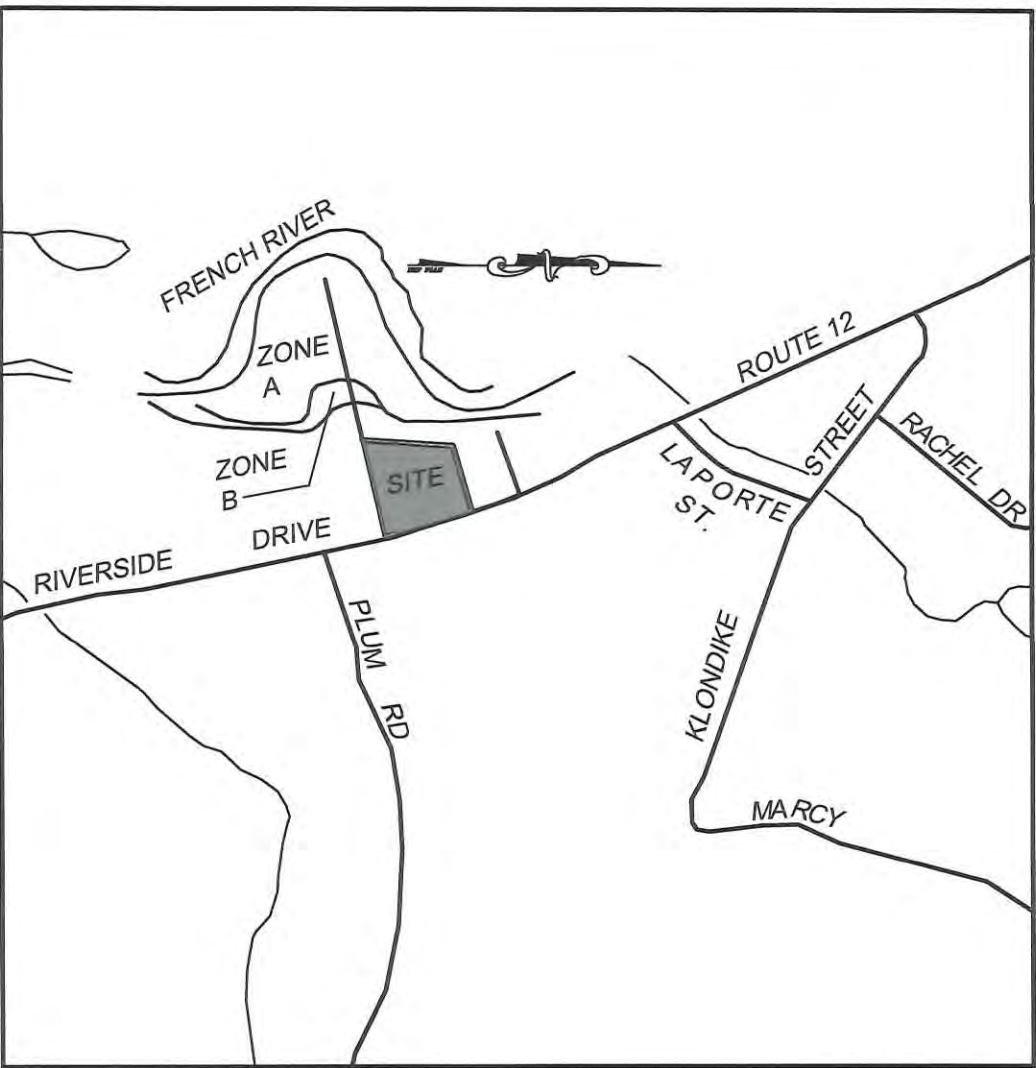
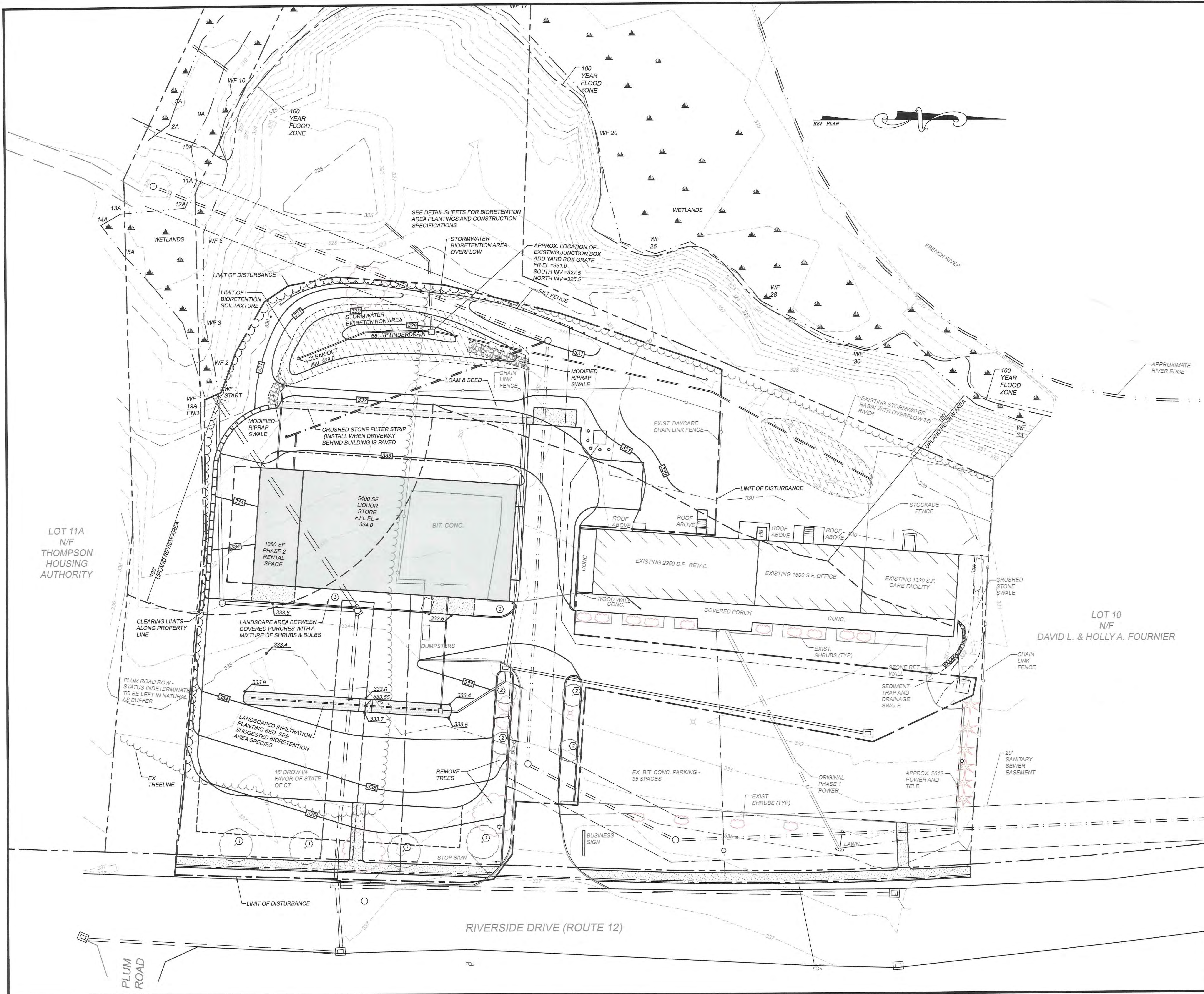
Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Approximate
Location of
Solar PV array
BKL

Agenda Item F.1) Permit Extensions / Changes

Modify IWA21009, Neil P LLC, 520 Riverside Drive (Assessor's map 85, block 95, lot 10A), to reduce the size of the previously approved construction of a 132' X 54' new commercial building and add the construction of a small car wash building next to it, Approval WAA21009 issued 5/11/21, request to modify received via email 7/13/22.



LOCATION MAP
1" = 500'

- NOTES:
- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THIS IS A GENERAL LOCATION PLAN PREPARED TO SHOW A SITE DEVELOPMENT PLAN. HORIZONTAL ACCURACY IS CLASS B. TOPOGRAPHIC ACCURACY IS T-2. DATUM IS NGVD 29, BASED ON CGS BM 3032. PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.
 - REFERENCE PLANS:
 - A) "PLAN OF PROPERTY OWNED BY A. LEON ARCHAMBAULT RONALD R. BLAIN ANTONIO N. DION & LAURIA A. DION PUTNAM AVENUE-ROUTE 12 THOMPSON, CONNECTICUT," 1" = 40', AUGUST 24, 1976 BY ALBERT L. FITZBACK, RLS
 - B) "PROPERTY SURVEY PREPARED FOR JOSEPH ALLEN 520 RIVERSIDE DRIVE-THOMPSON, CT" BY J&D CIVIL ENGINEERS, FEBRUARY 19, 2010.
 - C) A SET OF PLANS ENTITLED "THOMPSON PLAZA, RIVERSIDE DRIVE (ROUTE 12, THOMPSON, CT" PREPARED FOR SOK REALTY, LLC. PREPARED BY J&D CIVIL ENGINEERS. REVISED THROUGH 9-12.
 - FIRM 090117 0012 B, DATED NOVEMBER 1, 1984. FLOOD ZONE ELEVATION IS 320+/-.
 - TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
- DENNIS R. BLANCHETTE 12107
DATE LICENSE
NUMBER

LEGEND	
DMH ○	DRAIN MANHOLE
SMH ○	SANITARY MANHOLE
---	BUILDING SETBACK LINE
---	PROPERTY LINE
---	UPLAND REVIEW AREA
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	WETLANDS
---	STREAM
---	100 YEAR FLOOD ZONE
---	SILT FENCE
---	WATER
---	SEWER

TOTAL LOT AREA = 2.87 ACRES

GRADING, LANDSCAPING AND EROSION CONTROL PLAN
PREPARED FOR
THOMPSON LIQUOR
520 RIVERSIDE DRIVE (ROUTE 12) - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB REVISIONS:
CHECKED: DRB
JOB NO: 20285
SCALE: 1" = 20'

DATE: MARCH 31, 2021
SHEET: 3 OF 5

MADE 3 1 2021

STATE OF CONNECTICUT
J&D CIVIL ENGINEERS, LLC
Professional Engineer

J & D CIVIL
ENGINEERS, LLC

401 Ravenelle Road
N. Grosvenordale, CT 06255
www.jdcivilengineers.com
(860) 923-2920

July 25, 2022

Marla Butts
Thompson IWWC
815 Riverside Drive
North Grosvenordale, CT 06255

Via email: wetlands@thompsonct.org

Re: Thompson Liquor Permit modification to IWA #21009
520 Riverside Drive

Job No: 22113

Dear Marla:

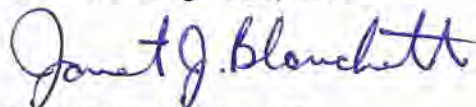
In the spring of 2021 a proposed commercial building (new liquor store with drive through business) was approved by both the IWWA and the PZC. The owner intends to reduce the size of the previously approved building and construct a small car wash next to it.

This revision does not affect the amount of impervious area, proposed grading, or the design and operation of the stormwater drainage system. When we met on July 19, 2022 you requested that the sequence of construction be update to reflect the addition of the car wash. I revised the sequence to specify that both buildings be built at the same time or that the larger building be built first. This way the final drainage system and grading of the rear driveway will be constructed as per the plans and no temporary grading or drainage will be required. A full pdf set of plans is attached to this email.

We are requesting that IWA #21009 be modified to reflect the addition of the proposed car wash. Please call if you have any further questions or comments. Also, please let me know how many full size plans you would like for your records and I will deliver them to town hall.

Very Truly Yours,

J & D Civil Engineers, LLC



Janet J. Blanchette, PE

Cc: Neil Patel

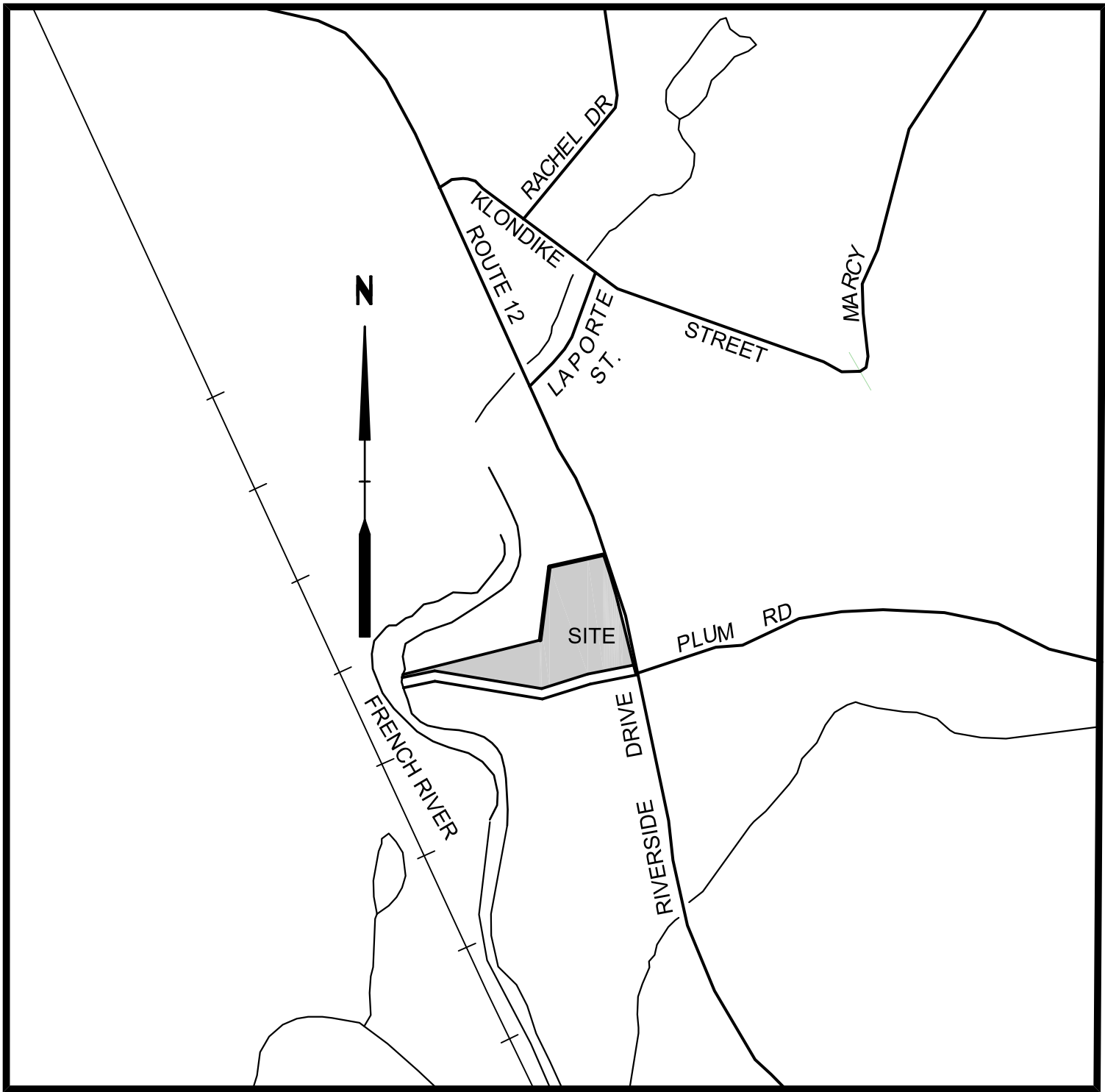
THOMPSON LIQUOR PLAZA EXPANSION
(WITH CAR WASH)
520 RIVERSIDE DRIVE (ROUTE 12)
THOMPSON, CONNECTICUT

OWNER: NEIL P, LLC
DEVELOPER: THOMPSON LIQUOR
APRIL 28, 2021
REVISED THROUGH 7-14-22

TABLE OF ZONING REQUIREMENTS
DOWNTOWN MILL REHABILITATION DISTRICT

INDEX OF DRAWINGS

NO.	DESCRIPTION
1	INDEX AND COVER SHEET
2	UTILITIES AND LAYOUT PLAN
3	GRADING, LANDSCAPING, AND EROSION CONTROL PLAN
4	ROAD AND DRAINAGE DETAILS
5	UTILITY, EROSION CONTROL AND MISC. DETAILS
6	SIDEWALK RAMP DETAILS (STATE STANDARDS)
7	BREAKAWAY SIGN POST DETAILS (STATE STANDARDS)



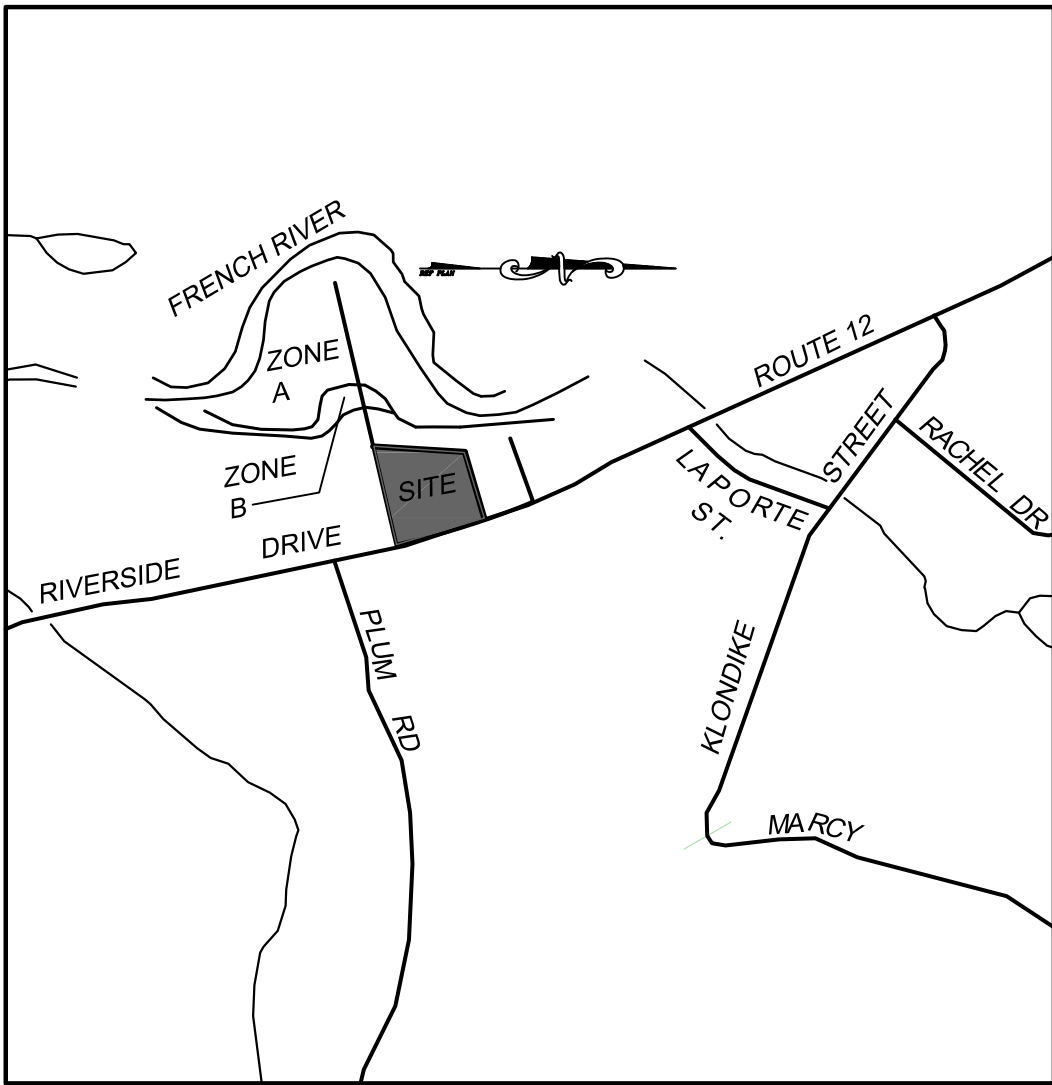
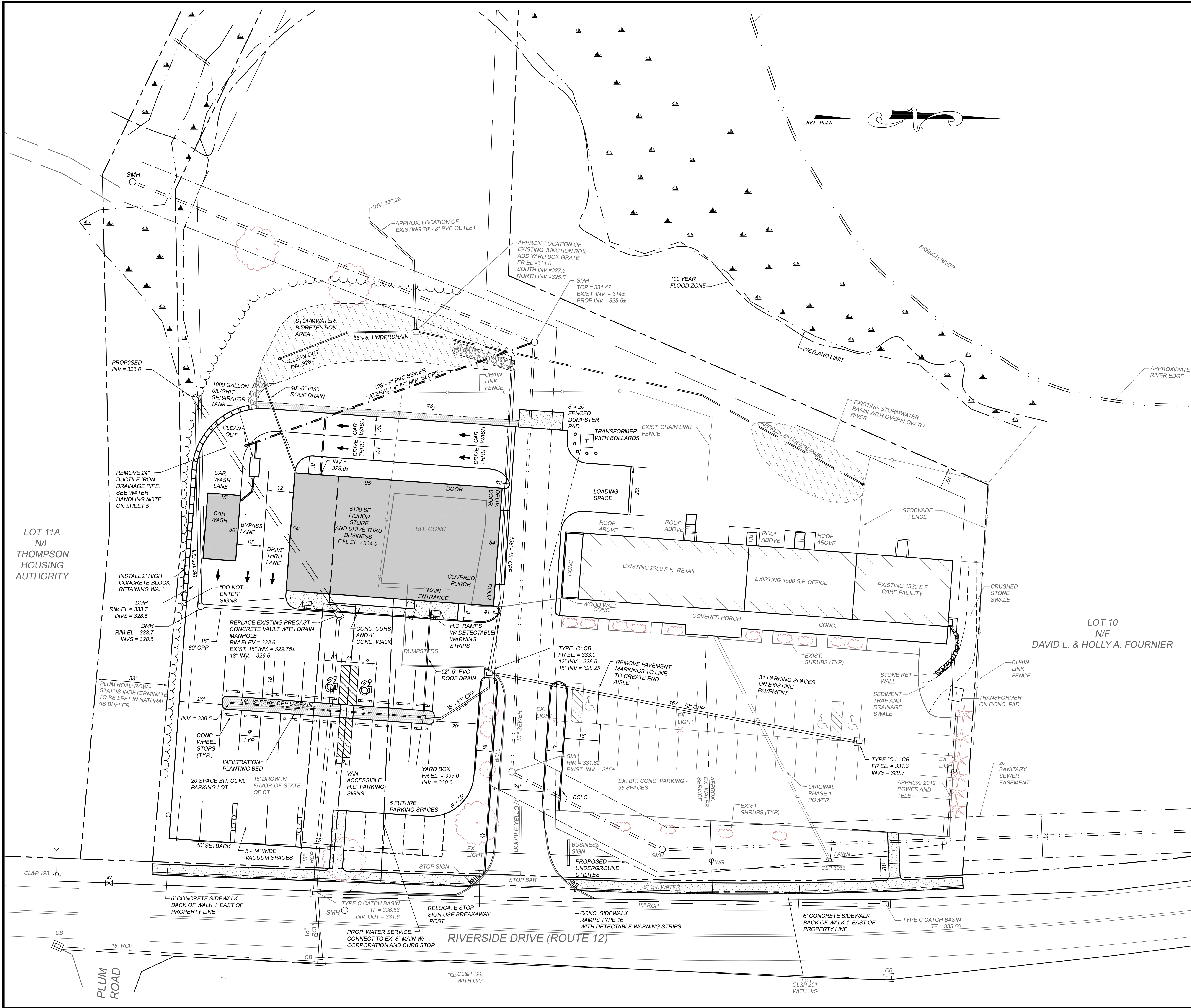
LOCATION MAP
1" = 500'

