

INLAND WETLANDS COMMISSION
TUESDAY, July 11, 2023
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C) a)
Action on Minutes of Previous Meeting
Minutes of June 13, 2023



TOWN OF THOMPSON Inland Wetlands Commission

815 Riverside Drive, P.O. Box 899
North Grosvenordale, CT 06255
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RECEIVED
TOWN OF THOMPSON, CT.

2023 JUN 15 P 3:24

Paul Dwyer
TOWN CLERK, Asst

MEETING MINUTES: Tuesday, June 13, 2023, 7:00PM

Via ZOOM Online Meeting Portal

- A) The meeting was called to order at 7:00 PM by Chairman George O'Neil who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer) Fran Morano (Commissioner), Marla Butts (Wetlands Agent), Amy St. Onge, Ex-Officio Member, Gloria Harvey (Recording Secretary)

Members of the public: Kevin Calabro, Norm Thibeault, Wojciech, Sudyka, Justin Sudyka and others.

- B) Appointment of Alternates - None

- C) Action on Minutes of Previous Meetings

- a) The Minutes of May 9, 2023

Commissioner Chapin requested the Minutes of May 9, 2023 be amended to correct Mr. Meehan's name to read Brian Meehan in VIOL21036. The Minutes of May 9, 2023 were unanimously accepted with amendment.

- b) The Minutes of June 3, 2023 Special Meeting were unanimously accepted as presented.

- D) Citizens Comments on Agenda Items - None

- E) Applications

- a) Old Applications to the IWC office

1. **WAA23001**, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks. One 50' x 13' over proposed concrete slab and one 18' x 36' along entire width of the south side of the building. Hany Youssef dropped off a copy of deck plans. Marla sent email to Hany Youssef and his architect, informing them the process of processing this application requires the submission of a full scale signed and sealed hard copy or PDF of the plans for the decks to the IWC office and once the plans are received, he will receive IWC approval and a Building Permit.

IWA23010, Thompson Business Park LLC, 0 & 0 Reardon Road, (Assessor's Map 65, block 100, lot 40 & 40G), self-storage facilities with grading and stormwater discharges in 100-foot upland review area, stamped received 5/2/23, statutorily received 5/9/23. Marla received revised plans yesterday, replacing the original plans for IWA23010 and did not have an opportunity to review them thoroughly before tonight's meeting. She asked Norm Thibeault for an explanation of the revision. Norm Thibeault, Killingly Engineering Associates, shared his screen showing plans for the self-storage units and explained the proposed two phases and the sequencing of construction for this gated facility. The plan for

Phase 1 is to construct 2 buildings, one building, an office and two separate storm water basins. Phase 2 will complete the roadway, construct a larger storm water basin, install a crushed stone trench along the perimeter of the site. A line of silt fence will also be installed. Septic system design for a single bathroom has been submitted to the Department of Health for their review. Commissioner Obert questioned proposed plant species for erosion control and Norm Thibeault replied the plants that will be used are all native non-invasive plants and the species are specific to wetlands. Commissioner O'Neil questioned the timeline for Phase 1 and Phase 2 and Norm Thibeault replied the intention is to construct the first two buildings and the timeline will depend on market demand. He expects the project to be completed in 2 to 3 years. Marla questioned the six sheets in the original plan versus 7 sheets submitted in the new plan and Norm Thibeault replied the 7th sheet shows what Phase 1 will look like. She questioned the upland review area and Norm Thibeault stated a small portion of a building and the perimeter driveway are in the upland review area. Marla also questioned the exit velocity of the storm water basin at the bottom of the slope and Norm Thibeault will add the information to the plan so the drainage report matches what is on the site plan. Conservation commented on this plan and asked for downcast lighting with motion sensor detection, the old pump house within the conservation easement remain untouched, installation of E&S controls prior to site grading, applicant agree in writing to monitor erosion and sediment controls for the duration of the project and provide reports to the town upon request, stockpiles be seeded and covered to prevent unwanted erosion and sedimentation, and easement markers be prominently displayed upon completion. Regarding E&S reports, Norm Thibeault stated E&S reports are done by the developer's engineer and he would be happy to send reports to the town upon request. Commissioner Obert commented that there is no ordinance to mandate monitoring and this should be included in the plan. Norm Thibeault was asked to request this additional monitoring information be provided to his client. Norm Thibeault will submit revised plans to Marla and then she will complete her review of the plan.

2. **IWA23011**, Kevin Calabro, 117 New Road, (Assessor's Map 154, block 3, lot 2H), relocation of man-made watercourse, curtain drain, clearing and grading in 100-foot upland review area, stamped received 5/2/23, statutorily received 5/9/23. Norm Thibeault, Killingly Engineering Associates, submitted the hydraulic report and design for the channel. He shared his screen and gave an overview of the water issues associated with Mr. Calabro's property. He proposed a grass line swale 6' wide that will intercept the water that comes off the Calabro property to formalize the drainage and get it to the final destination point in a cleaner manner. Mr. Calabro would like to install a berm so water from the Grays property would stay on their property until it gets to the swale. A curtain drain is in place which discharges to the pond area. Norm Thibeault discussed the hydraulics calculations. Marla reported that everything that was already done in the upland review area is in the application, and the ditch on the property line shows Mr. Calabro's effort to make sure all the water stays on his property. Marla stated she has no objection to the Commission issuing an approval of this application as presented and if the Commission approves this application, then the Notice of Violation that was given to the Grays would become mute and that file would be closed because no action is required as Mr. Calabro has addressed this matter in a competent way. Commissioner Obert made the motion to approve application IWA23011 as presented and mute violation VIOL22031 against the Grays. Commissioner Chapin seconded the motion. During discussion Commissioner Obert asked for clarification on the berm, ditch and path of water where the paddock is located. Hearing no further discussion Chairman O'Neil asked for a voice vote. Application IWA23011 was unanimously **APPROVED**.

b) New Applications

1. **WAA23012**, David Bove, 519 Brandy Hill Road, (Assessor's Map 143, block 17, lot 1A), 22' x 4' house addition and new 20' x 24' attached garage, stamped received 5/9/23. Marla stated this is a small piece of property and displayed and discussed his plan. The Northeast District Department of Health (NDDH) found the application acceptable for the 20' x 24' garage but stated no living quarters in the garage, no bedrooms to be constructed in the addition, once addition is completed a water analysis must be submitted and a water sample must be taken from the new faucet in the master bathroom to ensure the new plumbing has been properly disinfected for drinking purposes, and the septic system has to be taped off during construction to ensure proper separating distances have been maintained and to protect from heavy traffic or storage of building materials in that area. NDDH recommended he pump his septic tank every three years. Marla stated she has no issues with this proposal and sees no adverse effects on the reservoir, therefore she intends to issue an approval before the next meeting. Commissioner Chapin questioned the date of the NDDH letter and Marla stated that NDDH is concerned about sedimentation and there is no evidence of it.

c) Applications Received After Agenda was Published - None

F) Permit Extensions / Changes - None

G) Violations & Pending Enforcement Actions

- a) **Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021 – Mr. Baer is in the process of finishing the home. The design of the house has changed and is for sale. Marla has asked the Building Inspector not to issue a CO for the house until the Commission receives as built drawings. This application is on hold pending the receipt of as built drawings.
- b) **Notice of Violation VIOL22031**, Douglas and Roberta Gray, 0 New Road, (Assessor's map 154, block 3, lot 2J), watercourse alternation causing flooding, issued 1/23/22 – Marla will send a letter to the Grays notifying them that with the issuance of Mr. Calabro's permit this violation file has been closed.
- c) **Notice of Violation VIOL23007**, Kevin Calabro, 117 New Road, (Assessor's map 154, block 3, lot 3H), earthmoving in 100-foot upland review area, issued 3/24/23 – Marla will put a cover letter on the permit stating the violation file has been closed due to the issuance of the permit. No further action is required by the Commission.
- d) **Notice of Violation VIO23013**, Wojciech, Sudyka, 1574 Riverside Drive, (Assessor's map 55, block 65, lot 14), grading work exceeded scope of work authorized by Permit IWA 21028, issued 5/22/23 – No valid permit exists for grading activity in the 100' upland review area resulting in a violation of Section 6 of the Inland Wetlands and Watercourses Regulations of the Town of Thompson. Marla showed Panoramas of the conditions surrounding the excessive grading work at the site. Site inspection with Marla, Tony Fitzherbert and Daniel Blanchette revealed drainage issues and its discharge toward the permit site. To address the drainage issue J&D Civil Engineering will work with Mr. Sudyka and his representatives to come up with an application to handle the runoff and final grades for all the work that is in the upland review area. Marla is expecting an application to come in that is outside of the permitted area and she anticipates some plan changes for the garage site. Mr. Wojciech and his son Justin were present and Justin proposed moving or shrinking the septic system, placing the building to hug the tree line, knock down ledge, and cutting the grade down. He and his father will work with Daniel Blanchette to

design a site plan that will work. Marla stated that a permit exists for the garages and a plan revision will have to be submitted for any changes to that permit. Anything north of the internal access way would have to be a separate application. Marla suggested a meeting with Mr. Wojciech, his son, and Daniel Blanchette to establish timelines for whatever they want to do on the northern part of the site. Justin questioned the drainage pipe from Dudley to Thompson and Marla recommended replacing it and offered to start a dialogue with the Dudley Wetlands Consultant to establish a coordinated effort between Thompson and Dudley. Regarding his question on the septic system, Marla told Justin it is a Health Department and Zoning issue. Marla will discuss this with the owner and engineers and she will report back to the Commission next month.

H) Other Business

a) New FEMA Flood Maps and amendments to Flood Damage Prevention Ordinance

In order for the Town to keep FEMA flood insurance available to its citizens, FEMA is requiring Thompson to revise its Flood Damage Prevention Ordinance of 1988 before the new FEMA flood mapping becomes final September 7, 2023. As part of this process Thompson must update its Floodplain Zoning Regulation and Flood Damage Protection Ordinance to adopt these new maps and make other required regulatory changes. Ordinance revisions need to go through the Board of Selectmen who will bring it to a Town Meeting, and it has to be passed at town meeting before September 7, 2023. Marla researched surrounding towns and everyone has the IWC as the appeals agency and the Building Inspector as the Administrator. She asked if the Commission wants to be the entity to process variances and appeals or recommend to the Board of Selectmen that they change it to someone else? Commissioner Chapin commented it should go back to the Board of Selectmen based on the fact if an engineer is involved, the Commission has no authority and this does not belong with Inland Wetlands. Commissioner Obert commented on access to an engineer if the need arose and how other towns obtain resources for an engineer. Commissioner O'Neil asked what percentage of the land mass is in the flood zone, how many of the town's 27 square miles is in the FEMA flood plain, flood hazards in Zone A and B, how many structures are in the flood zone, how many federally guaranteed insured loans are there in Thompson, and are there any plans to go into those areas? Commissioner O'Neil gave a brief description of the economic reality of insurance coverage costs. Marla will follow up on these questions with Diane Ifkovic, DEEP's NFIP Flood Plain Coordinator. Commissioner Obert commented that discussions have taken place on the applicant paying any charges or fees associated with their application. He stated that our concern would be new construction or modification of existing or current construction. He feels we should be involved as much as possible. Marla will post the link for the new digital maps and instructions on the IWC web page. She will also make sure the requirements of the ordinance are included in the regulations she is updating so any entity that is coming in is going to have the same standard as what the ordinance has. Thompson will be suspended from NFIP if these maps and regulations are not adopted by the town by September 7, 2023. Diane Ifkovic, FEMA, noted she needs to update the FEMA database by September 7, 2023 in order for Thompson to remain in the NFIP and not get suspended. More information is needed and Marla will contact other towns to see what they are doing and pass this information along so the Board of Selectmen can make an informed decision on the language changes before it goes before a Town Meeting. Marla will report back at the next meeting.

b) North Grosvenordale Pond Dam Status/Concerns

Marla discussed the North Grosvenordale Pond Dam. On 5/31/23 a team meeting was held with the DEEP, staff, the dam owners engineering firm, the Town Planner and Marla to discuss this high hazard dam, its unsafe condition, and a plan on how to put it back in safe condition. Aerial maps were shown of the areas that would be affected if the dam breached. Marla presented this information so the Commissioners could be aware of what could happen and why it is important to restore this dam to a safe condition. Marla suggested holding coordination meetings between land use departments so staff could talk about things that are coming before the Commissions. No further action is required by Commissioners at this time. Commissioner Obert stated he would like to see the dam restored to a safe condition.