	REQUIRED	EXISTING	PROPOSED
LOT AREA	4,500 S.F.	125,017 S.F.	125,017 S.F.
LOT FRONTAGE	50'	370'	370'
FRONT SETBACK	10'	106'	122'
SIDE LINE SETBACK	10'	14'	10.5'
REAR LINE SETBACK	10'	38'	90'
MAXIMUM IMPERVIOUS AREA	75%	23%	43%
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'

J & D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
THOMPSON, CT 06255
PHONE: 860-923-2920
JDCIVILENGINEERS.COM

SPECIAL PERMIT APPROVAL BY THE THOMPSON
PLANNING & ZONING COMMISSION

CHAIRMAN DATE



LOCATION MAP
1" = 500'

NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THIS IS A GENERAL LOCATION PLAN PREPARED TO SHOW A SITE DEVELOPMENT PLAN. HORIZONTAL ACCURACY IS CLASS B. TOPOGRAPHIC ACCURACY IS T-2. DATUM IS NGVD 29, BASED ON CGS BM 3032. PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. REFERENCE PLANS:

A) "PLAN OF PROPERTY OWNED BY A. LEON ARCHAMBAULT RONALD R. BLAIN ANTONIO N. DION & LAURIA A. DION PUTNAM AVENUE-ROUTE 12 THOMPSON, CONNECTICUT." 1" = 40', AUGUST 24, 1976 BY ALBERT L. FITZBACK, RLS

B) "PROPERTY SURVEY PREPARED FOR JOSEPH ALLEN 520 RIVERSIDE DRIVE-THOMPSON, CT" BY J&D CIVIL ENGINEERS, FEBRUARY 19, 2010.

C) A SET OF PLANS ENTITLED "THOMPSON PLAZA, RIVERSIDE DRIVE (ROUTE 12, THOMPSON, CT)" PREPARED FOR SOK REALTY, LLC. PREPARED BY J&D CIVIL ENGINEERS. REVISED THROUGH 9-12.

D) A SET OF PLANS ENTITLED "THOMPSON LIQUOR PLAZA EXPANSION, 520 RIVERSIDE DRIVE (ROUTE 12) OWNER NEIL P. LLC" PREPARED BY J&D CIVIL ENGINEERS LLC, REVISED THROUGH APRIL 28, 2021.

3. FIRM 090117 0012 B, DATED NOVEMBER 1, 1984. FLOOD ZONE ELEVATION IS 320+/-.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07/2021
LICENSE NUMBER 12107

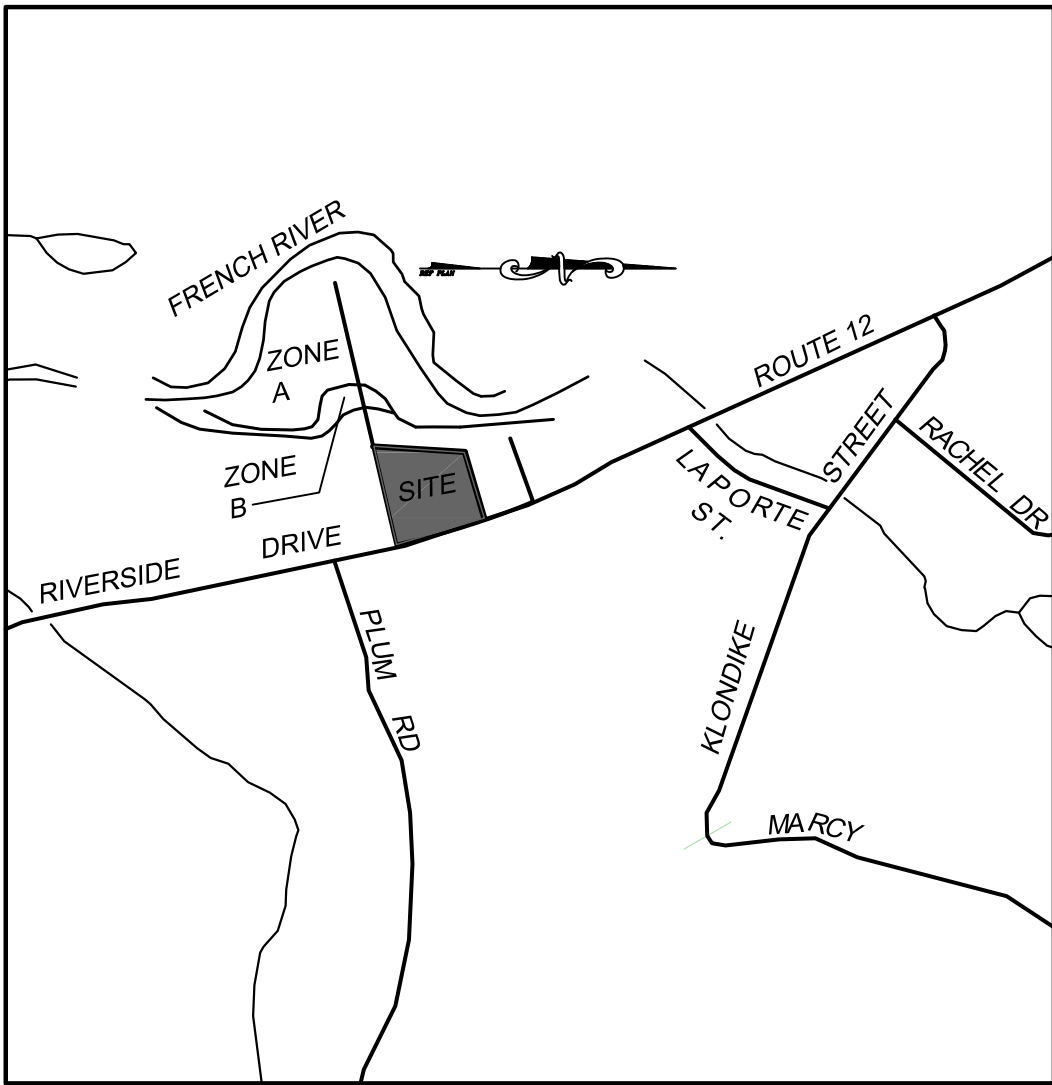
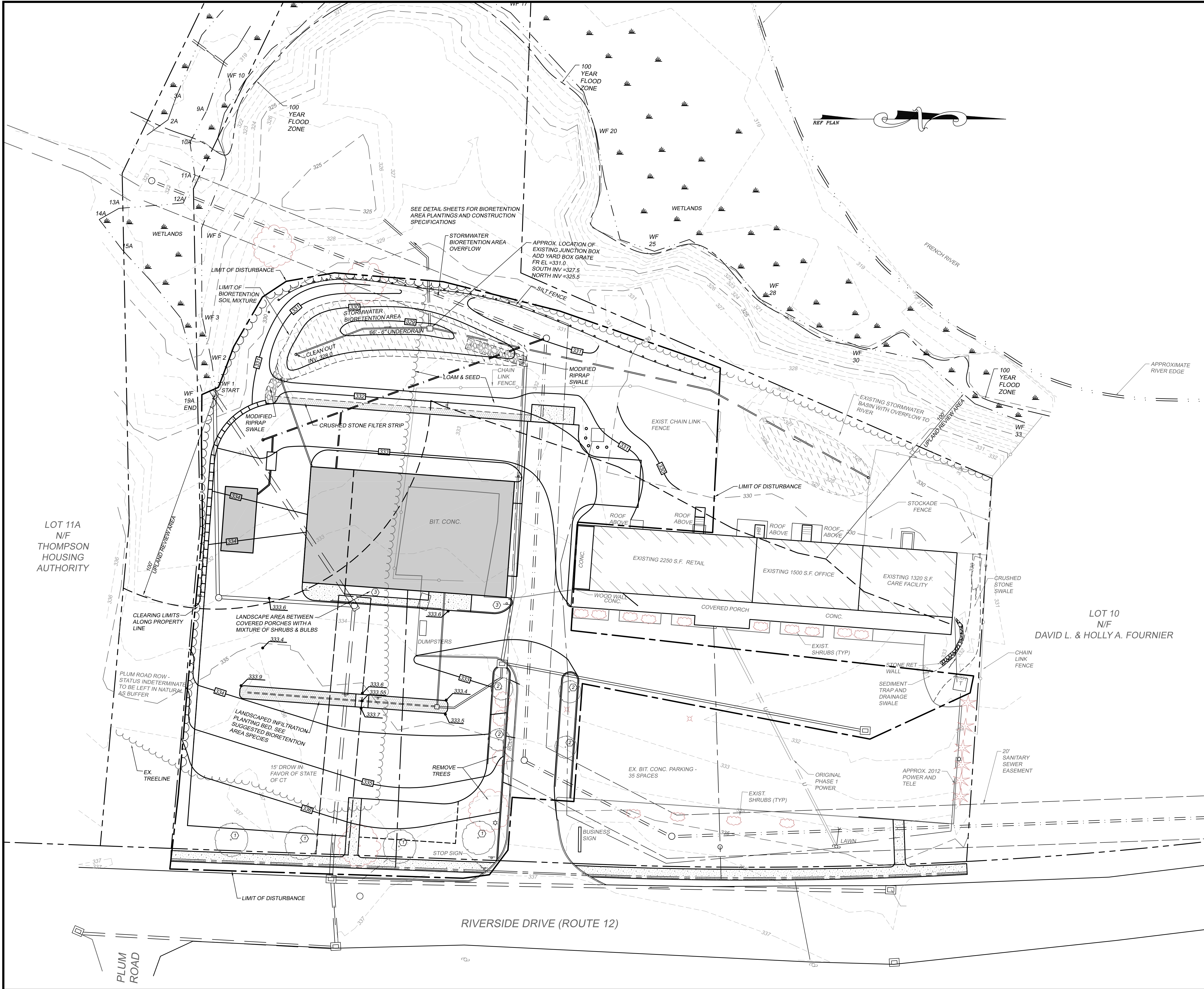
LEGEND	
	SIGN
	DRAIN MANHOLE
	SANITARY MANHOLE
	BUILDING SETBACK LINE
	PROPERTY LINE
	UPLAND REVIEW AREA
	WETLANDS
	STREAM
	100 YEAR FLOOD ZONE
	SILTY FENCE
	WATER
	SEWER
	UNDERGROUND UTILITIES

TOTAL LOT AREA = 2.87 ACRES

UTILITIES AND LAYOUT PLAN
PREPARED FOR
THOMPSON LIQUOR
520 RIVERSIDE DRIVE (ROUTE 12) - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB	REVISIONS: 7-14-22 ADD CAR WASH
CHECKED: DRB	
JOB NO: 22113 (OLD 20285)	DATE: APRIL 28, 2021
SCALE: 1" = 20'	SHEET: 2 OF 7



LOCATION MAP
1" = 500'

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DENNIS R. BLANCHETTE DATE 12/10/2022 LICENSE NUMBER 12107

LEGEND

- | | | |
|-----|-----|-----------------------|
| DMH | ○ | DRAIN MANHOLE |
| SMH | ○ | SANITARY MANHOLE |
| --- | --- | BUILDING SETBACK LINE |
| --- | --- | PROPERTY LINE |
| --- | --- | UPLAND REVIEW AREA |
| --- | --- | EXISTING CONTOUR |
| --- | --- | PROPOSED CONTOUR |
| --- | --- | WETLANDS |
| --- | --- | STREAM |
| --- | --- | 100 YEAR FLOOD ZONE |
| --- | --- | SILT FENCE |
| --- | --- | WATER |
| --- | --- | SEWER |

TOTAL LOT AREA = 2.87 ACRES

GRADING, LANDSCAPING AND
EROSION CONTROL PLAN
PREPARED FOR
THOMPSON LIQUOR
520 RIVERSIDE DRIVE (ROUTE 12) - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB	REVISIONS: 7-14-22
CHECKED: DRB	ADD CAR WASH
JOB NO: 22113 (OLD 20285)	DATE: APRIL 28, 2021
SCALE: 1" = 20'	SHEET: 3 OF 7

BIORETENTION AREA CONSTRUCTION NOTES:

2.1 BIORETENTION SOIL MIXTURE (BSM)

A. BIORETENTION SOIL SHALL CONSIST OF LOOSE, FRIABLE SOIL, FREE OF ICE, SNOW AND RUBBISH WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. SOIL SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS AND WEEDS OR SIMILAR OBJECTS LARGER THAN TWO INCHES IN DIAMETER. BIORETENTION SOIL WILL CONTAIN APPROXIMATELY 60% CONCRETE SAND, 30% COMPOST, AND 10% TOPSOIL BY VOLUME. THE BSM SHALL BE MIXED TO A HOMOGENEOUS CONSISTENCY TO THE SATISFACTION OF THE ENGINEER.

B. THE BIORETENTION SOIL SHALL MEET THE FOLLOWING PARAMETERS:

PARAMETER	RANGE
PH	5.5 - 7.5
MOISTURE CONTENT	25 - 55%
ORGANIC MATTER CONTENT	3 - 4% (DRY WEIGHT BASIS)
SOLUBLE SALTS	2.5 MMHOS (DS)
FOREIGN MATTER	< .05% (BY WEIGHT)

C. THE BIORETENTION SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES, EXCLUDING MULCH.

D. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS.

E. THE BSM SHALL BE FREE OF KNOTWEED, BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEATHUMB, OR OTHER NOXIOUS WEEDS.

F. THE BIORETENTION SOIL SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

SIZE (MM)	SIEVE #	% PASSING
2.00	#10	75 - 90%
1.00	#18	55 - 75%
0.50	#35	40 - 60%
0.25	#60	20 - 40%
0.10	#140	5 - 15%
0.05	#270	< 8%

G. UPON APPROVAL OF THE PROCESSED SAND AND COMPOST COMPONENTS THE OWNERS TESTING AGENTS SHALL BLEND THE COMPONENTS TO DETERMINE THE CORRECT RATIO OF SAND AND COMPOST TO CREATE THE BSM. THE RATIO OF SAND, COMPOST, AND TOPSOIL WILL BE BASED ON LABORATORY TESTING AND PERFORMANCE GUIDELINES ESTABLISHED BY THESE SPECIFICATIONS.

H. 2.2 BIORETENTION SOIL CONCRETE SAND

A. THE CONCRETE SAND SHALL CONFORM TO ASTM C33 FINE AGGREGATE CONCRETE SAND SPECIFICATIONS.

2.3 BIORETENTION SOIL COMPOST

A. COMPOST SHALL BE DERIVED FROM ORGANIC WASTES SUCH AS LEAF AND YARD WASTE RESIDUES AND MEET ALL STATE ENVIRONMENTAL AGENCY REQUIREMENTS. THE PRODUCT SHALL BE WELL COMPOSTED AND CONTAIN MATERIAL OF A GENERALLY HUMUS NATURE CAPABLE OF SUSTAINING GROWTH OF VEGETATION, WITH NO MATERIALS TOXIC TO PLANT GROWTH. THE COMPOST SHALL HAVE THE FOLLOWING PROPERTIES:

PARAMETER	RANGE
PH	5.5 - 8.0
MOISTURE CONTENT	35 - 55%
SOLUBLE SALTS	4.0 MMHOS (DS)
C:N RATIO	15 - 30:1
PARTICLE SIZE	< 1"
ORGANIC MATTER CONTENT	> 25%
BULK DENSITY	< 1300 LBS / CUBIC YARD
FOREIGN MATTER	< 1% (DRY WEIGHT)

B. COMPOST SUPPLIER SHALL ALSO PROVIDE MINIMUM AVAILABLE NITROGEN AND OTHER MACRO AND MICRO NUTRIENT DATA IN ORDER TO DETERMINE FERTILIZER REQUIREMENTS.

2.4 MULCH

A. MULCH SHALL CONSIST OF DOUBLE SHREDDED PINE MULCH WHICH HAS BEEN MILLED AND SCREENED TO A MAXIMUM 2" PARTICLE SIZE AND PROVIDES A UNIFORM TEXTURE FREE FROM SAWDUST, FOREIGN MATERIALS, AND ANY ARTIFICIALLY INTRODUCED CHEMICAL COMPOUNDS THAT WOULD BE DETRIMENTAL TO PLANT OR ANIMAL LIFE. MULCH SHALL HAVE BEEN AGED FOR AT LEAST 6 MONTHS AND BE RESISTANT TO FLOATING.

PART 3 - EXECUTION

3.1 PREPARATION

A. BIORETENTION AREAS SHALL NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED (BINDER COURSE IN PLACE) AS SHOWN ON THE CONTRACT PLANS AND TO THE SATISFACTION OF THE ENGINEER. BIORETENTION AREAS SHALL NOT BE USED AS SEDIMENT CONTROL FACILITIES. SEDIMENT ENTERING THE BSM WOULD CAUSE PRE-MATURE CLOGGING AND FAILURE. NO HEAVY EQUIPMENT SHALL OPERATE WITHIN THE PERIMETER OF A BIORETENTION AREA DURING EXCAVATION, UNDERDRAIN PLACEMENT, BACKFILLING, PLANTING, OR MULCHING OF THE AREA.

B. THE BSM SHALL BE STORED ON THE SITE IN SUCH A MANNER THAT IT NOT BE CONTAMINATED WITH SEDIMENT OR MIXED WITH OTHER SOILS.