I) Citizen's Comments - None

J) Reports

a) Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2022 to May 31, 2023 is \$3,652.47 and the IWC has expended 86.7% of the budget.

b) Wetlands Agent Report

Update – Working on IWC Regulations, No progress in pre 1990 file destruction. 128 Elmwood Hill Road Zoning Variance 23-03 for 2 lot subdivision – Marla met with property owner Scott Santerre regarding wetlands on his property and advised him to have a qualified soil scientist inspect the property and give him an idea of where wetlands, if any, were located and what development options existed. She also mailed him a copy of her memo to the PZC.

Inspections/Followup Actions – Complaint 23-01, 10 Stawski Road – On May 16, 2023, Marla inspected the shoulder of Pasay Road and found the grading of the shoulder area was done as agreed upon during the May 1, 2023 site meeting with Public Works Director Joe Tkacik and property owner Robert Kipacz. The complaint file is closed. Complaint 23-03, 181 Linehouse Road – following a complaint of earthmoving by a neighbor, Marla met with property owner Carol Mead and inspected the northern portions of her property that abuts 193 Linehouse Road. She did not find any earthmoving activities but did find that Ms. Mead had used a tractor to clear an undergrowth of vines, small shrubs and fallen branches. The area had already been seeded. No violation found. Complaint closed. 23 Lapiere Road – In October 2022, a building permit was applied for a detached garage and upon review Marla requested a locus map for the garage, given delineated wetlands had been mapped on the property. She requested the building permit application be placed on hold pending receipt of a locus map for the garage. Marla inspected the site on May 1, 2023 and found the garage had already been built and was located within 100 feet of the delineated wetlands. She informed the property owner of her inspection by letter on May 23, 2023 stating she would not sign off on the building permit application until an after-the-fact Wetlands Agent Approval was issued for the garage and associated earthmoving work. A copy was sent to the builder/building permit applicant, HJK Renovations of Brooklyn, the Building Official, the ZEO and the Tax Assessor. Today I spoke to Karl Kuhn of HJK Renovations, and he agreed to meet with Marla on June 20th with the intent to file the required application.

Building Permits – 5 Building Permits were reviewed.

Miscellaneous – MS4 Stormwater Mapping on Chase Road – On May 16, 2023 while discussing a drainage concern with homeowner Denise Rondeau at 81 Chase Road, Marla was told by Ms. Rondeau that there was a catch basin in front of 81 Chase Road. Because this catch basin is not shown in the MS4 storm drain system mapping, Marla sent a request to Public Works and J&D

Civil Engineers, LLC, the firm hired to do the MS4 mapping, to investigate possible addition to the system mapping.

Purchase Requisitions – What's Legally Required Book, and Legal Notices.

Commissioner Obert made a motion to authorize Marla to order four copies of the book "What's Legally Required". Commissioner O'Neil seconded the motion. The motion was unanimously **APPROVED**.

K) Correspondence

- a) Flood Risk Open House Flier for wanting information on new flood maps for Thompson and FEMA flood insurance

L) Signing of Mylars

- a) "Hillside Town Homes prepared for Lavallee Construction, LLC, Riverside Drive and Azud Road, Thompson, Connecticut" prepared by J&D Civil Engineers dated January 31, 2023, (Sheets 1, 2, 4, 6, 7, 8, and 10, revised 5/1/23, Sheet 5 revised 3/28/23 and Sheet 11 revised 3/2/23). Approved by Wetlands Permit IWA32002. Marla reported she reviewed the plan and found all sheets of IWA23002 have been revised as required by IWC decision last month. Commissioner O'Neil will sign the Mylar.

M) Comments by Commissioners

Commissioner Obert referred to the Conservation Commission's recommendations on Reardon Road and asked for the origins/history of the well in the conservation easement. Marla suggested he email Daniel Blanchette at J&D Civil Engineering to request this information. Commissioner Chapin expressed concern over the poor state of the North Grosvenordale Pond Dam and suggested going to WINY with this issue. Commissioner O'Neal thanked everyone for their hard work and noted the progress the Commission has made in a number of areas, which is a plus.

N) Adjournment

Commissioner Obert made a motion to adjourn the meeting. The motion was seconded by Commissioner O'Neil. The motion was unanimously **APPROVED**. The meeting adjourned at 9:32 PM.

To see/hear the entire meeting via ZOOM, copy and paste the following link into your search bar:

[illegible]

Passcode: d71q6f&Z

Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.

Respectfully submitted, Gloria Harvey, Recording Secretary,

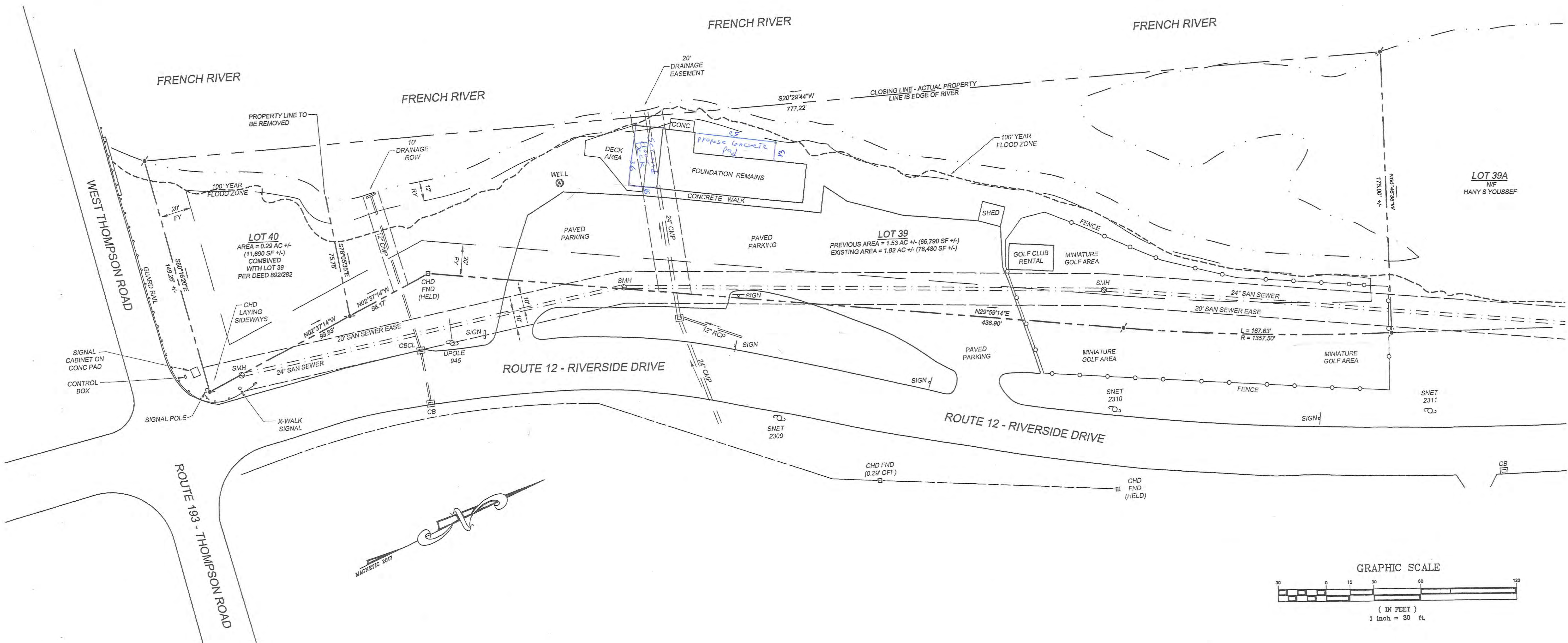
Gloria Harvey

Agenda Item D)

Citizens Comments on Agenda Items

Agenda Item E) a) 1. Old Applications

WAA23001, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks: a 50' x 13' over proposed concrete slab and an 18' x 36' along entire width of the south side of the building, approval pending.



NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996.

SURVEY TYPE: BOUNDARY SURVEY

PURPOSE: TO SHOW THE COMBINATION OF LOTS 39 AND 40, PER DEED 892/282 IN THE THOMPSON LAND RECORDS.

BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY LOT 39, FIRST SURVEY OF LOT 40.

HORIZONTAL ACCURACY: A-2

2. REFERENCE PLANS:

(A) "SITE DEVELOPMENT PLAN PREPARED FOR NORTHEAST AUTOBODY, INCORPORATED OWNER CHARLES E. PAQUETTE" BY ALBERT L. FITZBACK, LLS, SEPTEMBER 12, 1991 ON FILE AS MAP 1196 IN THE THOMPSON LAND RECORDS

(B) CT HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON NUMBER 141-01, SHEETS 1 AND 2 OF 5

(C) SITE DEVELOPMENT PLAN PREPARED FOR CHARLES PAQUETTE, CONNECTICUT ROUTE 12, THOMPSON CT, PREPARED BY MESSIER AND ASSOCIATES, INC. DATED 11/88, REVISED 10/30/91, ON FILE AS MAP 1431 IN THE THOMPSON LAND RECORDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

3. SEWER EASEMENT IN FAVOR OF THE TOWN OF THOMPSON, RECORDED IN 243/308 IN THE THOMPSON LAND RECORDS

4. 10' DRAINAGE RIGHT OF WAY IN FAVOR OF THE STATE OF CONNECTICUT PER REF. MAP B.

5. 20' DRAINAGE EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT PER REF. MAP A.

Dennis R. Blanchette 1/13/2017
DENNIS R. BLANCHETTE / DATE LICENSE
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE

BEARING SYSTEM NOTES

PREVIOUS SURVEYS USED A MAGNETIC BEARING SYSTEM THAT APPEARS TO BE APPROXIMATELY 73 DEGREES OFF FROM MAGNETIC NORTH. THIS SURVEY USES A RECENT MAGNETIC BEARING.

100 YEAR FLOOD ZONE PER FEMA MAP 0012B, ELEVATION VARIES FROM 310.5 TO 311.

ZONING INFORMATION:

ZONE: COMM
MINIMUM LOT AREA: 15,000 SF
MINIMUM FRONTAGE 75'
MINIMUM FRONT YARD: 20'
MINIMUM SIDE YARD: 12'
MINIMUM REAR YARD: 12'

PROPERTY OWNER
HANY S AND SALAMA
YOUSSEF

REFERENCE DEED
THOMPSON LAND RECORDS
VOL 883 PG 15
VOL 892 PG 282

ASSESSORS REFERENCE
MAP 87 BLOCK 95 LOT 39
MAP 87 BLOCK 95 LOT 40

LEGEND

	MONUMENT
	ANGLE POINT
	PROPERTY LINE
	EASEMENT LINE
	BUILDING SETBACK
	EDGE OF WATER
	EDGE OF WETLANDS
	GUARD RAIL
	UTILITIES
	EXISTING DRAINAGE
	EXISTING SEWER

Received

JAN 19 2023

Thompson Wetlands Office

App # 00A023001

PROPERTY SURVEY

PREPARED FOR
HANY YOUSSEF

274 RIVERSIDE DR
N. GROSVENORDALE, CT

J&D CIVIL
ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DDB
CHECKED: DRB

REVISIONS:

JOB NO: 15146

SCALE: 1" = 30'

DATE: OCTOBER 26, 2017

SHEET: 1 OF 1

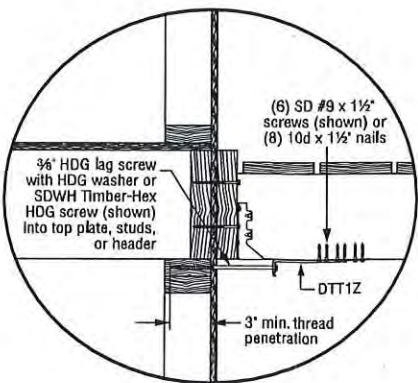


THIS MAP PRODUCED BY
COMPUTER DRAWING
SOFTWARE ON A LINE
AND CIVIL ENGINEERS
AND ENGINEERS
REGISTERED IN THE
STATE OF CONNECTICUT