3.2 EXCAVATION

A. THE BIORETENTION AREA SHALL BE EXCAVATED TO THE DIMENSIONS, SIDE SLOPES, AND ELEVATIONS SHOWN ON THE CONTRACT PLANS. THE METHOD OF EXCAVATION SHALL MINIMIZE THE COMPACTION OF THE BOTTOM OF THE BIORETENTION AREA. EXCAVATORS AND BACKHOES OPERATING ON THE GROUND ADJACENT TO THE AREA SHALL BE USED WHEN POSSIBLE. NO HEAVY EQUIPMENT SHALL BE ALLOWED ON THE BOTTOM OF THE BIORETENTION AREA.

B. EXCAVATED MATERIALS SHALL BE REMOVED FROM THE BIORETENTION AREA SITE.

C. PRIOR TO PLACING THE UNDERDRAIN AND THE BIORETENTION SOIL MIXTURE, THE BOTTOM OF THE EXCAVATION SHALL BE ROTO-TILLED TO A MINIMUM DEPTH OF 6 INCHES TO ALLEVIATE ANY COMPACTION OF THE AREA BOTTOM. ANY SUBSTITUTE METHOD FOR ROTO-TILLING MUST BE APPROVED BY THE ENGINEER PRIOR TO USE. ANY PONDED WATER SHALL BE REMOVED FROM THE BOTTOM OF THE AREA AND THE SOIL SHALL BE FRIABLE BEFORE ROTO-TILLING.

3.3 PLACEMENT AND COMPACTION OF THE BIORETENTION SOIL MIXTURE

A. THE BIORETENTION SOIL MIXTURE SHALL BE PLACED AND GRADED USING LOW GROUND-CONTACT PRESSURE EQUIPMENT OR BY EXCAVATORS AND OR BACKHOES OPERATING ON THE GROUND ADJACENT TO THE BIORETENTION AREA. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE PERIMETER OF THE AREA BEFORE, DURING, OR AFTER THE PLACEMENT OF THE BIORETENTION SOIL MIXTURE. THE BIORETENTION SOIL MIXTURE SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 12 INCHES FOR THE ENTIRE AREA.

B. THE BIORETENTION SOIL MIXTURE SHALL BE COMPACTED AFTER EACH LAYER IS BACKFILLED BY SATURATING THE ENTIRE AREA UNTIL WATER FLOWS FROM THE UNDERDRAIN. WATER FOR COMPACTION SHALL BE DISPENSED BY SPRAYING OR SPRINKLING. SATURATION OF EACH LAYER SHALL BE PERFORMED IN THE PRESENCE OF AN ENGINEER. AN APPROPRIATE SEDIMENT CONTROL DEVICE SHALL BE USED TO TREAT ANY SEDIMENT-LADEN WATER DISCHARGED FROM THE UNDERDRAIN. IF THE BSM BECOMES CONTAMINATED DURING THE CONSTRUCTION OF THE AREA, THE CONTAMINATED MATERIAL SHALL BE REMOVED AND REPLACED.

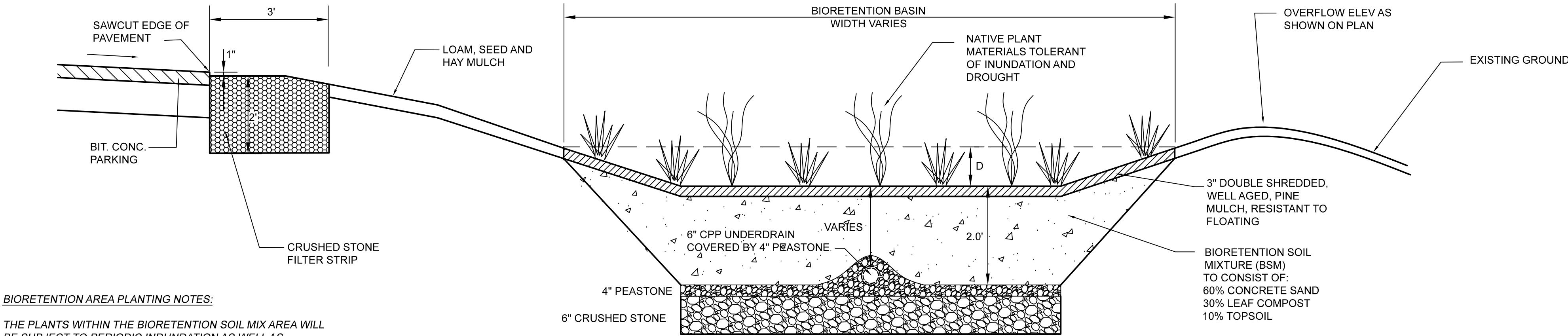
C. FINAL GRADING OF THE BIORETENTION SOIL MIXTURE SHALL BE PERFORMED AFTER A 24 HOUR SETTLING PERIOD. FINAL ELEVATION SHALL BE WITHIN 2 INCHES OF THE ELEVATIONS SHOWN ON THE CONTRACT PLANS.

3.4 PLANT INSTALLATION

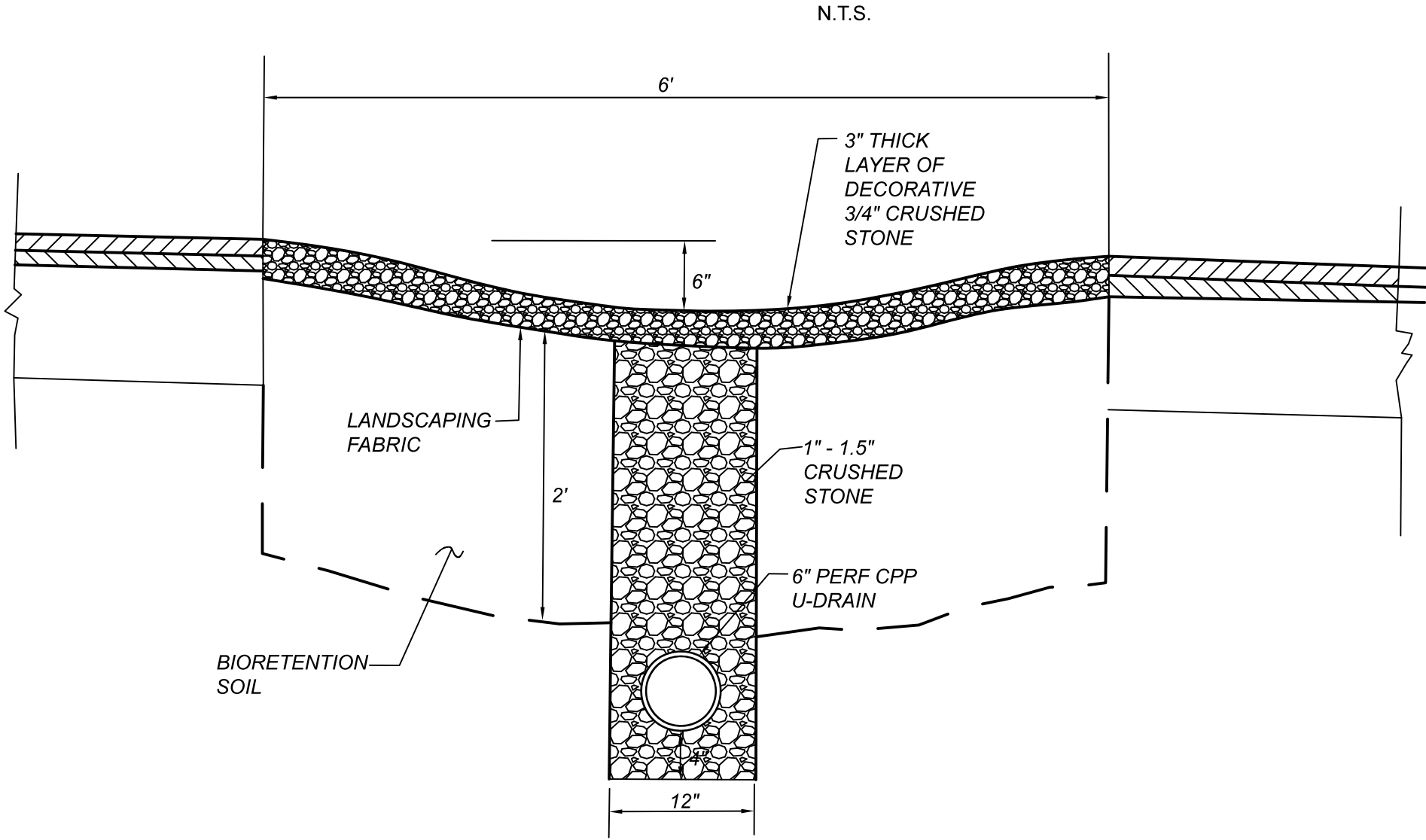
A. TREES, SHRUBS, AND OTHER PLANT MATERIALS SPECIFIED FOR BIORETENTION AREAS SHALL BE PLANTED AS SPECIFIED IN THE CONTRACT PLANS AND APPLICABLE LANDSCAPING STANDARDS WITH THE EXCEPTION THAT PESTICIDES, HERBICIDES, AND FERTILIZER SHALL NOT BE APPLIED DURING PLANTING UNDER ANY CIRCUMSTANCES. FURTHERMORE, PESTICIDES, FERTILIZER, AND ANY OTHER SOIL AMENDMENTS SHALL NOT BE APPLIED TO THE BIORETENTION AREA DURING LANDSCAPE CONSTRUCTIONS, PLANT ESTABLISHMENT, OR MAINTENANCE.

3.5 MULCHING

A. ONCE THE PLANTS ARE IN PLACE, THE ENTIRE BIORETENTION AREA SHALL BE MULCHED TO A UNIFORM THICKNESS OF 3 INCHES.



TYPICAL BIORETENTION BASIN SECTION



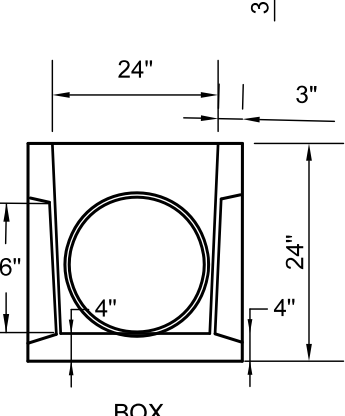
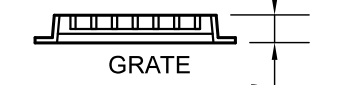
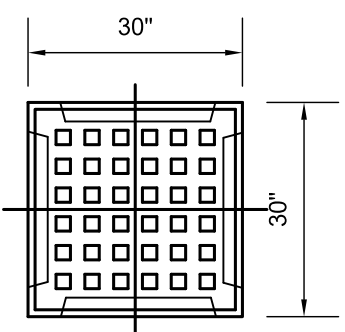
TYPICAL UTILITY TRENCH DETAIL

NOT TO SCALE

- 1) NUMBER AND SIZE OF CONDUITS SHALL BE AS REQUIRED BY OWNER & UTILITY COMPANY
- 2) CONSTRUCTION METHODS, MATERIALS & DIMENSIONS SHALL CONFORM TO THE SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES

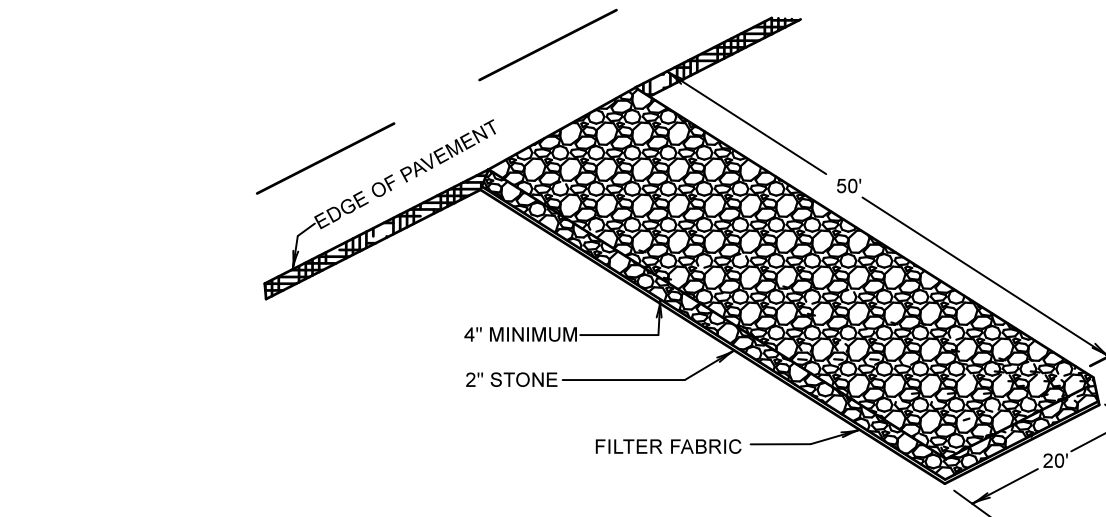
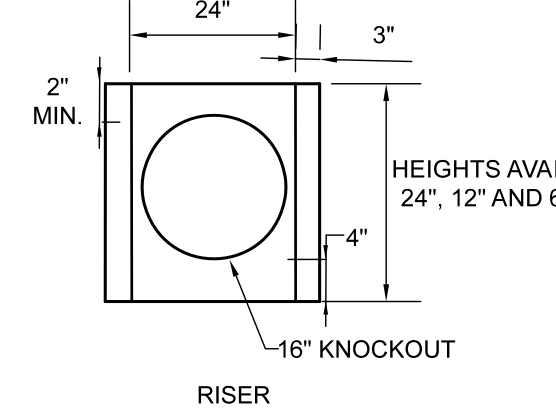
INFILTRATION PLANTING BED

1" = 1'



24" x 24" YARD BOX

NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE

BIORETENTION AREA PLANTING NOTES:

THE PLANTS WITHIN THE BIORETENTION SOIL MIX AREA WILL BE SUBJECT TO PERIODIC INUNDATION AS WELL AS DROUGHT CONDITIONS. THEREFORE ANY SPECIES PLANTED MUST BE CAPABLE OF SURVIVING UNDER VARIABLE WATER CONDITIONS. THE SELECTED SPECIES SHOULD ALSO BE ATTRACTIVE FROM THE PARKING LOT AND SHALL REQUIRE MINIMAL MAINTENANCE. NO SPECIES LISTED AS INVASIVE IN CONNECTICUT, OR VERY AGGRESSIVE SPREADERS, SHALL BE PLANTED. PLANTS SHALL BE SELECTED AND PLANTED BY EXPERIENCED PROFESSIONAL LANDSCAPERS. A MIXTURE OF TREES, SHRUBS, AND PERENNIALS OR GRASSES, SHALL BE PLANTED. THE FOLLOWING IS A RECOMMENDED LIST OF SPECIES. AT LEAST 5 TREES SHALL BE PLANTED ON SIDE SLOPES OF BIORETENTION AREA.

PERENNIALS

RED COLUMBINE (AQUILEGIA CANADENSIS)
ASTILBE (ASTILBE SPP)
JOE PYE WEED (EUPATORIUM FISTULOSUM)
SPIKED GAY FEVER (LIATRIS SPICATA)
CINNAMON FERN (OSMUNDA CINNAMOMEA)
ROYAL FERN (OSMUNDA REGALIS)
BLACK-EYED SUSAN (RUDBECKIA HIRTA)
EARLY CONEFLOWER (RUDBECKIA FULGIDA)

GRASSES

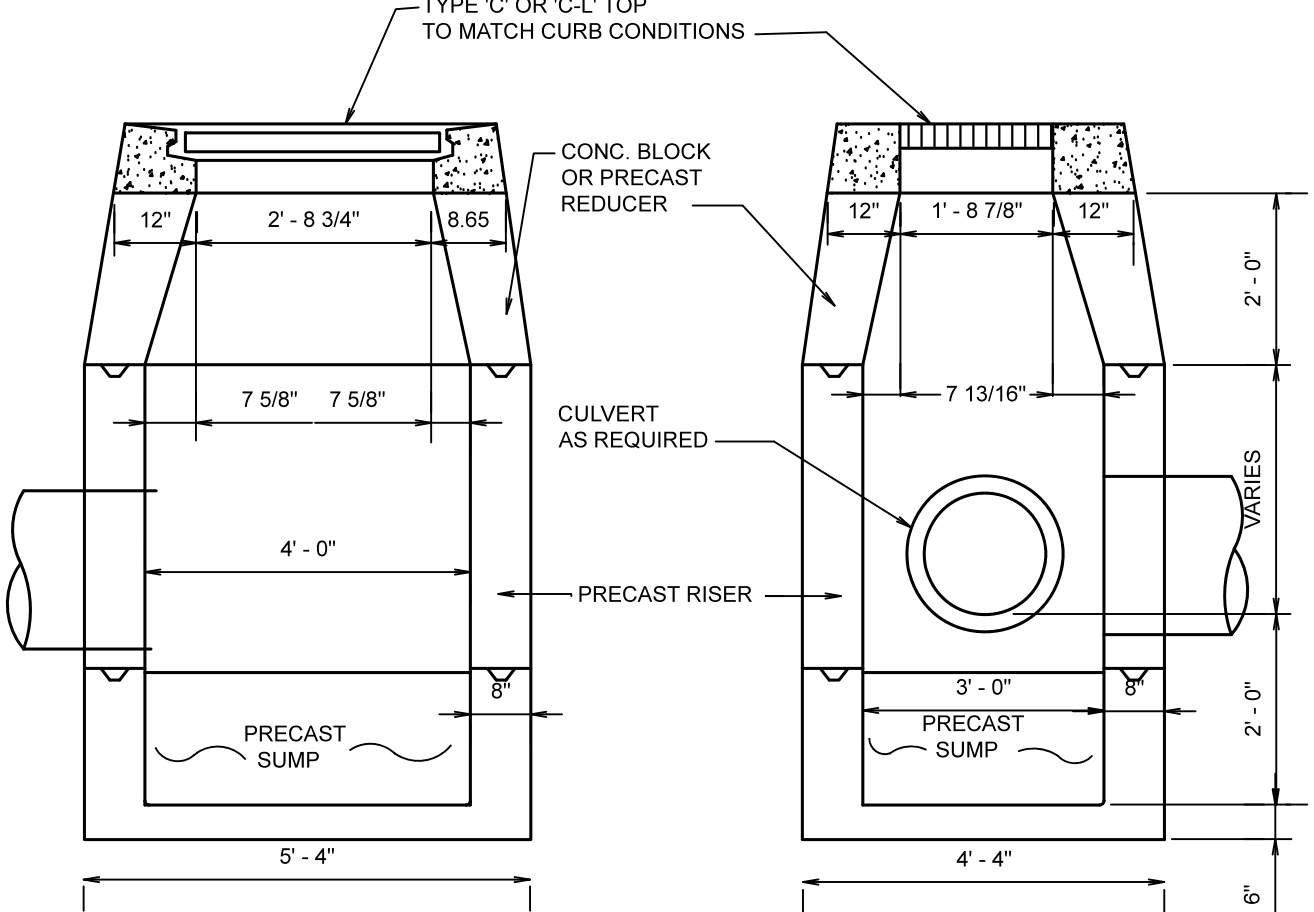
LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM)
MEADOW FXTAIL (ALOPECURUS PRATENSIS)
BLUE JOINT (CALAMOGROSIS CANADENSIS)
TUFTED HAIR GRASS (DESCHAMPSIA CAESPITOSA)
SWITCH GRASS (PANICUM VIRGATUM)

SHRUBS

RED CHOKEBERRY (ARONIA ARBUTIFOLIA)
PASTURE ROSE (ROSA CAROLINA)
RED OSIER DOGWOOD (CORNUS SERICEA)
INKBERRY (ILEX GLABRA)
SPICEBUSH (LINDERA AESTIVALE BENZOIN)
PINXTERBLOOM AZALEA (RHODODENDRON PERICLYMENOIDES)
ELDERBERRY (SAMBUCUS CANADENSIS)
LOWBUSH BLUEBERRY (VACCINIUM ANGUSTIFOLIUM)
Highbush Blueberry (Vaccinium corymbosum)
WITHEROD (VIBURNUM CASSINOIDES)
ARROWWOOD (VIBURNUM DENTATUM)
NANNYBERRY (VIBURNUM LENTAGO)
BLACK HAW (VIBURNUM PRUNIFOLIUM)
BUSHY ST. JOHN'S WORT (HYPERICUM DENSIFLORUM)
BLACK HUCKLEBERRY (GAYLUSSACIA BACCATA)
SHADBUSH (AMELANCIER CANADENSIS)
SWEET PEPPERBUSH (CLETHRA ALNIFOLIA)
SWEET FERN (COMPTONIA PEREGRINA)
WINTERBERRY (ILEX VERTICILLATA)

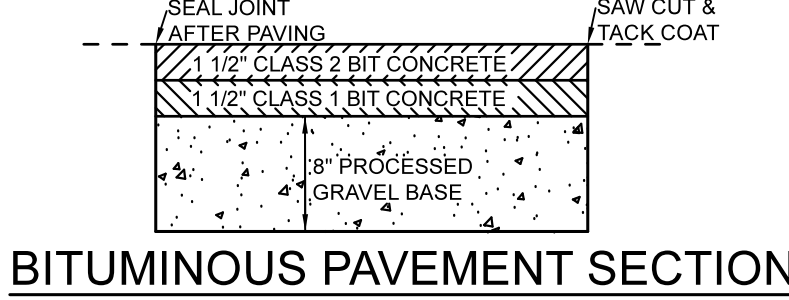
TREES

RIVER BIRCH (BETULA NEGRA)
RED MAPLE (ACER RUBRUM)
SWEETGUM (LIQUIDAMBAR STYRACIFLUA)
PIN OAK (QUERCUS PALUSTRIS)
SHADBLow (AMELANCHIER SPP.)
GREEN ASH (FRAXINUS PENNSYLVANICA)
COMMON HACKBERRY (CELTIS OCCIDENTALIS)
AMERICAN SYCAMORE (PLATANUS OCCIDENTALIS)
BLACK BIRCH (BETULA LENTA)



TYPE "C" OR "C-L" CATCH BASIN WITH SUMP

NOT TO SCALE



BITUMINOUS PAVEMENT SECTION

N.T.S.