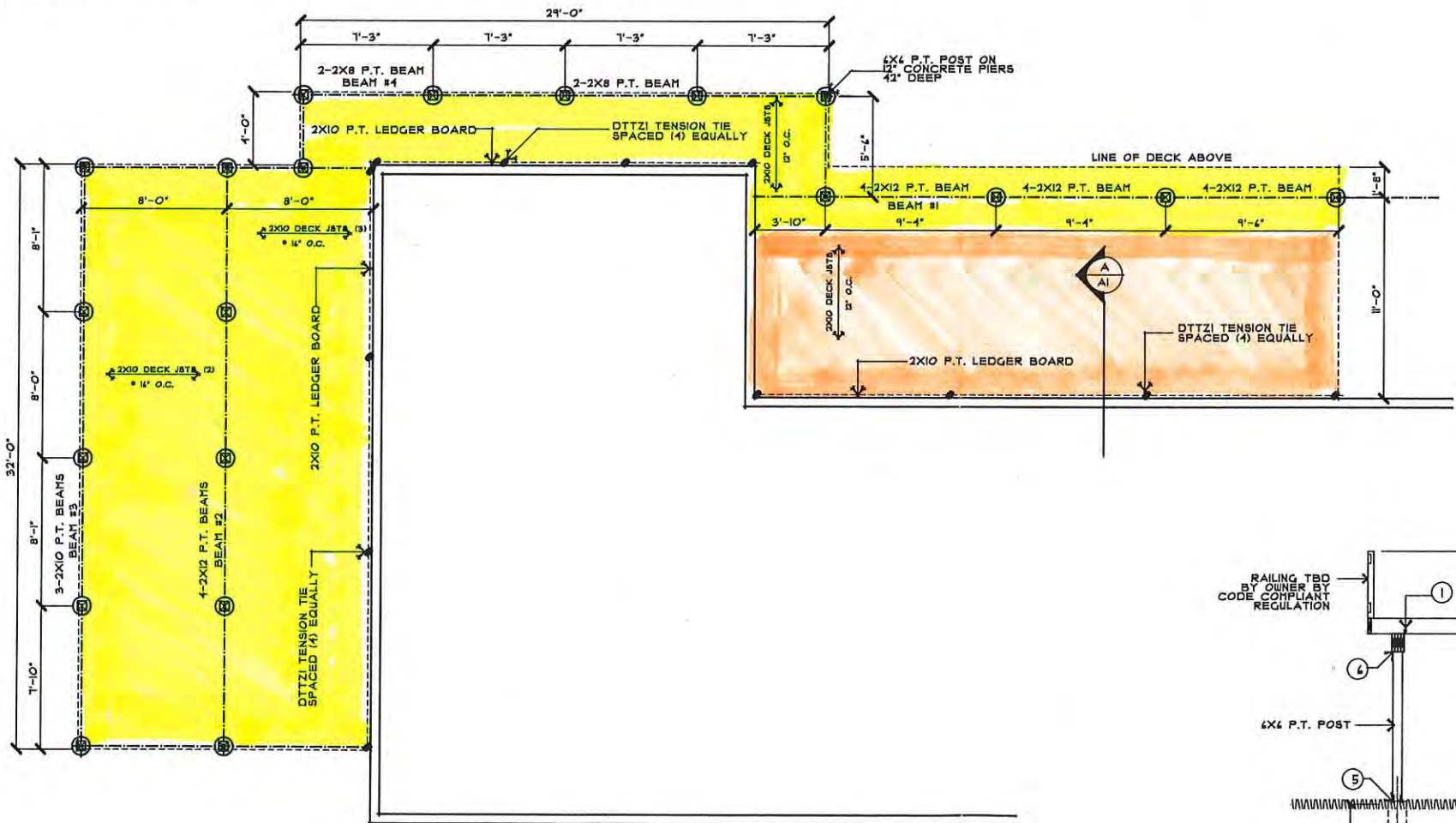
Doc # 1747
10/03/2018 02:21:28 PM
1 Pages
SURVEY MAP # 1747
Renee Waldron Town Clerk

Governing Building Codes

- All construction shall comply with the: 2021 International Residential Code
- All framing lumber shall be Douglas fir of the following grades:
2x4 studs - standard or better
Joists/Beams/2x6 studs - no.2 or better
#2 D.F. base-value FB 875
E=1,600,000
 - Approved naturally durable or pressure-preservatively treated wood shall be used for those portions of wood members that form the structural supports of building balconies, porches or similar permanent building appendages when such members are exposed to the weather without adequate protection from a roof, eave overhang or other covering that would prevent moisture or water accumulation on the surface or at joints between members such member shall include:
A. Horizontal members such as girders, joists, and decking
B. Vertical members such as posts, poles and columns
C. Both horizontal and vertical members
 - All nails shall be hot-dipped galv. where exposed to weather.
 - Double joists under all partitions.
 - There shall be no nailing into end grain and connectors shall be made $\frac{3}{16}$ C.A. galv. mtl. connectors, joist hangers, Etc..
 - All footing to rest on undisturbed soil of min. 2500 PSF bearing capacity.
 - All fill to be compacted in layers of not more than 8".
 - Compact to 95% optimum.
 - All concrete to be min. 3000 P.S.I. @ 28 days except as noted
 - All parts of foundation walls below grade but above the level of the lower floor shall be damp-proofed on the outside $\frac{3}{16}$ " at least one layer coat of asphalt paint.
 - Design Live Loads
- | | |
|-----------------------|---------|
| Living Area Loads | 40 PSF |
| Sleeping Area Load | 30 PSF |
| Roof Load | 35 PSF |
| Deck Load | 100 PSF |
| Exterior Balcony Load | 100 PSF |



A DECK DETAIL
NOT TO SCALE



DECK PLAN

SCALE: 1/4" = 1'-0"

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

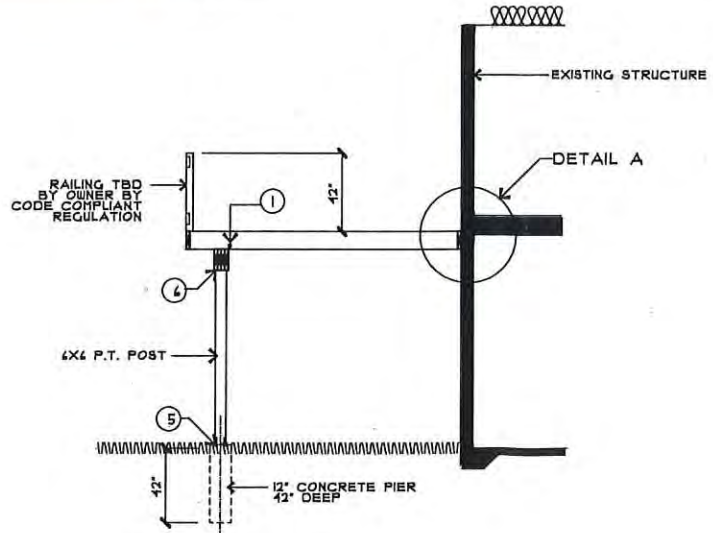
GROUND SURFACE LOAD	WIND DESIGN	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	PROTECTIVE SURFACING	TEMPERATURE	ICE AND FLOOD DAMAGE	ICE DAMAGE	ICE DAMAGE	ICE DAMAGE	ICE DAMAGE	ICE DAMAGE
10 psf	125	B	SEVERE	42" DEPTH	MODERATE TO HEAVY	1 DEG F	YES	TBD LOCALLY	5000 LESS	50 DEG F	5A