PAVING NOTES

ALL PAVING WORK SHALL BE IN ACCORDANCE WITH CT DOT FORM 818.

THE MINIMUM TEMPERATURE FOR MATERIAL IN THE TRUCK PRIOR TO DISCHARGE TO THE PAVER HOPPER SHALL BE 250 DEGREES F. DO NOT COMMENCE PLACEMENT OF BITUMINOUS MATERIAL WHEN THE SURFACE TEMPERATURE IS BELOW 40 DEGREE F, NOR DURING FOG, RAIN, OR WHEN THE BASE IS WET OR FROZEN OR OTHER UNSUITABLE CONDITIONS. AIR TEMPERATURE SHALL BE 40 DEGREES AND RISING.

ROLL AND COMPACT IN ACCORDANCE WITH FORM 818

ENSURE THAT NO ROLLER MARKS ARE VISIBLE

APPLY PAVEMENT MARKINGS AS SHOWN ON THE PLAN AND IN ACCORDANCE WITH FROM 818. PAVEMENT MARK LAYOUT SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. PRIOR TO FINAL PAVEMENT MARKING INSATLLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

ROAD AND DRAINAGE DETAILS
PREPARED FOR
THOMPSON LIQUOR
520 RIVERSIDE DRIVE (ROUTE 12) - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB

REVISIONS:

CHECKED: DRB

7-14-22

ADD CAR WASH

JOB NO: 22113 (OLD 20285)

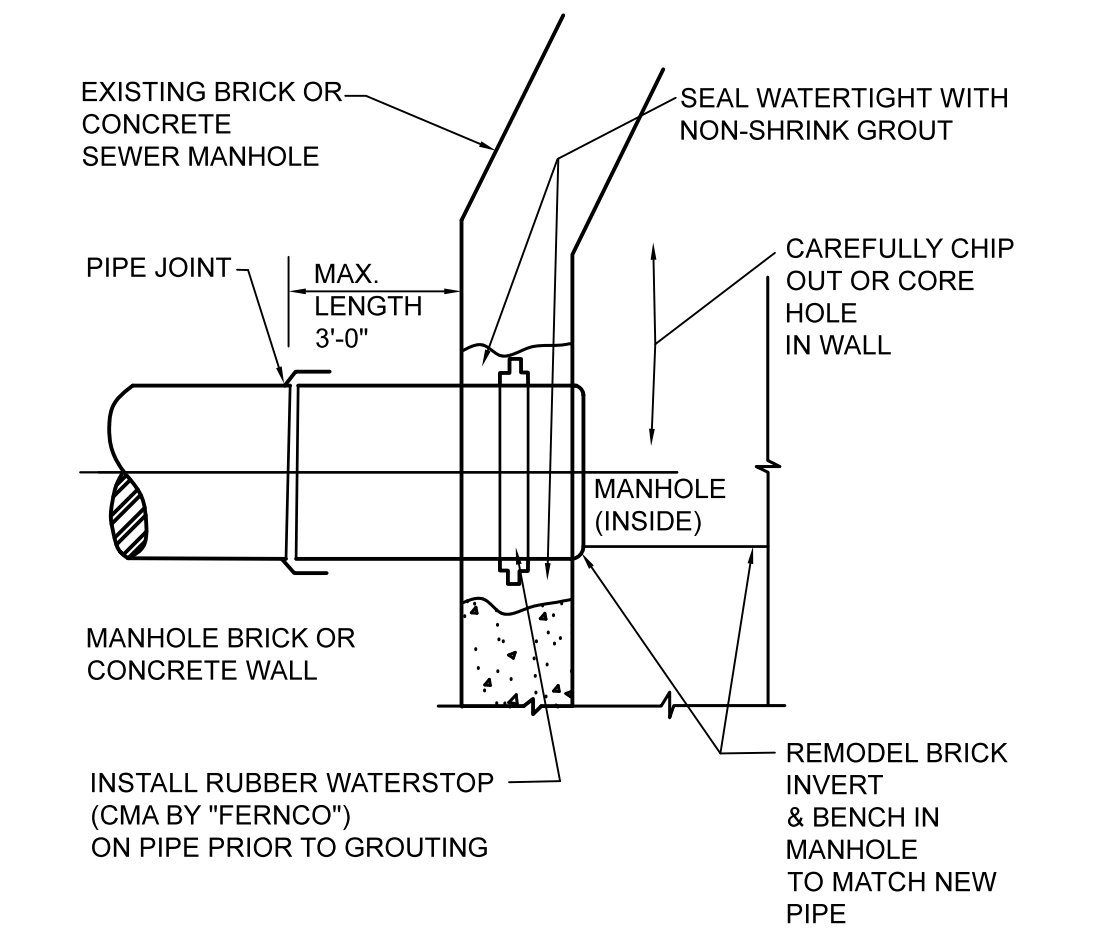
DATE: APRIL 28, 2021

SCALE: AS NOTED

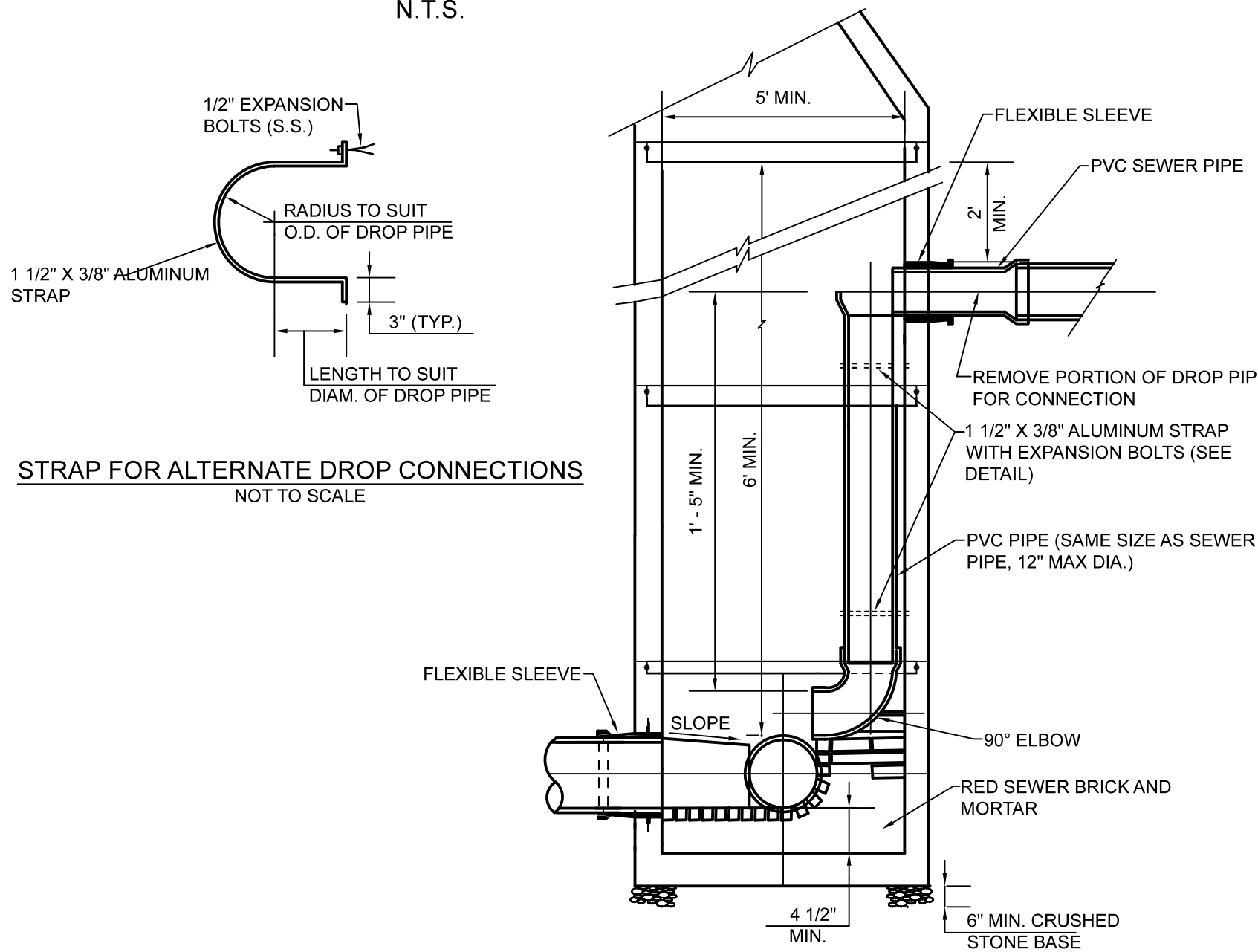
SHEET: 4 OF 7

GENERAL NOTES

1. DEVELOPER SHALL COMPLY WITH ALL REGULATIONS OF THE TOWN OF THOMPSON, CT DEPARTMENT OF TRANSPORTATION, THOMPSON WPCA, THOMPSON INLAND WETLAND COMMISSION AND CT WATER COMPANY.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND COMPLYING WITH SAME.
3. THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER NEEDS TO BE RESET, IT SHALL BE DONE BY A CT LICENSED SURVEYOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL QUALITY CONTROL TESTS, PAYING FOR SAME AND SUBMITTING COPIES OF THE RESULTS TO THE OWNER.

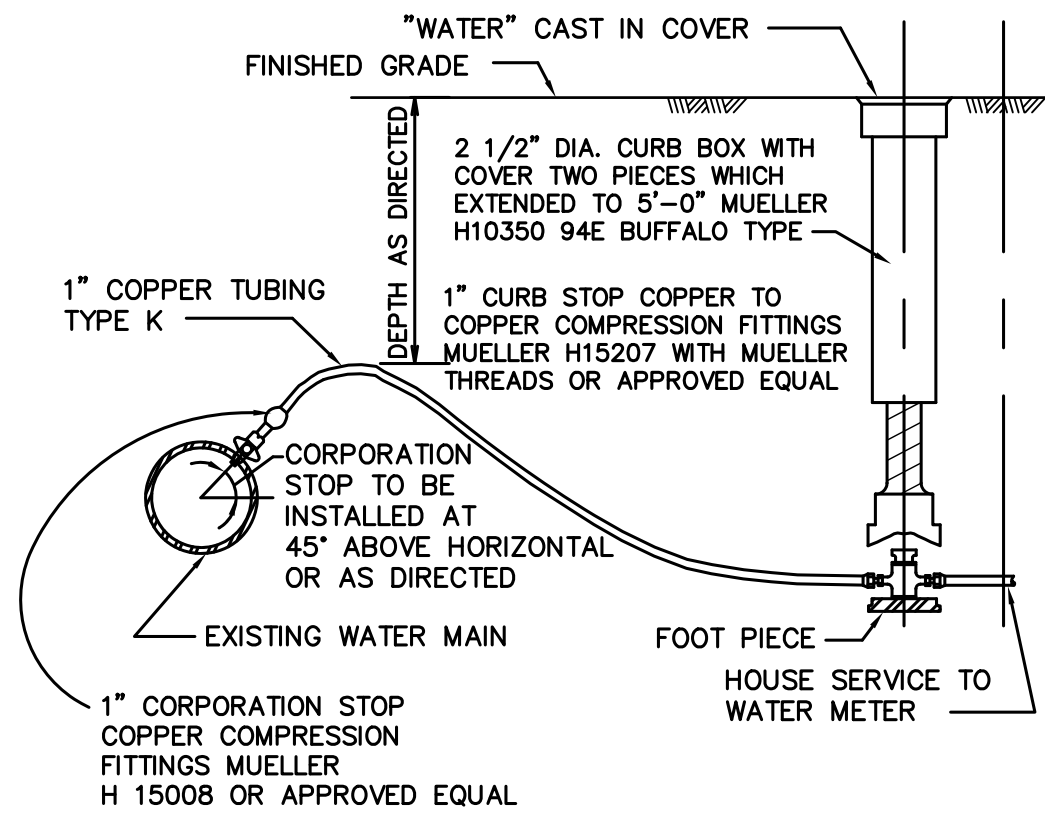


TYPICAL SEWER CONNECTION TO EXISTING MANHOLE
N.T.S.

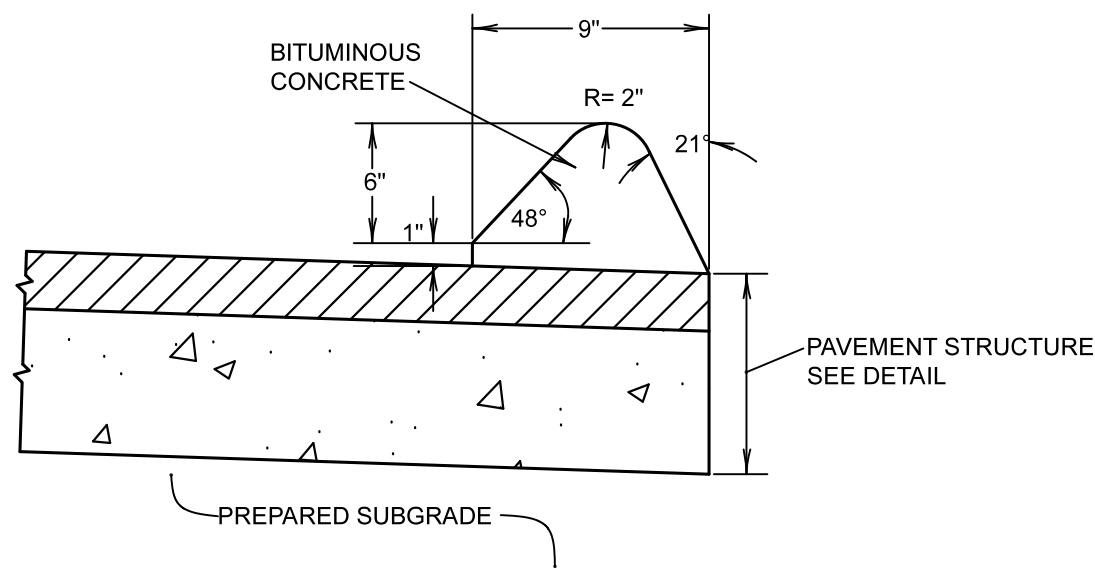


ALTERNATE DROP CONNECTION 12" AND SMALLER
NOT TO SCALE

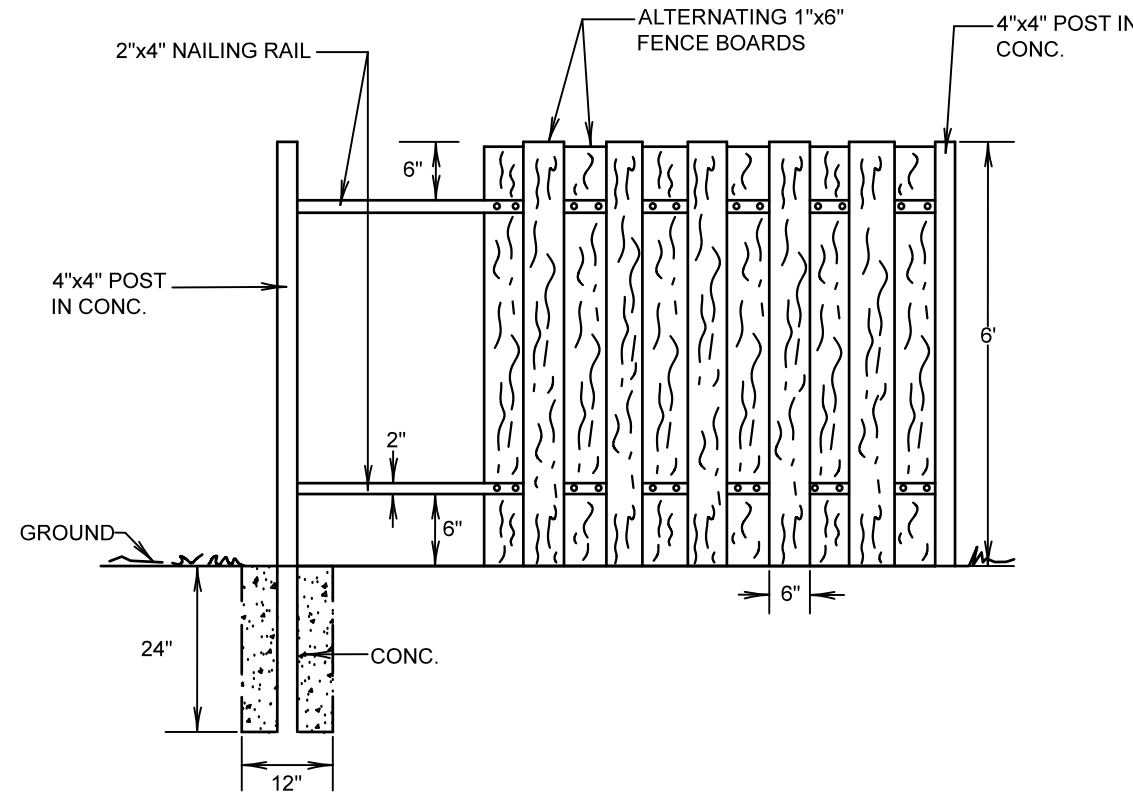
NOTE: MAY BE USED BY CONTRACTOR IN LIEU OF TYPICAL DROP CONNECTION 12" AND SMALLER, AT NO ADDITIONAL COST TO THE OWNER



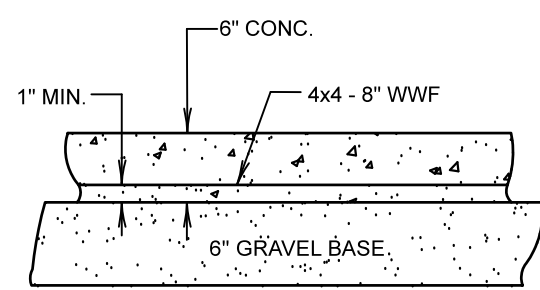
WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



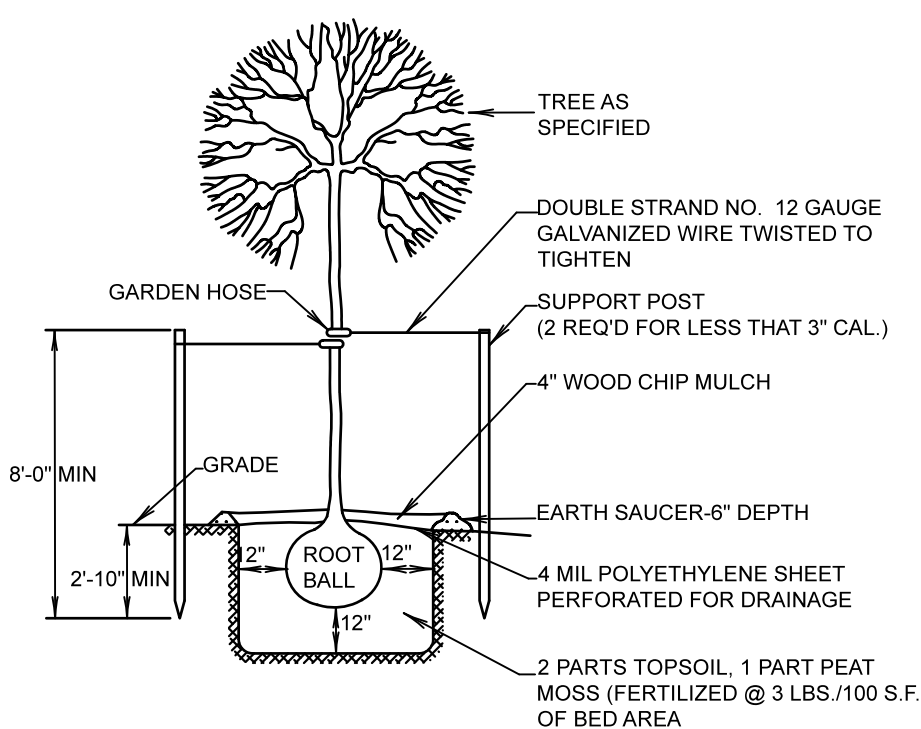
BITUMINOUS CONCRETE LIP CURBING DETAIL
N.T.S.