Concrete Pad for Refrigeration units
Pea Stone

METAL TIE DOWN SCHEDULE

1	SIMPSON H2EA HURRICANE TIE AT EACH RAFTER UNLESS OTHERWISE NOTED
2	SIMPSON LUB28 JOIST HANGER AT ALL SINGLE JOIST
3	SIMPSON LUB28-2 JOIST HANGER TYPICAL AT ALL DOUBLE JOIST
4	SIMPSON A35 CLIP AT EACH RAFTER
5	SIMPSON ABU4 POST BASE AT POST
6	SIMPSON AC4 POST CAP TYP AT BASE
7	SIMPSON ACE4100 CORNER POST CAP
8	SIMPSON HDU4-60825 HOLDOWNS
9	SIMPSON DTTZI TENSION TIEDOWN

Received
JUL 05 2023
Thompson Wetlands Office



A CROSS SECTION

SCALE: 1/4" = 1'-0"

YOUNG DESIGNS
UNLIMITED LLC
RESIDENTIAL DESIGN / SPACE DESIGN

P.O. BOX 11
SCOTLAND, CONNECTICUT 06234-0011
CELL: (860) 708-3501

NOTE: THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES TO BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE SOLE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

STATE OF CONNECTICUT
JON B. DEW
No. 9885
LICENSED PROFESSIONAL ENGINEER

DECK
DESIGN

DATE: JUNE 1, 2023
SCALE: AS NOTED
DRAWN BY: B. YOUNG
DATA REF: 8785
REVISIONS: _____ DATE: _____

Proposed Deck
at
274 Riverside Drive
North Grosvenordale, CT

DECK	1033 SQ.FT.
TOTAL	1033 SQ.FT.
SHEET NO.	AI

Revised Plans WAA23001

Agenda Item E) a) 2. New Applications

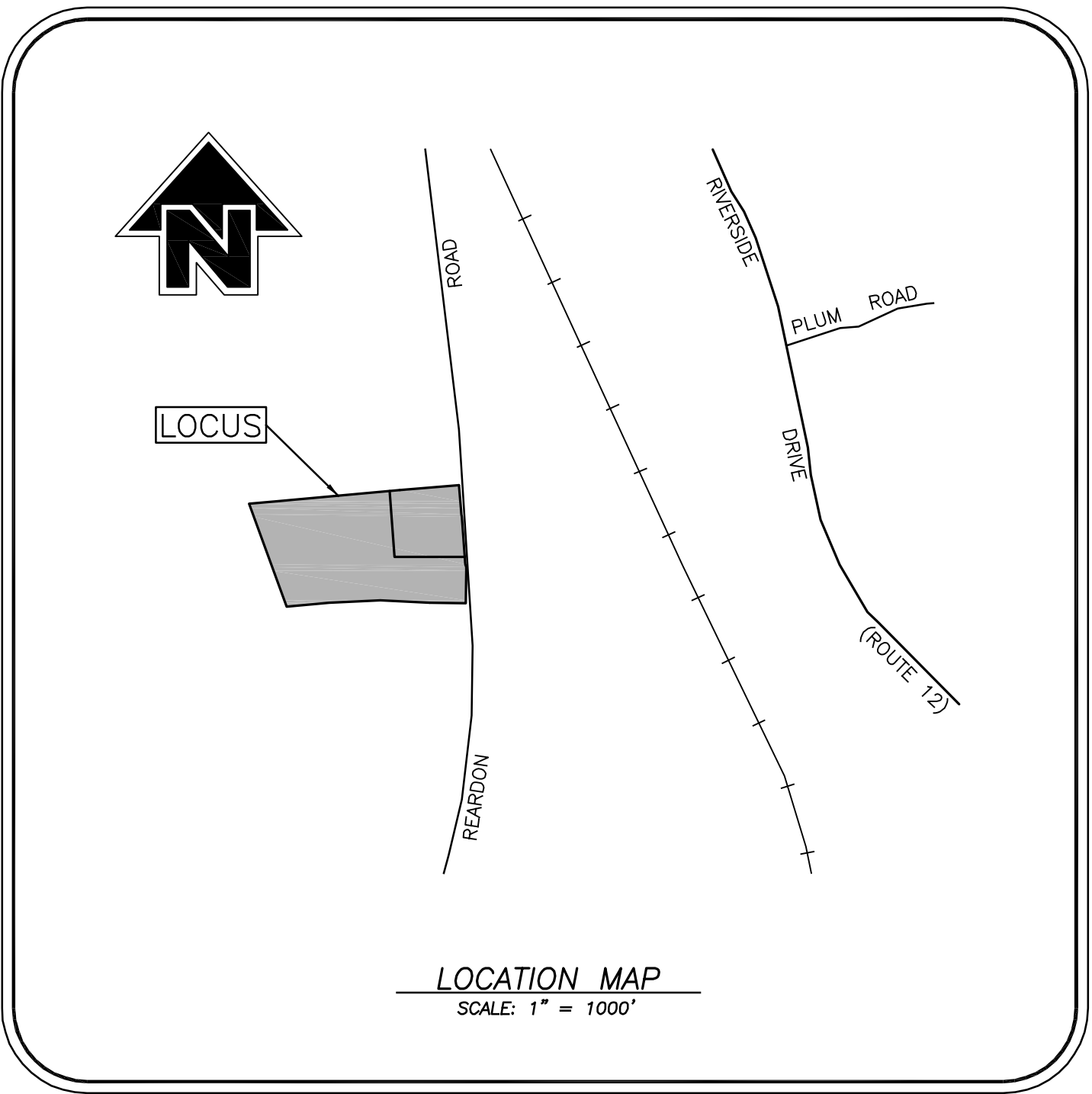
IWA23010, Thompson Business Park LLC, 0 & 0 Reardon Road, (Assessor's Map 65, block 100, lot 40 & 40G), self-storage facilities with grading and stormwater discharges in 100-foot upland review area, stamped received 5/2/23, to be statutorily received 5/9/23.

PROPOSED SELF STORAGE FACILITY

REARDON ROAD
THOMPSON, CONNECTICUT

PREPARED FOR:
THOMPSON BUSINESS PARK, LLC

LEGEND	
○	IRON PIN FOUND
●	IRON PIN TO BE SET
+	SIGN
⊗	UTILITY POLE
⊙	PERCOLATION TEST HOLE
⊠	TEST HOLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	INLAND WETLANDS FLAG
---	STONE WALL



INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
PROPERTY SURVEY	2 OF 7
PHASE 1 GRADING PLAN	3 OF 7
OVERALL GRADING PLAN	4 OF 7
SEPTIC SYSTEM DESIGN PLAN	5 OF 7
LAYOUT & LIGHTING PLAN	6 OF 7
DETAIL SHEET	7 OF 7

CONSTRUCTION NOTES

- All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 817", and supplements thereto.
- In the event that ground water or evidence thereof is encountered, sufficient dewatering equipment, shall be installed and maintained to accommodate same.
- All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
- All reinforced concrete storm drainage pipes shall have gasketed rubber joints.
- All disturbed areas not scheduled for pavement, walks, etc. shall be permanently established as turf.
- The location of existing utilities is shown for informational purposes only. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.

**BEFORE YOU DIG
CALL BEFORE YOU DIG**
AT LEAST TWO FULL BUSINESS DAYS
BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION
6/12/2023	PHASING PLAN & SEQUENCE
6/26/2023	PER IWWC & NDDH



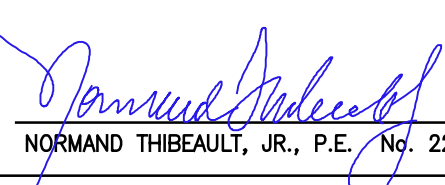
Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

March 2023

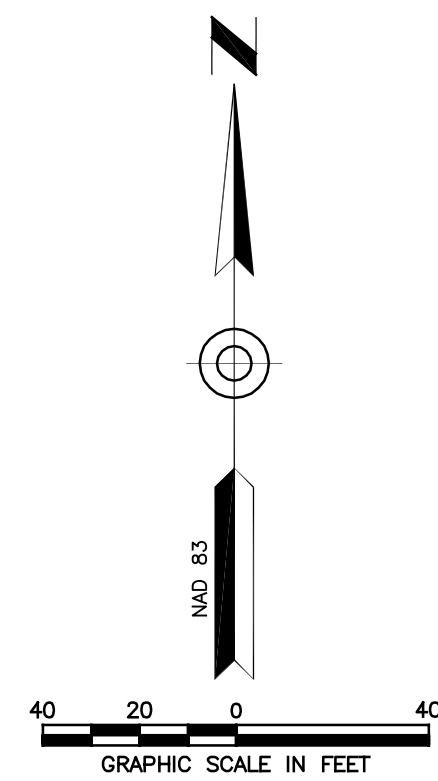
APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN _____ DATE _____




NORMAND THIBAUT, JR., P.E. No. 22834 DATE 6/26/2023

K:\22062\Drawings\2022-SELF STORAGE SURVEY.dwg Jul 10, 2023 - 2:28 PM



n/f
United States of America

n/f
Thompson Business Park, LLC
Map 65, Block 100, Lot 40H

MAP 65, BLOCK 100, LOT 40
8.035 Acres
(349,990 Sq. Feet)

PARCELS TO BE MERGED INTO ONE
CONTIGUOUS UNDIVIDED PARCEL
PROPOSED AREA = 10.748 ACRES
(468,173 Sq. Feet)

MAP 65, BLOCK 100, LOT 40G
2.713 Acres
(118,183 Sq. Feet)

n/f
Ryan P. Zablocki
&
Megan P. Shead
Map 65, Block 100, Lot 40D

LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- ⊗ UTILITY POLE
- EXISTING CONTOURS
- INLAND WETLANDS FLAG
- STONE WALL

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN

DATE

NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Survey Type: Property Survey.
 - Boundary Determination Category: Resurvey

2. Zone = BDD (Business Development District).

3. Owner of record: Thompson Business Park, LLC.
101 Mackin Drive, Griswold, CT 06351
See Volume 1022, Page 71

4. Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map # 090117 Panel 0012B Effective Date: 11/01/1984.

5. Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 8/02/2022.

6. The intent of this map is to show the consolidation of Lot 40G into one contiguous undivided parcel.

MAP REFERENCE:

- "Subdivision Plan - Prepared for - Thompson Rail Park, LLC - Thompson, Connecticut - Scale: 1" = 100' - Date: 3/25/2008 - Sheet 1 of 6 - Prepared by: KWP Associates".

DATE	DESCRIPTION

PROPERTY SURVEY
SHOWING PARCEL MERGER
PREPARED FOR

**THOMPSON
BUSINESS PARK, LLC**

REARDON ROAD
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying



114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 03/10/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: ---
SHEET: 2 OF 7	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 22062



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON.