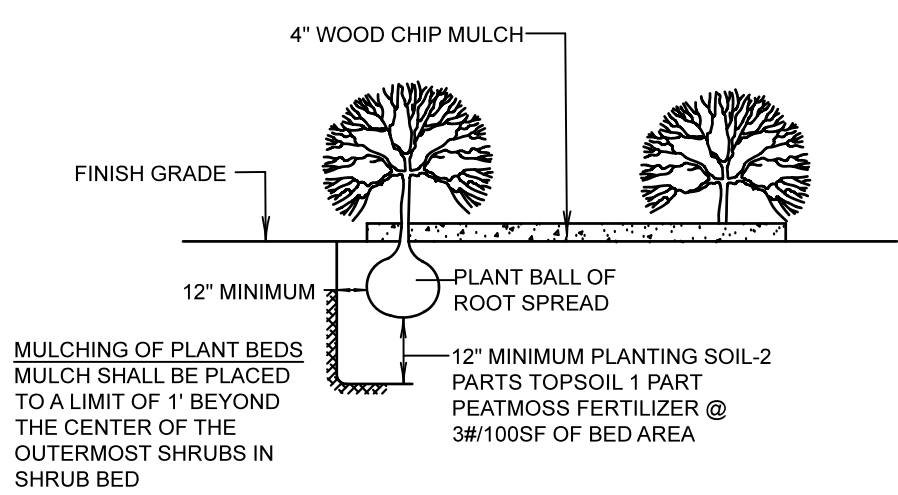
DUMPSTER SCREENING FENCE
N.T.S.



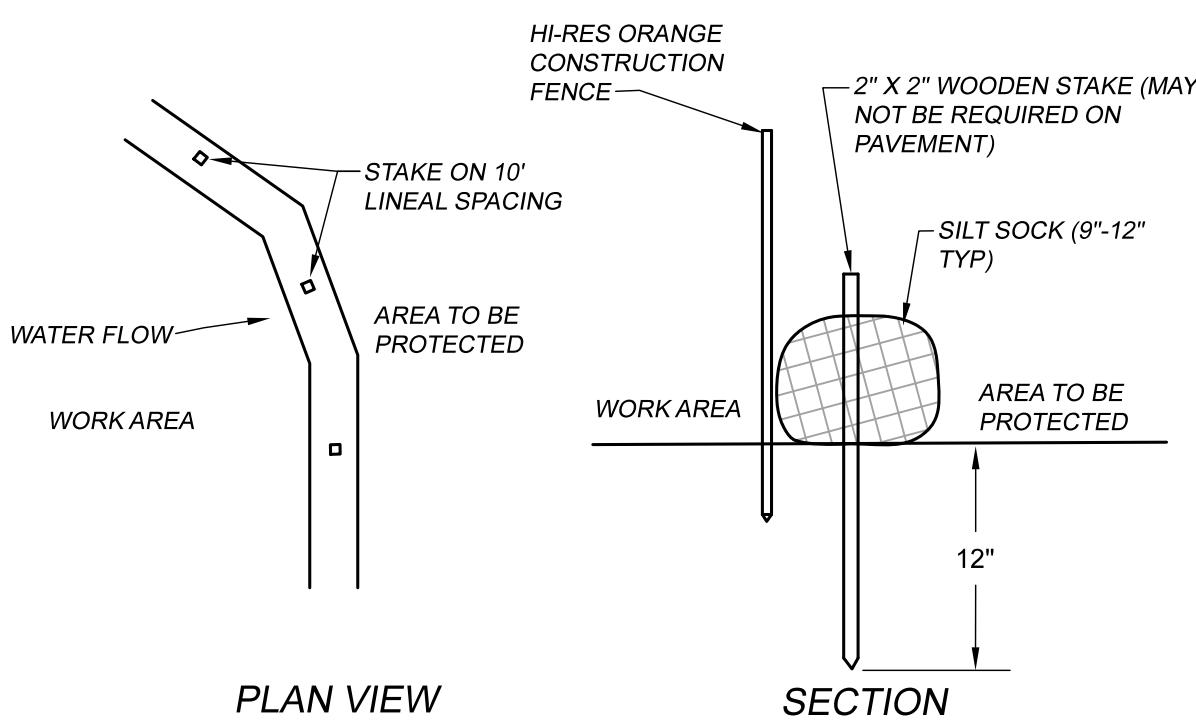
DUMPSTER PAD DETAIL
N.T.S.



TREE PLANTING
N.T.S.



PLANTING FOR SHRUBS IN BEDS
N.T.S.



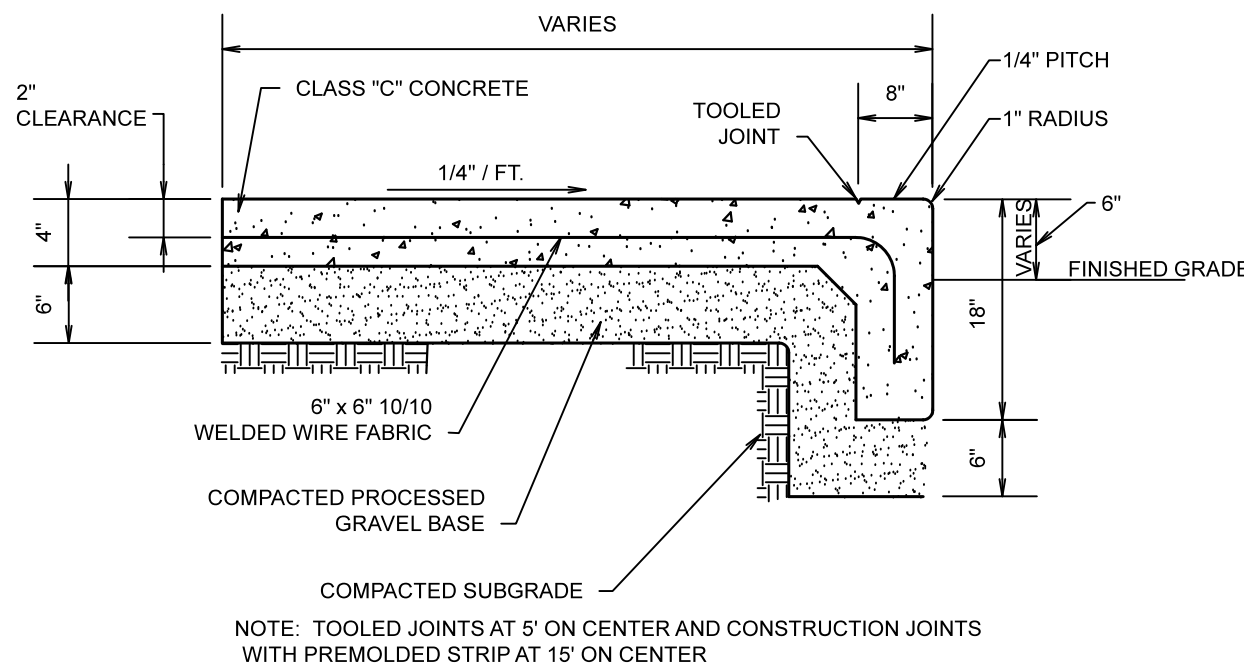
PLAN VIEW

SECTION

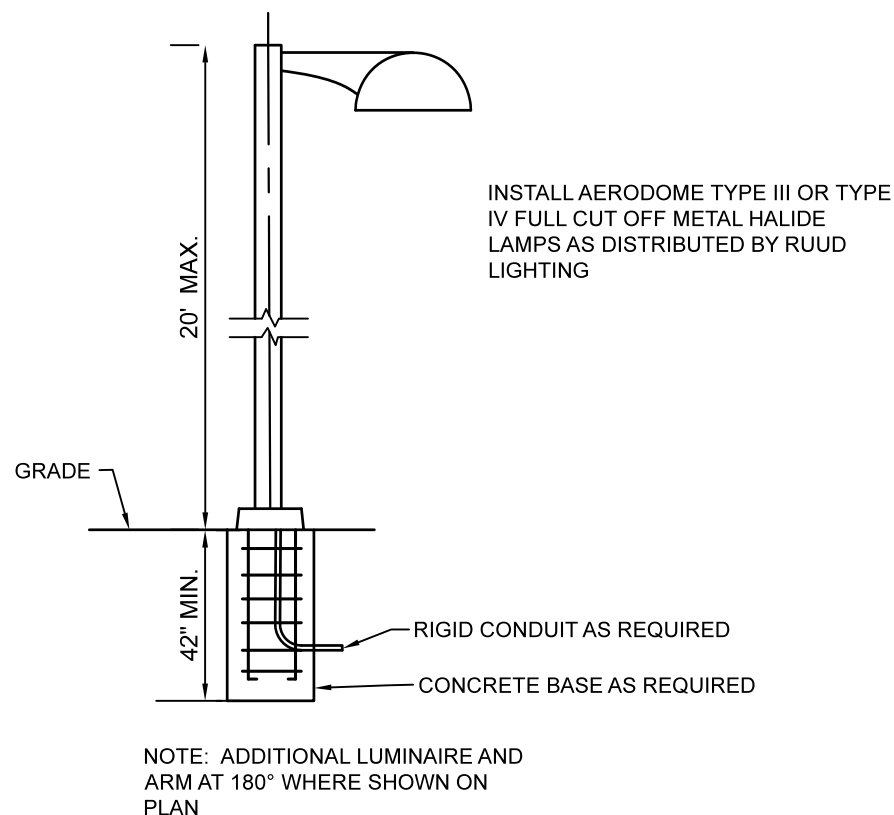
NOTES

1. SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
3. SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

SILT SOCK DETAIL
NOT TO SCALE



CONCRETE SIDEWALK AND CURB SECTION
NOT TO SCALE



FULL CUTOFF LIGHT
N.T.S.

LANDSCAPING SCHEDULE & NOTES

SYMBOL	QUANTITY	DESCRIPTION
①	4	PLANT 2 1/2\" - 3\" CALIPER RAPID GROWING, DROUGHT TOLERANT, NATIVE HARDY SHADE TREES SUCH AS OAK, MAPLE, HORSECHESTNUT, OR PLANTREE AT THE APPROXIMATE LOCATIONS SHOWN ON THE PLAN.
②	4	PLANT 2\" - 2 1/2\" CALIPER FLOWERING ORNAMENTAL TREES SUCH AS REDBUD, SERVICEBERRY, DOGWOOD, CRABAPPLE, PEAR OR HAWTHORNE WHERE SHOWN.
③		THESE AREAS SHALL BE LANDSCAPED WITH A MIXTURE OF PLANTINGS AND SHALL BE COVERED WITH A PERVIOUS LANDSCAPING FABRIC AND COVERED WITH A MINIMUM OF 4\" OF BARK MULCH OR DECORATIVE STONE. SEE RECOMMENDED PLANTINGS IN BIORETENTION AREA.

ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE COVERED WITH 4\" OF SCREENED LOAM, GRASS SEED AND HAY MULCH.

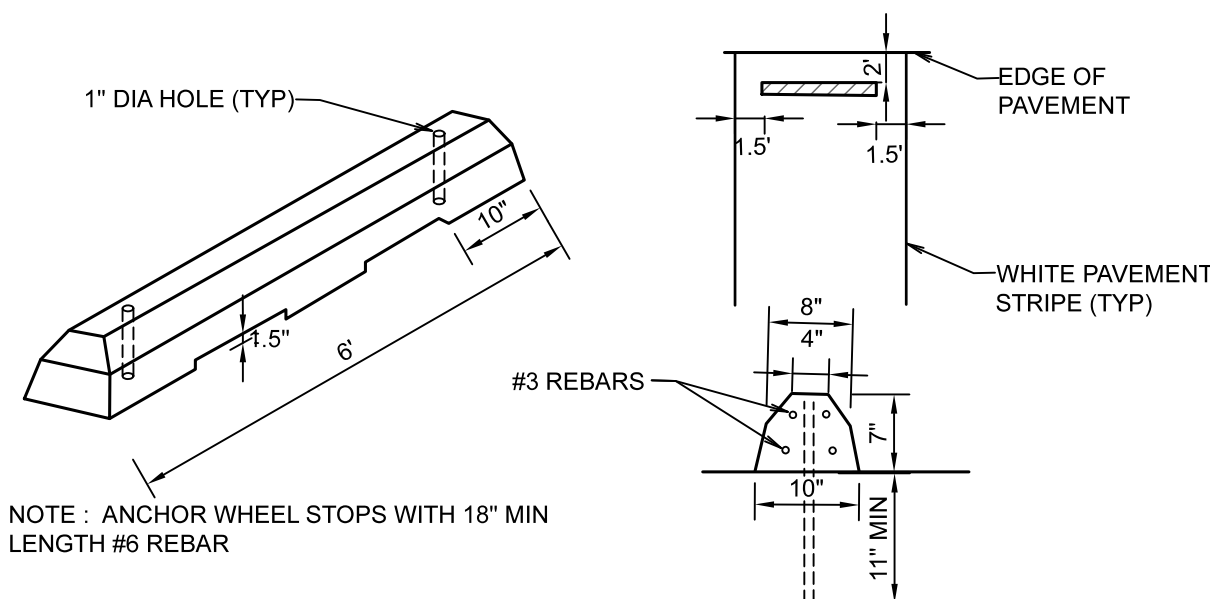
UTILITY NOTES

1. UTILITY INFORMATION HAS BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.
 2. AS BUILT UTILITY DATA IS NOT AVAILABLE. CONTRACTOR SHALL DIG TEST PITS OR PERFORM WHATEVER INVESTIGATIONS ARE NECESSARY AT THE CROSSINGS OF PROPOSED WATER/SEWER SERVICES AND EXISTING UTILITY LINES TO CONFIRM ADEQUATE SEPARATING DISTANCES.
 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
 4. TYPICAL DETAILS ARE SHOWN TO ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY ALTER THE METHOD OF CONSTRUCTION TO SUIT FIELD CONDITIONS, PROVIDING THEY SUBMIT A PROPOSAL FOR AN ALTERNATE METHOD TO THE ENGINEER FOR APPROVAL AND USES MATERIALS AS DESIGNATED IN THE SPECIFICATIONS.
 5. ALL PIPING SHALL HAVE WARNING TAPE INSTALLED. IN ADDITION, ALL NONMETALLIC PIPE MUST BE PARALLELED BY A METALLIC WIRE OR METALLIC DETECTION TAPE FOR EASE OF LOCATING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH EACH UTILITY WITH REGARD TO OBTAINING ALL NECESSARY INPSECTIONS OF THE WORK.

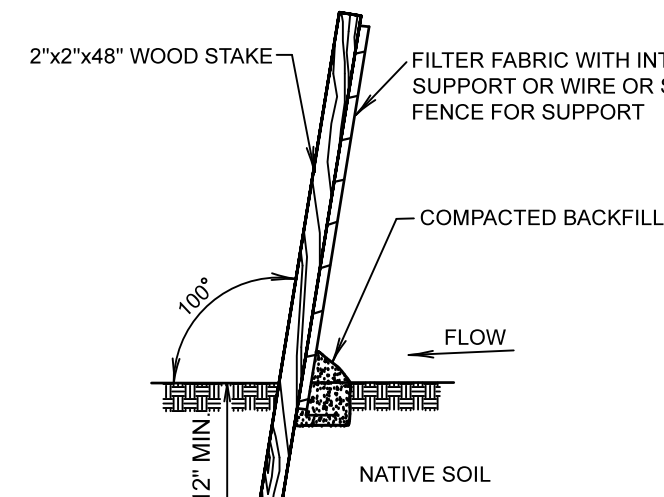
GRADING NOTES

THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGH OUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED

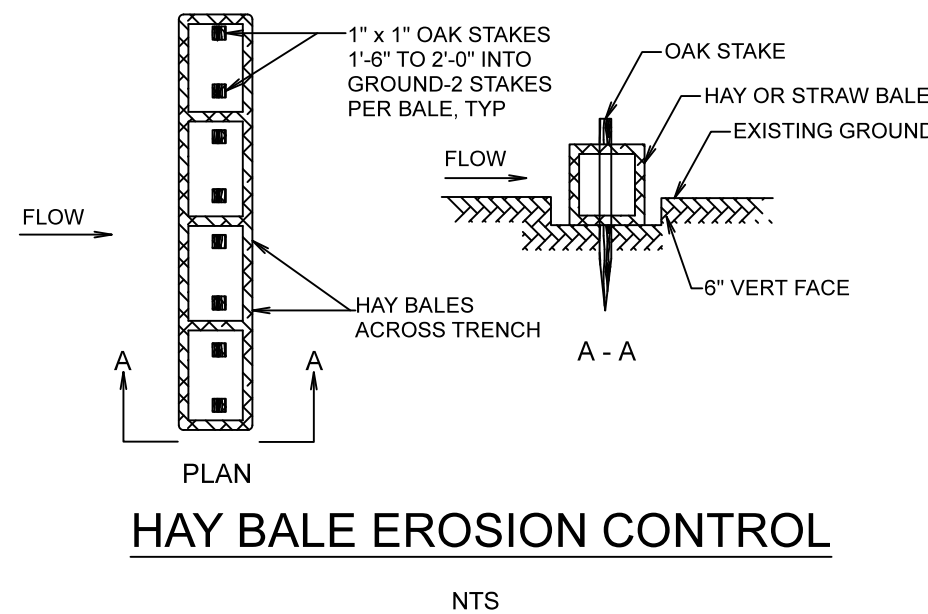
ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDED A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES.



CONCRETE WHEEL STOP
N.T.S.



SILT FENCE INSTALLATION
NOT TO SCALE



HAY BALE EROSION CONTROL
NTS

SOIL EROSION CONTROL PLAN

THE PURPOSE OF THIS PROJECT IS THE CONSTRUCTION OF TWO COMMERCIAL BUILDINGS AND ASSOCIATED SITE WORK. BOTH BUILDINGS SHALL BE CONSTRUCTED AT THE SAME TIME OR THE LARGER BUILDING SHALL BE CONSTRUCTED FIRST. THE GOAL OF THE EROSION CONTROL PLAN IS TO PROHIBIT ANY ERODED SEDIMENT OR SEDIMENT LADEN RUNOFF FROM ENTERING THE ROAD, ADJACENT PROPERTIES, WETLANDS OR DRAINAGE SYSTEMS.

CONSTRUCTION SEQUENCE

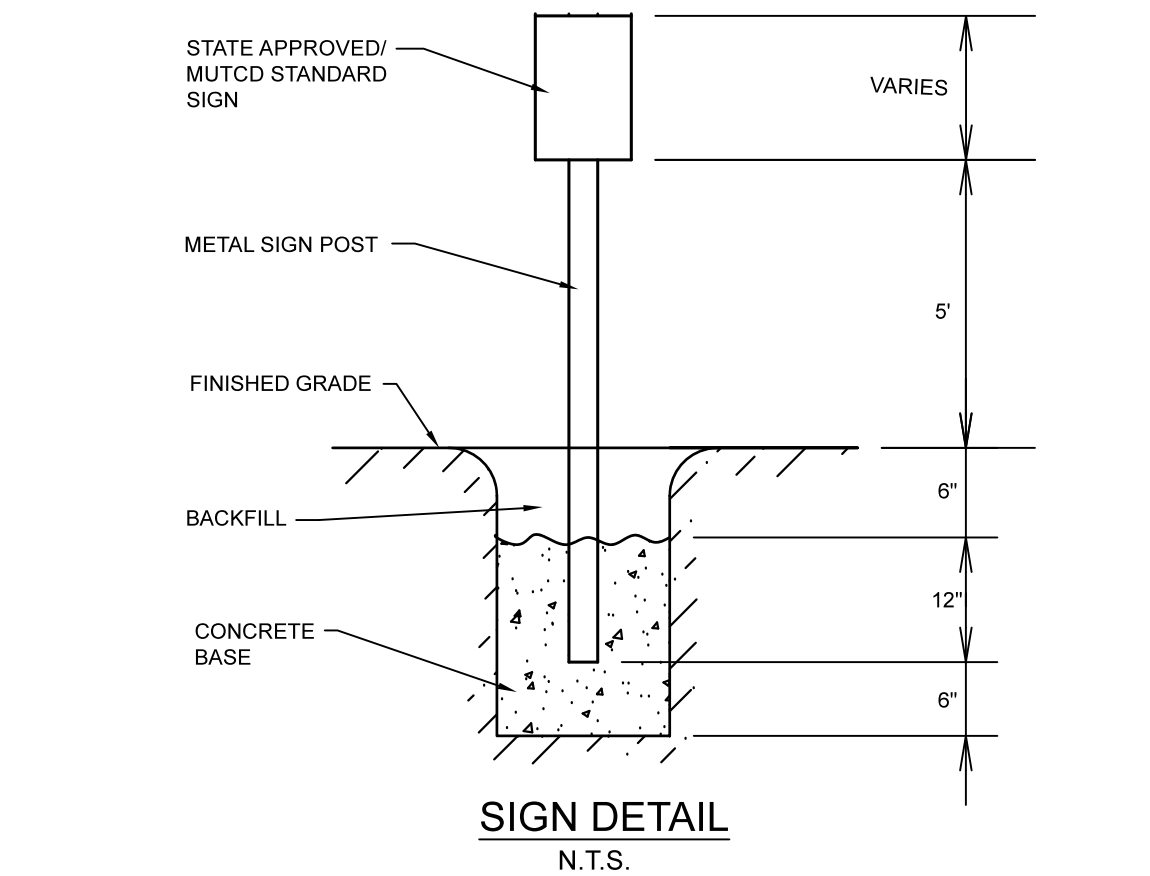
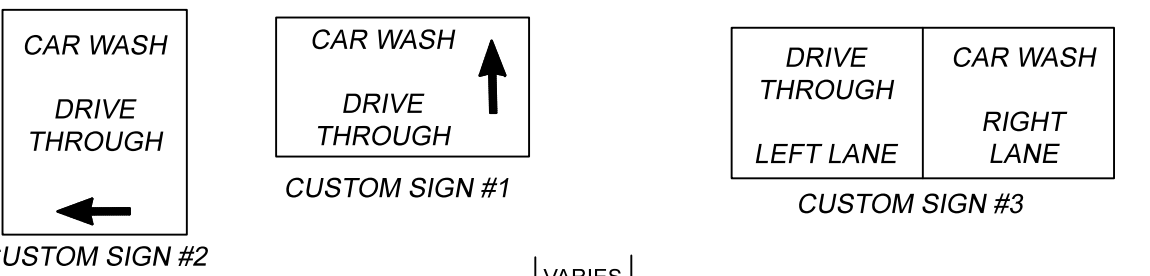
1. INSTALLATION OF SEDIMENT CONTROL BARRIERS AS SHOWN ON THE PLAN.
2. INSTALL DRAINAGE PIPE AROUND BUILDING FOUNDATIONS AND REMOVE EXISTING PIPE THROUGH BUILDING FOOTPRINT. SEE WATER HANDLING NOTE.
3. SITE CUTS AND FILLS
4. FOOTING EXCAVATION, POUR FOUNDATIONS, AND BACKFILL
5. INSTALLATION OF DRAINAGE, UTILITIES, ROUGH GRADE PARKING LOT
6. BUILDING CONSTRUCTION
7. PAVE BINDER COURSE
8. EXCAVATE AND INSTALL BIORETENTION AREA.
9. FINAL GRADING AND LANDSCAPING
10. FINAL PAVING

WATER HANDLING

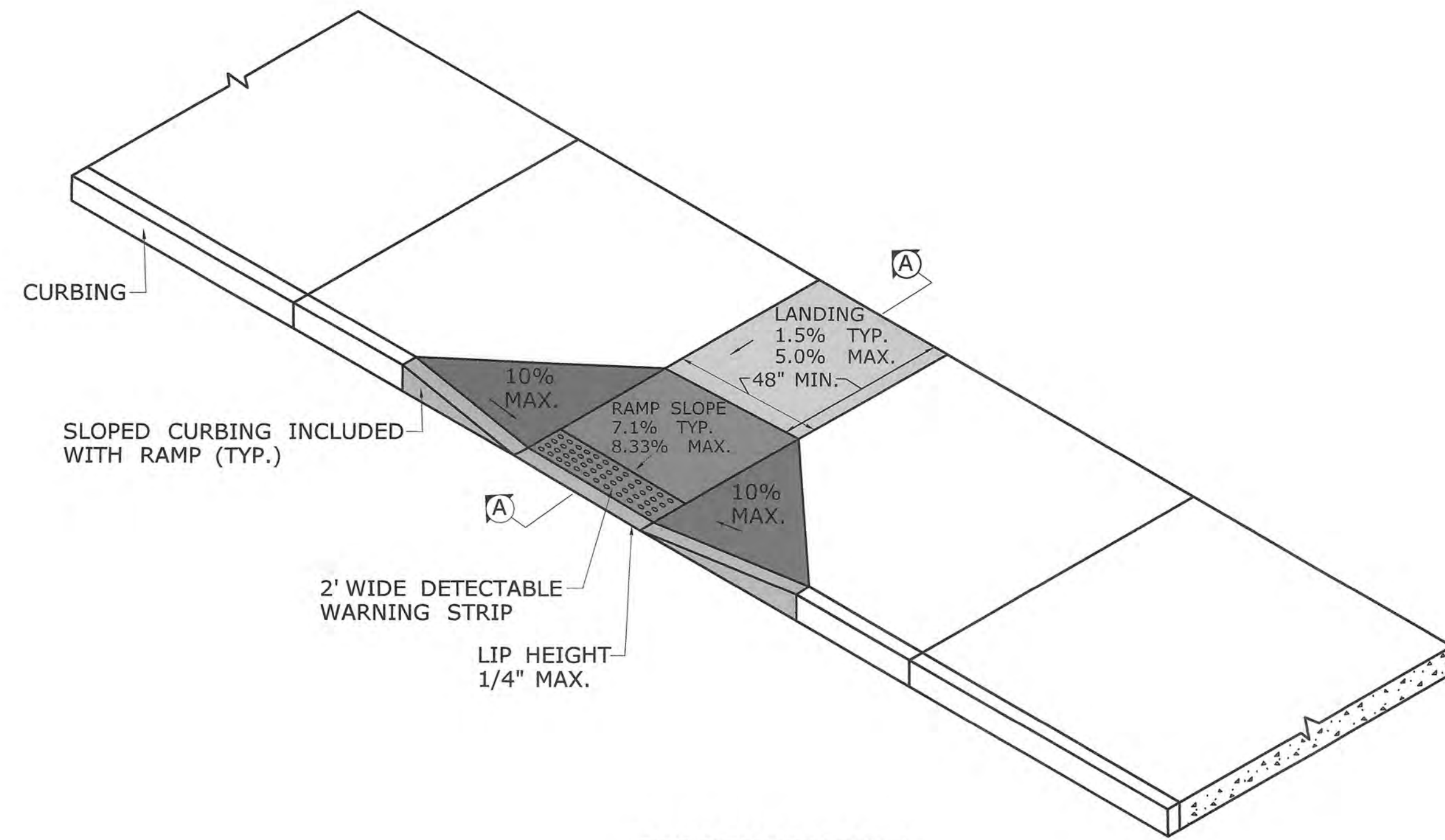
THE CONNDOT DRAINAGE SYSTEM FLOWS DURING WET TIMES OF THE YEAR AND DURING AND AFTER RAINSTORMS. THE CONTRACTOR SHOULD SCHEDULE THE RE-ROUTING OF THE DRAINAGE PIPE DURING THE DRY SUMMER MONTHS, IF POSSIBLE, OR AT LEAST DURING A DRY WEEK. AS MUCH OF THE NEW PIPE AS PRACTICAL SHALL BE INSTALLED PRIOR TO DISCONNECTING THE EXISTING PIPE. IF ANY WATER IS FLOWING OUT OF THE EXISTING PIPE IT SHALL BE PUMPED AROUND THE WORK AREA AND INTO THE WELL ARMORED EXISTING DRAINAGE DITCH. ONLY CLEAR WATER SHALL BE PUMPED. SEDIMENT LADEN WATER SHALL NOT BE PUMPED INTO THE DITCH. SEDIMENT LADEN WATER MUST PE PUMPED INTO A PUMPING SETTLING BASIN.

OPERATIONS AND MAINTENANCE

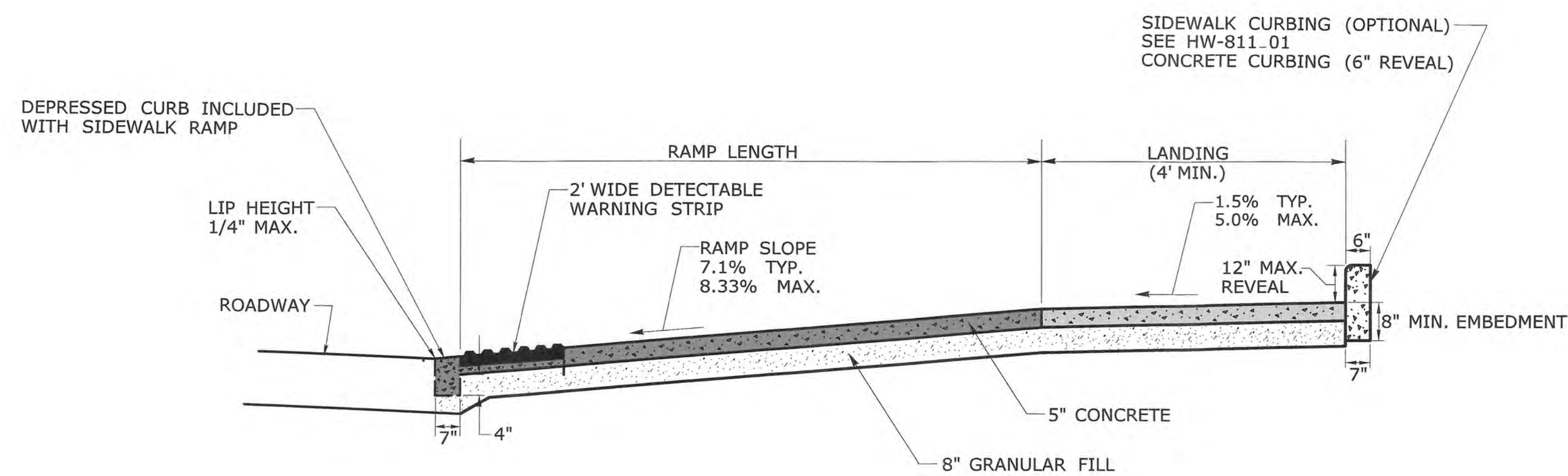
1. ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
3. PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. DISTURBED AREAS SHALL BE FINAL GRADED AS SOON AS POSSIBLE AFTER EXCAVATION. FINAL GRADING SHALL INCLUDE REMOVAL OF LARGE ROCKS, STUMPS AND OTHER DEBRIS FROM THE FINISHED SURFACE.
5. UPON FINAL GRADING, DISTURBED AREAS SHALL COVERED WITH A MINIMUM OF 4\"/>



UTILITY, EROSION CONTROL, AND MISC. DETAILS PREPARED FOR THOMPSON LIQUOR 520 RIVERSIDE DRIVE (ROUTE 12) - THOMPSON, CT	
J&D CIVIL ENGINEERS, LLC 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 860-923-2920	
DESIGNED: JJB CHECKED: DRB JOB NO: 22113 (OLD 20285) SCALE: AS NOTED	REVISIONS: 7-25-22 ADD CAR WASH DATE: APRIL 28, 2021 SHEET: 5 OF 7



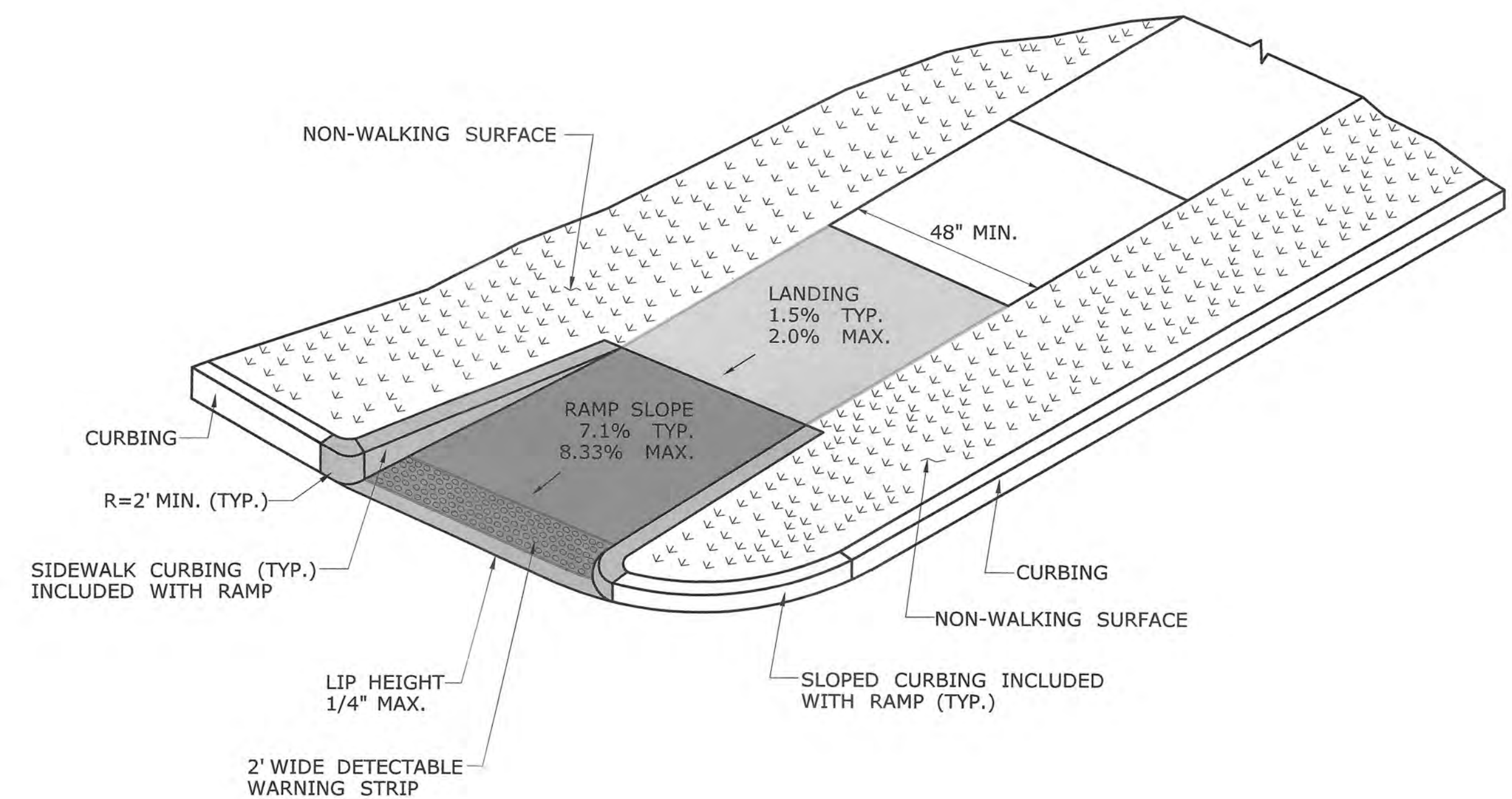
**PERPENDICULAR
SIDEWALK RAMP**




SECTION AA

GENERAL NOTES:

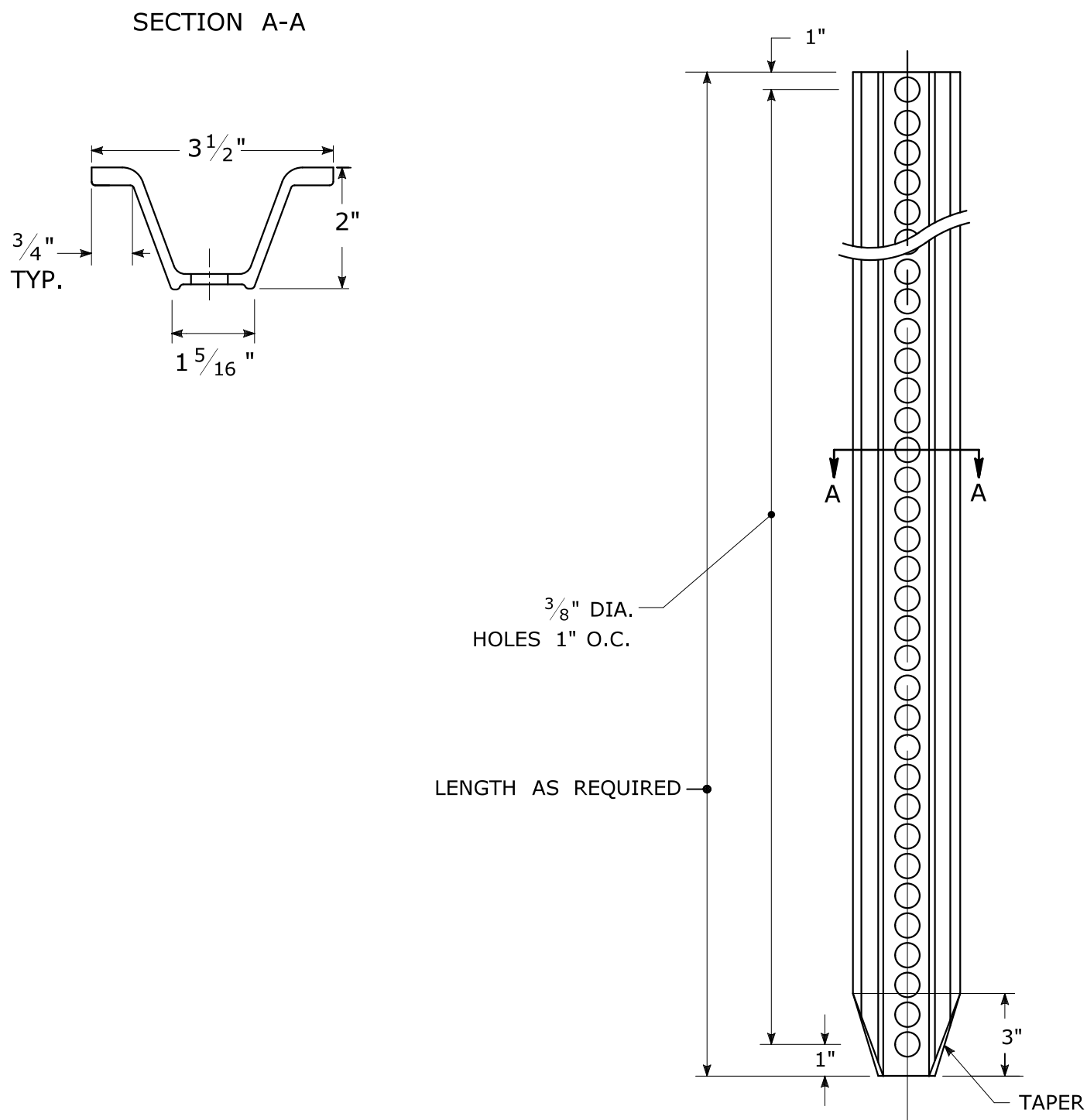
1. SIDEWALK RAMP SHALL HAVE A COARSE BROOM FINISH TRAVERSE TO THE SLOPE OF THE RAMP.
2. VERTICAL SURFACE DISCONTINUITIES AT JOINTS SHALL NOT EXCEED $\frac{1}{4}$ INCH.
3. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION OR CONTRACTION JOINT.
4. THE RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3 PERCENT MAXIMUM BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET.



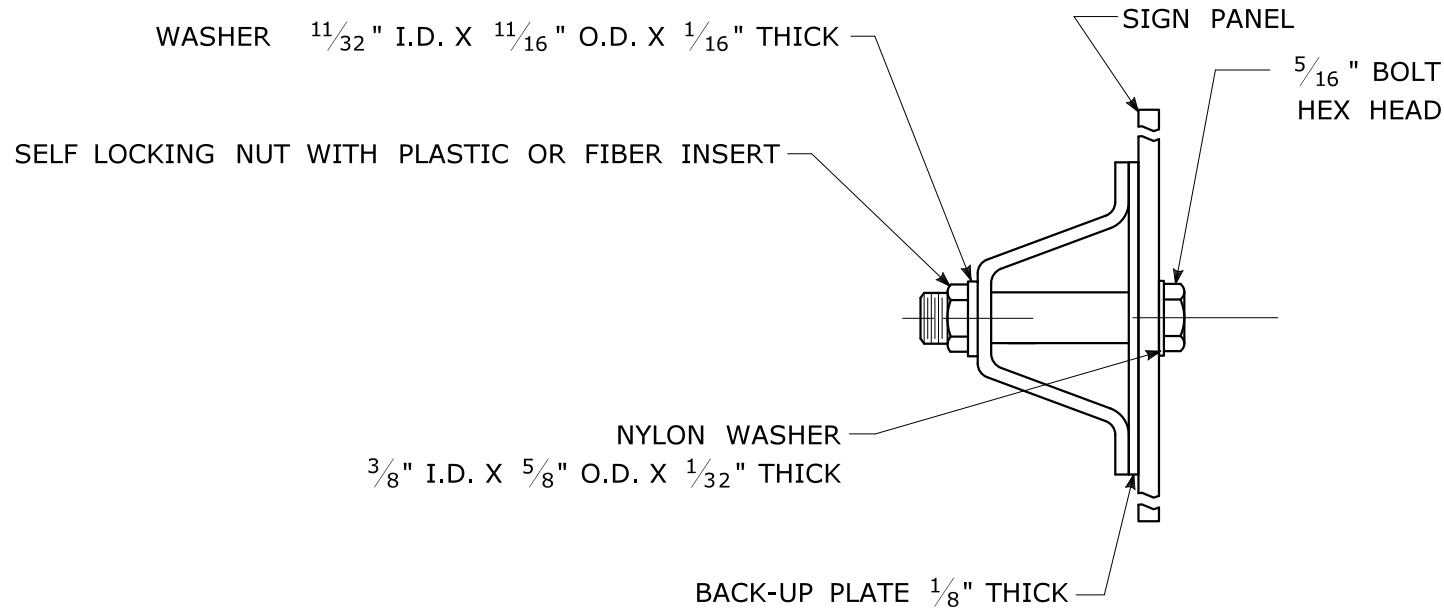
**SINGLE DIRECTION - RETURN CURB
WITH NON-WALKING SURFACE
(TYPE 16)**

REV. DATE 1 1/30/2019 2 1/30/2019 3 1/30/2019	REVISION DESCRIPTION 1 2 3	SHEET NO. 6	Plotted Date: 1/30/2019 THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.	DESIGNER/DRAFTER: CHECKED BY: <div style="text-align: center;">  STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION </div> Filename: ...ACTDOT_HIGHWAY_GD_[1-28-19].dgn	SIGNATURE/ BLOCK: OFFICE OF ENGINEERING APPROVED BY:	PROJECT TITLE: THOMPSON LIQUOR PLAZA - - RIVERSIDE DR. (ROUTE 12) - THOMPSON, CT	TOWN: - - DRAWING TITLE: SIDEWALK RAMPS	PROJECT NO. 202B5 DRAWING NO. SHEET NO. 6
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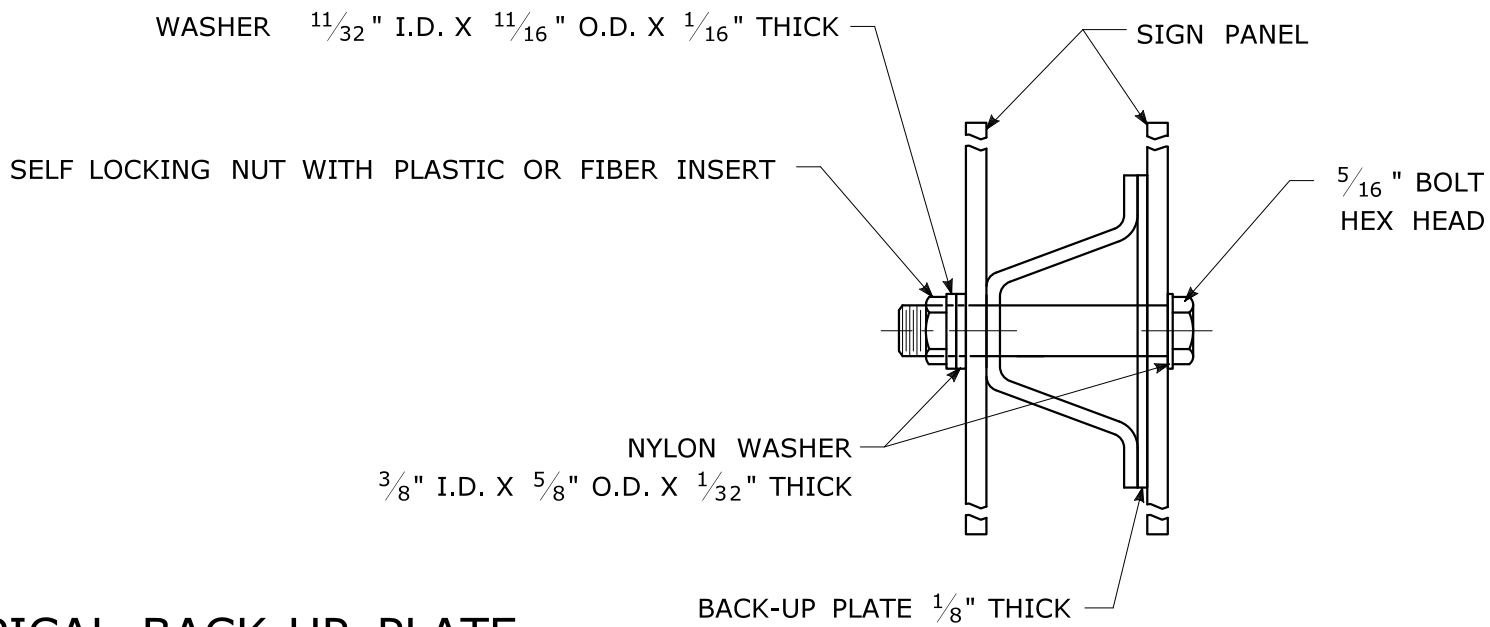
TYPICAL METAL SIGN POSTS



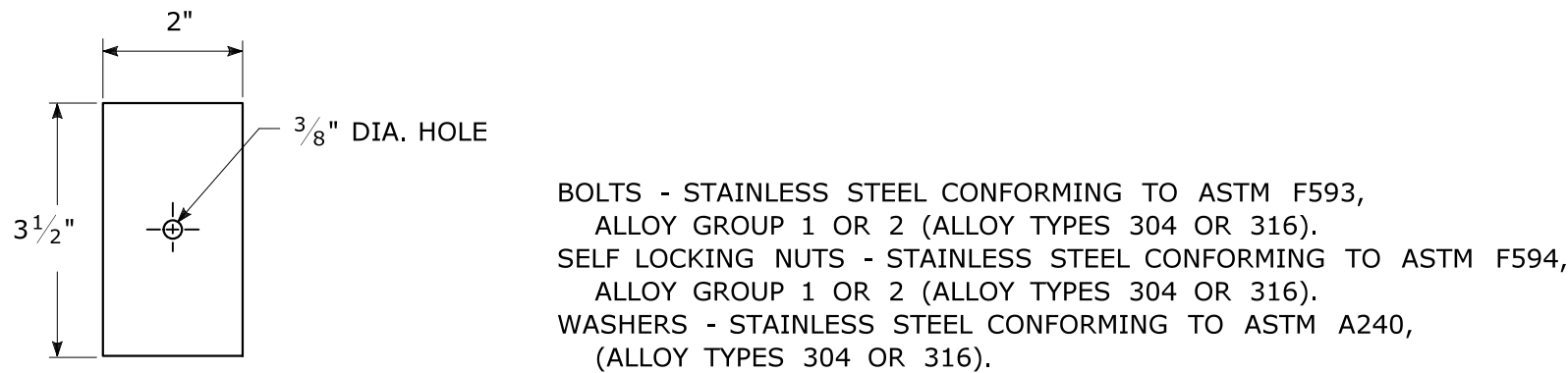
TYPICAL SIGN PANEL ATTACHMENT



TYPICAL BACK TO BACK SIGN PANEL ATTACHMENT

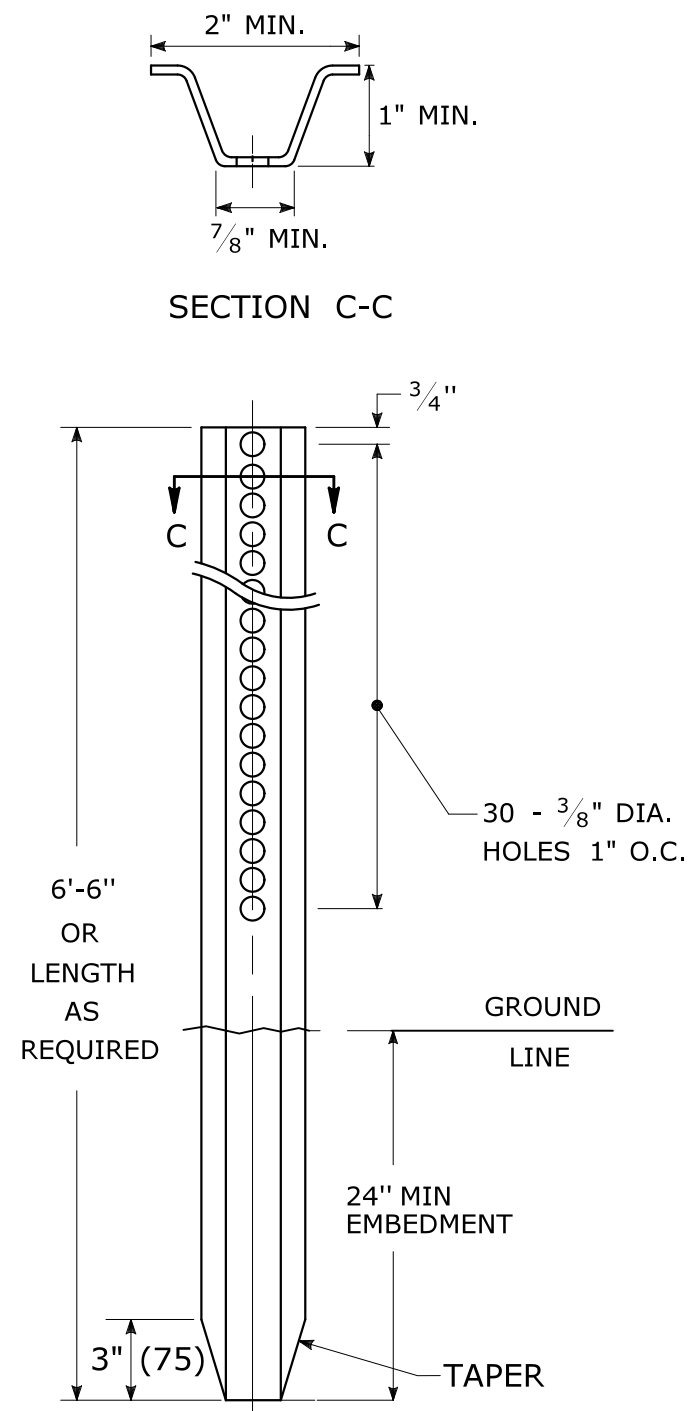


TYPICAL BACK-UP PLATE



METAL DELINEATOR POST

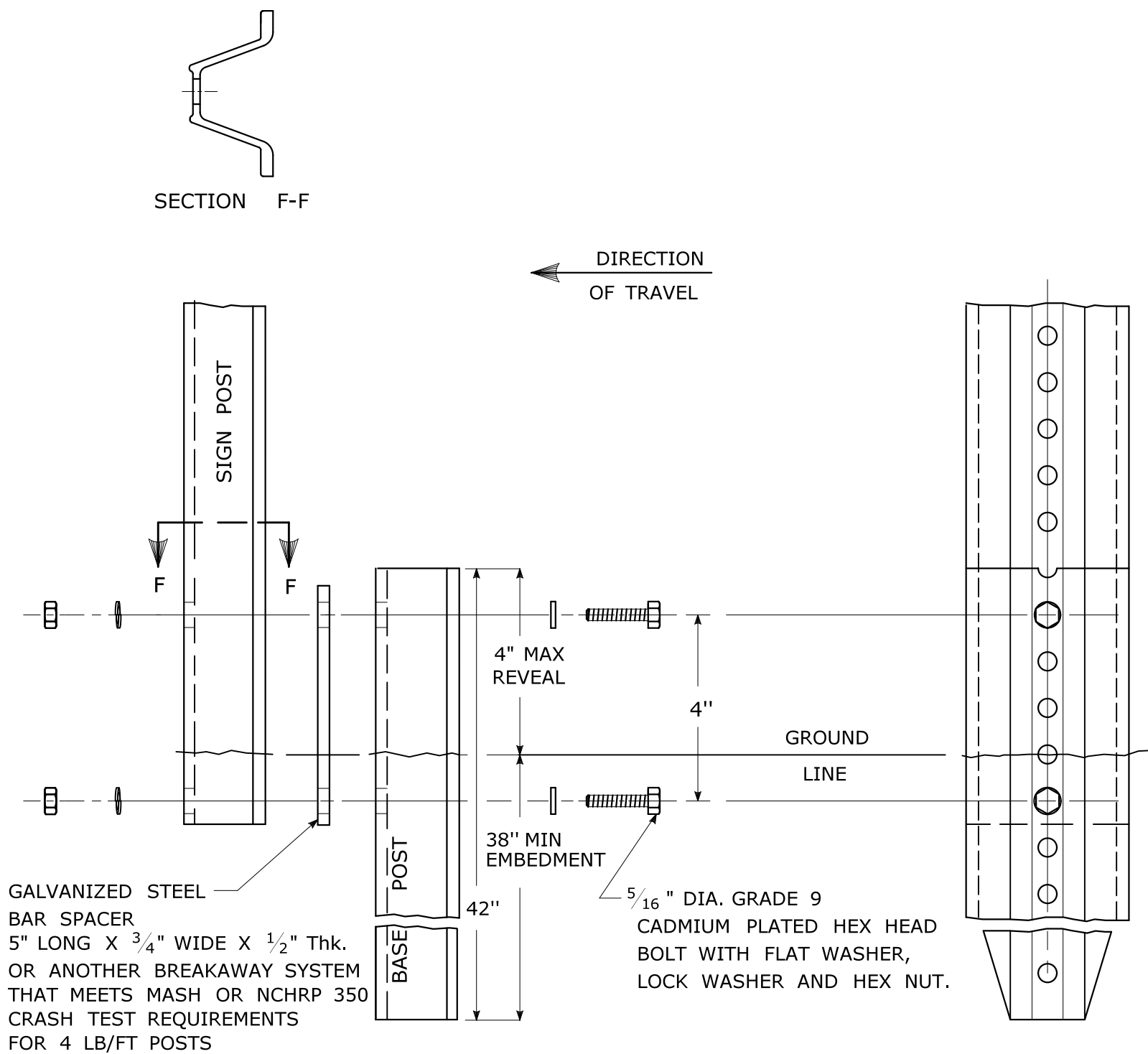
WT./FT. = 1.12 LBS./FT. MIN.



GENERAL NOTES:

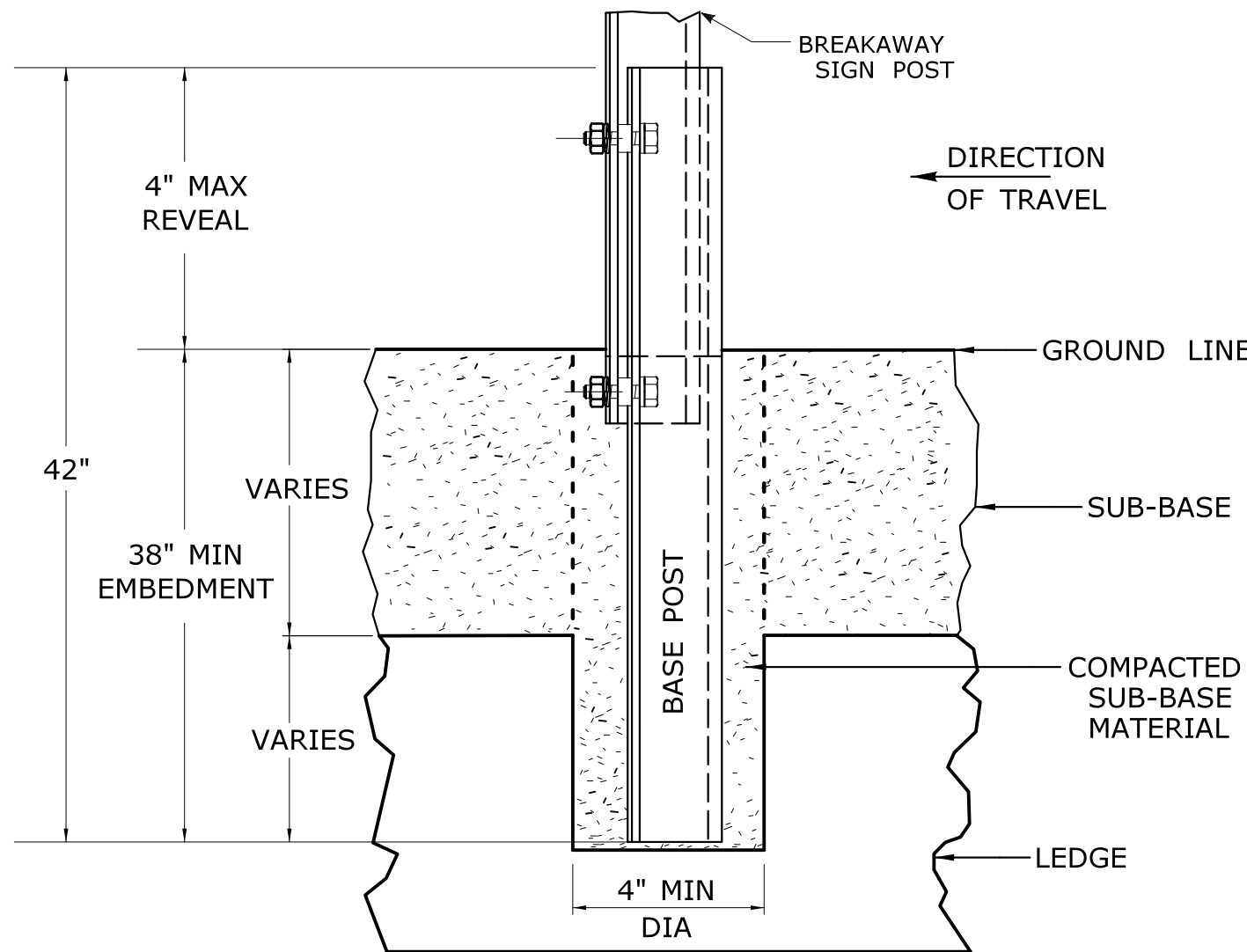
1. STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 LBS. OR GREATER PER LINEAR YARD.
2. AFTER FABRICATION, ALL STEEL POSTS, STRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123.
3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
4. SPACER BAR FOR BREAKAWAY INSTALLATION SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A36.
5. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153.
6. ALL SIGN POSTS SHALL HAVE BREAKAWAY FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS." THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 mph WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
7. SIGN POSTS SHALL BE 4 LBS./FT.

BREAKAWAY INSTALLATION
FOR 4 LBS./FT. POSTS

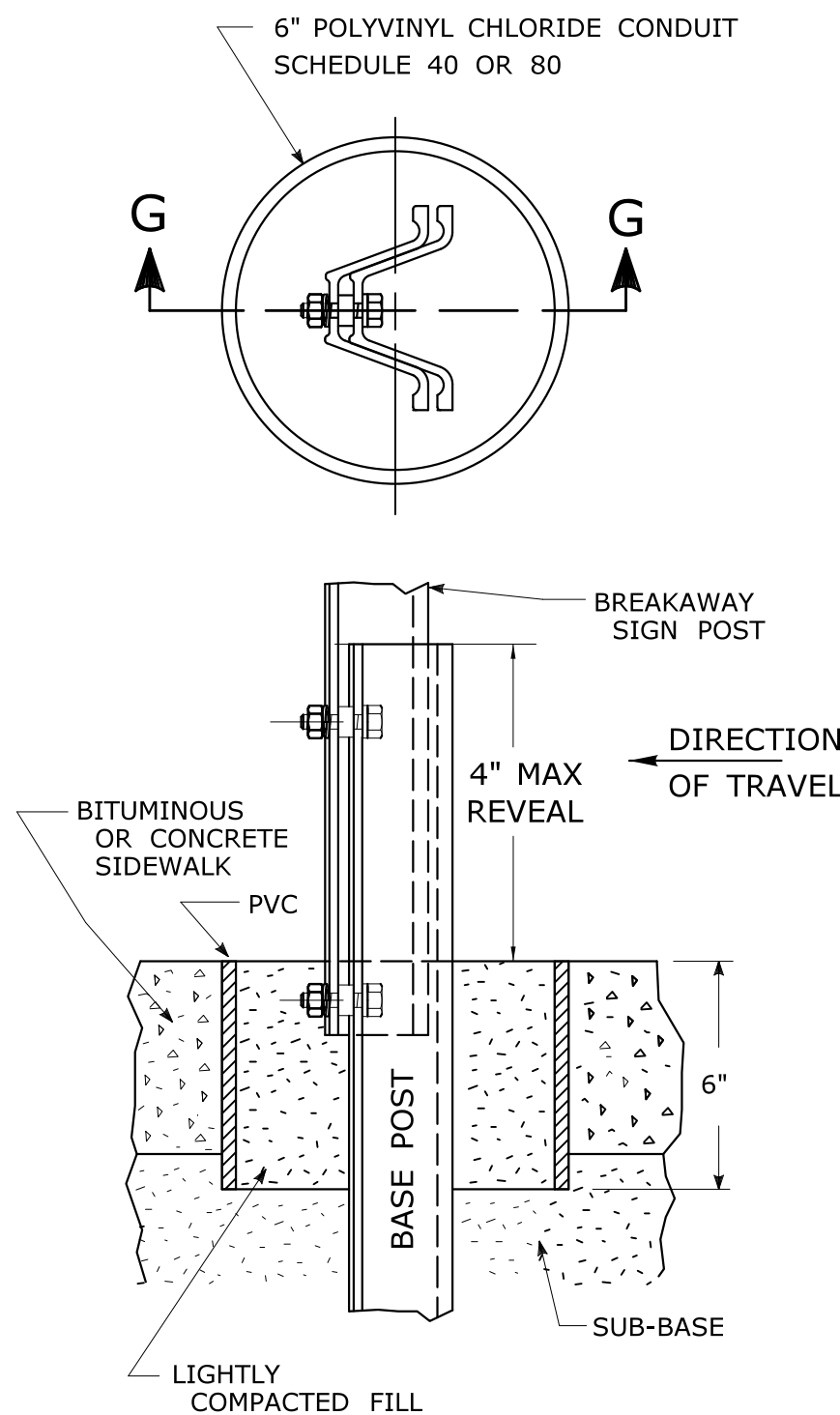


TYPICAL SIGN POST INSTALLATION IN LEDGE

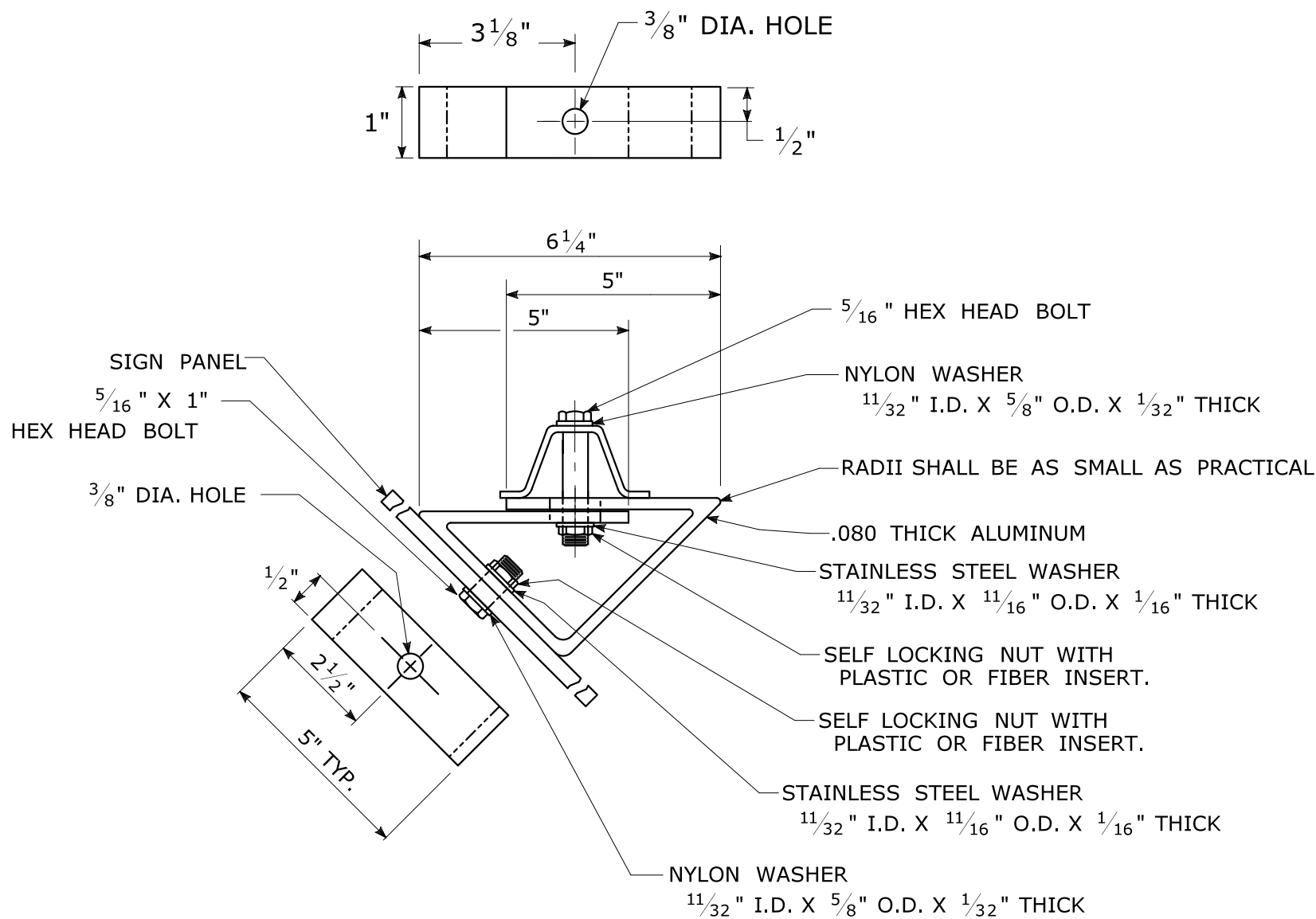
LEDGE SHALL BE REMOVED TO DRIVE THE BASE POST TO A DEPTH OF 38".
HOLE SHALL BE FILLED WITH SUB-BASE MATERIAL AND COMPACTED WITH A TAMPING BAR, OR TECHNIQUE APPROVED BY THE ENGINEER, PRIOR TO BASE POST INSTALLATION.



TYPICAL SLEEVE
FOR PAVED AREAS



45° MOUNTING BRACKET
FOR INSTALLATION OF PARKING SIGNS

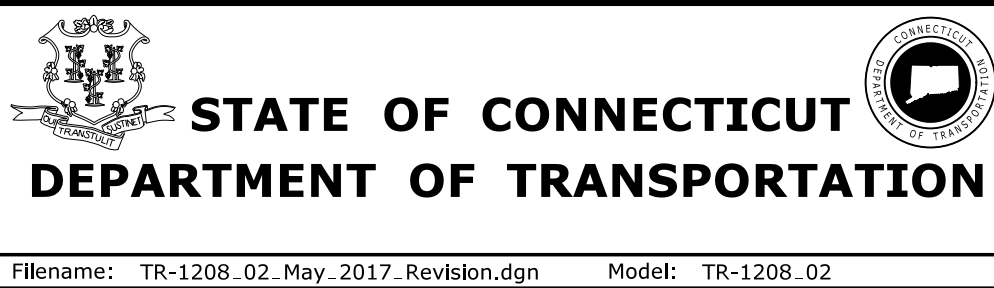


REV.	DATE	REVISION DESCRIPTION
2	6-2017	SIGN POST REVISIONS.
1	2-2011	MINOR REVISIONS.

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.

Plotted Date: 6/6/2017

NOT TO SCALE



SUBMITTED BY:	NAME/DATE/TIME:
APPROVED BY:	NAME/DATE/TIME:

CTDOT
STANDARD SHEET
OFFICE OF ENGINEERING

STANDARD SHEET TITLE:	GUIDE SHEET NO.:
METAL SIGN POSTS AND SIGN MOUNTING DETAILS	20285 TR-1208_02 SHEET 7

Agenda Item F.2) Permit Extensions / Changes

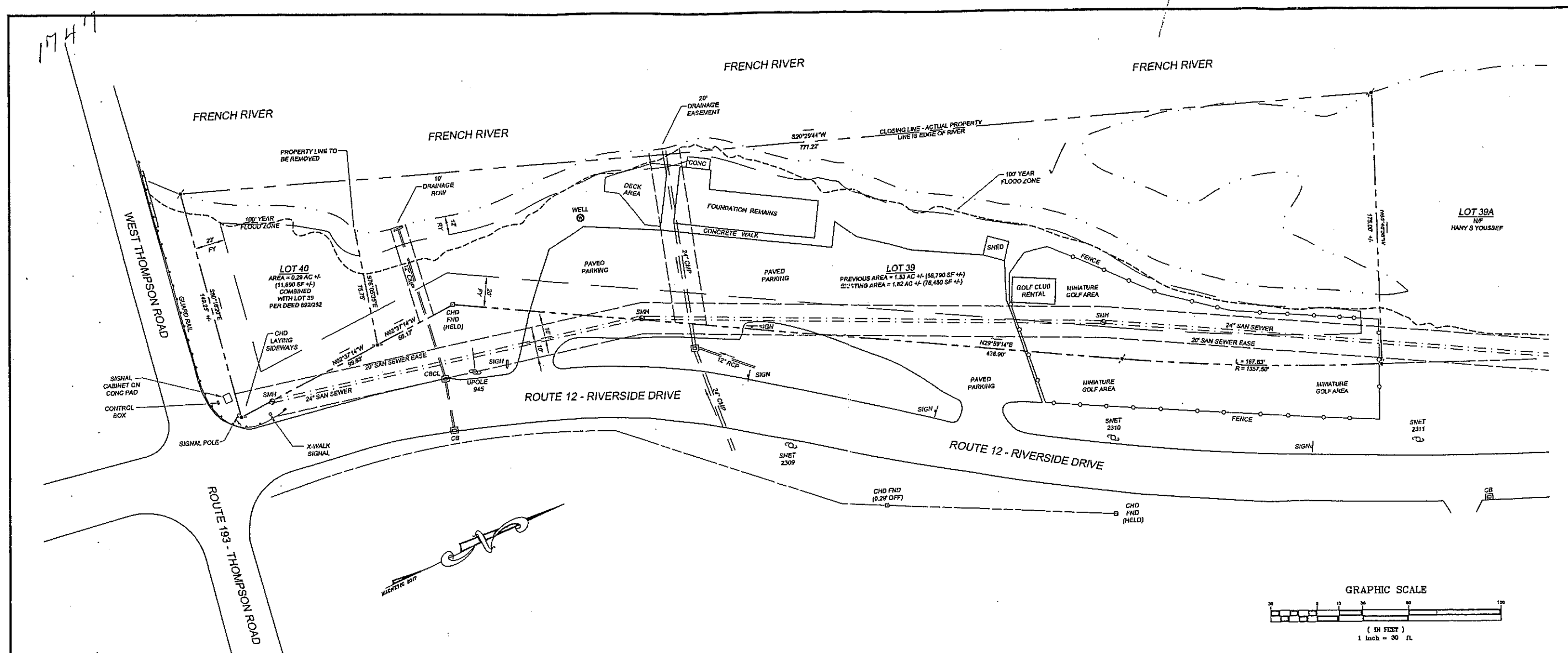
Modify WAA22013, Hany Youssef, 274 Riverside Dr (Assessor's map 87, block 95, lot 39), to include replacing existing concrete slab for the construction of commercial building on existing foundation for non-medical cannabis facility, Approval WAA22013 issued 6/27/22, request to modify submitted via email 8/2/2022.

DRAWING NUMBER
1747

DRAWING NUMBER
1747

DRAWING NUMBER
1747

DRAWING NUMBER
1747



NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996.

SURVEY TYPE: BOUNDARY SURVEY

PURPOSE: TO SHOW THE COMBINATION OF LOTS 39 AND 40, PER DEED 892282 IN THE THOMPSON LAND RECORDS.

BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY LOT 39, FIRST SURVEY OF LOT 40.

HORIZONTAL ACCURACY: A-2

2. REFERENCE PLANS:

(A) "SITE DEVELOPMENT PLAN PREPARED FOR NORTHEAST AUTOBODY, INCORPORATED OWNER CHARLES E. PAQUETTE" BY ALBERT L. FITZBACK, L.L.S. SEPTEMBER 12, 1991 ON FILE AS MAP 1196 IN THE THOMPSON LAND RECORDS

(B) CT HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON NUMBER 141-01, SHEETS 1 AND 2 OF 5

(C) "SITE DEVELOPMENT PLAN PREPARED FOR CHARLES PAQUETTE, CONNECTICUT ROUTE 12, THOMPSON CT." PREPARED BY MESSIER AND ASSOCIATES, INC. DATED 11/88, REVISED 10/09/91, ON FILE AS MAP 1431 IN THE THOMPSON LAND RECORDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

3. SEWER EASEMENT IN FAVOR OF THE TOWN OF THOMPSON, RECORDED IN 243208 IN THE THOMPSON LAND RECORDS

4. 10' DRAINAGE RIGHT OF WAY IN FAVOR OF THE STATE OF CONNECTICUT PER REF. MAP 8.

5. 20' DRAINAGE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT PER REF. MAP 8.

Dennis R. Blanchette 10/13/2017
Dennis R. Blanchette LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE

BEARING SYSTEM NOTES

PREVIOUS SURVEYS USED A MAGNETIC BEARING SYSTEM THAT APPEARS TO BE APPROXIMATELY 73 DEGREES OFF FROM MAGNETIC NORTH. THIS SURVEY USES A RECENT MAGNETIC BEARING.

100 YEAR FLOOD ZONE PER FEMA MAP 00128, ELEVATION VARIES FROM 310.5 TO 311.

ZONING INFORMATION:

ZONE: COMM
MINIMUM LOT AREA: 15,000 SF
MINIMUM FRONTAGE 75'
MINIMUM FRONT YARD: 20'
MINIMUM SIDE YARD: 12'
MINIMUM REAR YARD: 12'

PROPERTY OWNER
HANY S. AND SALAMA
YOUSSEF

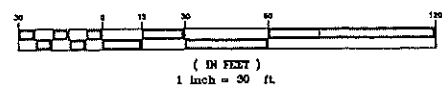
REFERENCE DEED
THOMPSON LAND RECORDS
VOL 883 PG 15
VOL 892 PG 282

ASSESSORS REFERENCE
MAP 87 BLOCK 95 LOT 39
MAP 87 BLOCK 95 LOT 40

LEGEND

- MONUMENT
- ANGLE POINT
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK
- EDGE OF WATER
- EDGE OF WETLANDS
- GUARD RAIL
- UTILITIES
- EXISTING DRAINAGE
- EXISTING SEWER

GRAPHIC SCALE



Received

MAY 23 2022

Thompson Wetlands Office

PROPERTY SURVEY
PREPARED FOR
HANY YOUSSEF
274 RIVERSIDE DR
N. GROSVENORDALE, CT

J&D CIVIL
ENGINEERS, LLC

401 RAYMOND ROAD
N. GROSVENORDALE, CT 06255
860-923-2020

DESIGNED: DDB
CHECKED: DRB

REVISIONS:

JOB NO: 15146

DATE: OCTOBER 26, 2017

SCALE: 1" = 30'

SHEET: 1 OF 1

THIS MAP PREPARED BY
ORIGINAL LAND SURVEYING
FIRM ONLY. ALL OTHER
FIRMS AND INDIVIDUALS
ARE PROHIBITED FROM
REPRODUCING THIS MAP.

SURVEY MAP
1747
10/13/2017 10/13/2017
1747

Appl WAA00013

WAA22013

hon yousef <thehon21@yahoo.com>

Tue 8/2/2022 8:53 PM

To: Marla Butts <wetlands@thompsonct.org>

Hi Marla this is Hany Youssef thank you for speaking with me today. Request for modification of the wetland Agent approval for Application number WAA22013 to replace the slab.

Working with the old slab was going to require trench digging then fill it up with cement after. Not knowing where the septic runs to. It was never going to look right and the old slab was not leveled. As for the cell fence it's already in place.

Thank you very much and feel free to contact me with any questions or concerns. 860-333-7008

Sent from my iPhone

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

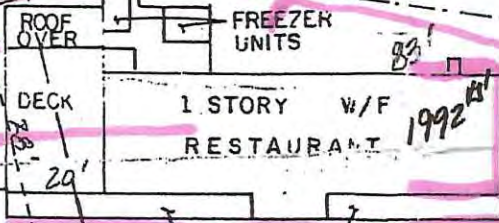
FRENCH

See Attached [B] RIVER

See Attached [A]

See Attached [D]

See Attached [C]



SHED

TOP OF FILL

GRAVEL

W/F BLDG

SMH

CHD BND PT

EDGE OF M

EXISTING 20' DRAINAGE EASEMENT

EXIST. SEWER EASEMENT

N 43° 00' 46" W

$\Delta = 07^\circ 33' 40''$
R = 935.91
C = 123.42
Chord Bearing = S36°21'00"E

L = 123.51

57.97
S 41° 26' 11" E

$\Delta = 03^\circ 48' 03''$
C = 88.39
Chord

SNET 2310

ROUTE 12

DOUBLE YELLOW LINE

RIVERSIDE DRIVE

DRIVE

CHD BND

SNET 2309

GUARDRAIL

PROPOSED EASEMENT AREA
0.37 Ac.

CHD BND

Hany Youssef
274 RiverSide Drive

Modification of Approval Request:

A: After removing the concrete slab inside the building. It was noticed that the highlighted foundation wall was resting on grade. Code calls for the wall to be at least 42" below grade. That section of wall would need to be removed and excavated. And a new frost wall installed to meet code requirements.

B: Property has a well on site. We need to dig a 12' trench 36" deep to tap into the existing T on the well line

C: Cut 3" of asphalt parking lot back to fix broken edges

D: Remove existing concrete slabs to locate and relocate underground sewer lines for new bathrooms and break rooms. Do the nature of the existing slab and the amount of saw cutting needed to install new underground pipes. Pouring new slabs makes more sense.

Agenda Item G.a) Violations & Pending Enforcement Actions

Notice of Violation **VIOL21023**, Jamie Piette, 0 & 73
Center Street (Assessor's map16, block X, lots H & 2),
unauthorized construction of retaining wall and
associated backfill in or near Little Pond, issued 8/24/21
- status.

Agenda Item G.b) Violations & Pending Enforcement Actions

Notice of Permit Violation **VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on 2/9/21.

Agenda Item G.c) Violations & Pending Enforcement Actions

Notice of Violation **VIOL22008**, Rodney Lamay, 0
Quaddick Town Farm Road (Assessor's map 160, block
11, lot 15), unauthorized clearing, cutting & grading in
wetlands, issued by Acting Wetland Agent 3/21/22 –
status.

Agenda Item H Other Business

- a) Update on Proposed Revisions to Zoning Regulations and Subdivision Regulations.

Agenda Item I

Citizens Comments on Agenda Items

Agenda Item J Reports

1 Budget & Expenditures

2 Wetlands Agent Report



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Agenda Item K, Correspondence - None

Agenda Item L, Signing of Mylars -None

Agenda Item M, Comments by Commissioners

Agenda Item N, Adjournment