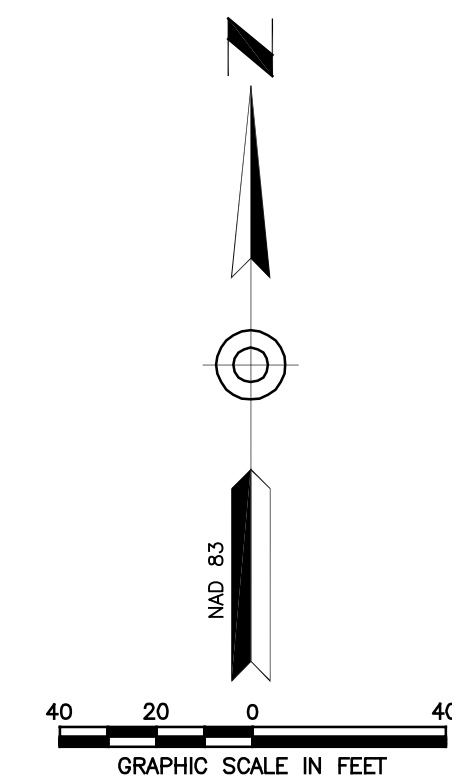
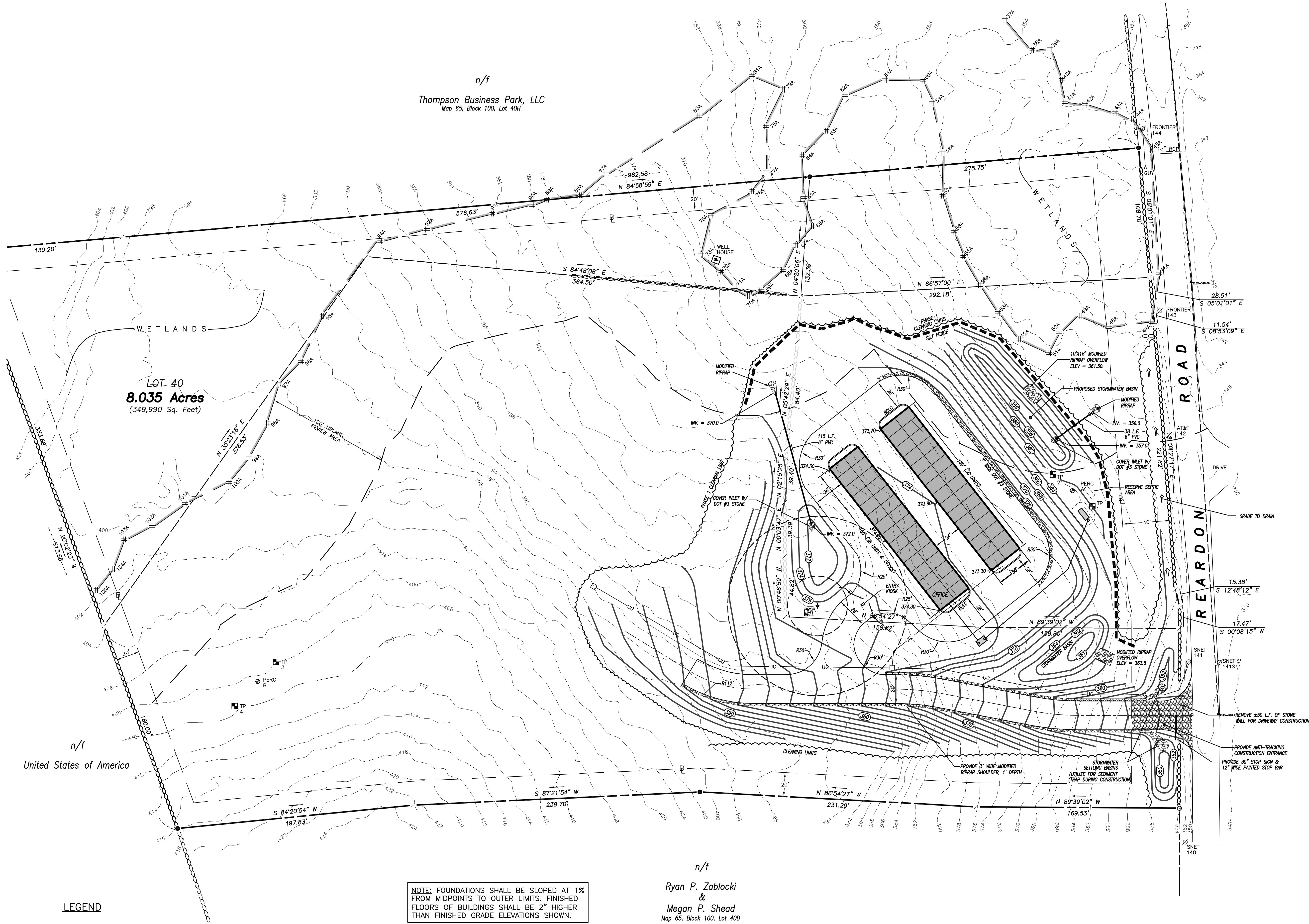
GREG A. GLAUDE, L.S.

LIC. NO. 70191

DATE 6/26/2023

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

K:\22062\Drawings\2022-SELF STORAGE PHASE 1.dwg Jul 10, 2023 - 2:27 PM



LEGEND

- IRON PIN TO BE SET
- IRON PIN FOUND
- ⊙ UTILITY POLE
- ⊙ PERCOLATION TEST HOLE
- ⊙ TEST HOLE
- 100 --- EXISTING CONTOURS
- 100 --- PROPOSED CONTOURS
- INLAND WETLANDS FLAG
- BUILDING SETBACK LINE
- STONE WALL
- SILT FENCE

NOTE: FOUNDATIONS SHALL BE SLOPED AT 1% FROM MIDPOINTS TO OUTER LIMITS. FINISHED FLOORS OF BUILDINGS SHALL BE 2" HIGHER THAN FINISHED GRADE ELEVATIONS SHOWN.

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN _____ DATE _____

n/f
Ryan P. Zablocki
&
Megan P. Shead
Map 65, Block 100, Lot 400



Norman E. Thibault, Jr.
NORMAN E. THIBAUT, JR., P.E.
LIC #PEN 0022834
DATE 5/22/2023

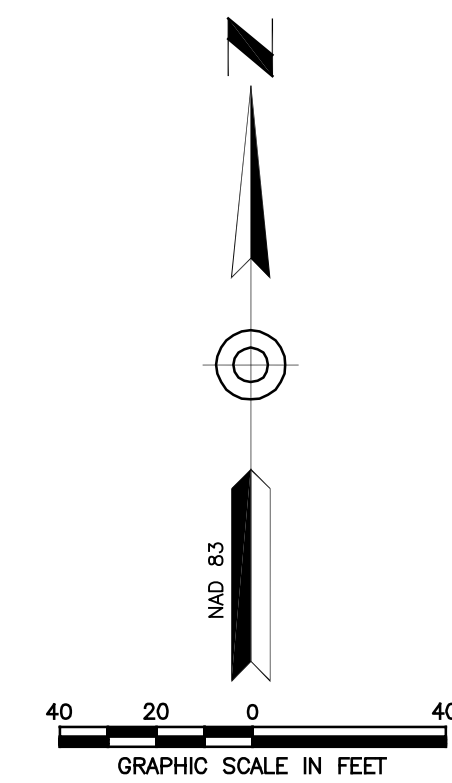
06/26/2023	PER INWC & NDDH
DATE	DESCRIPTION
	REVISIONS

PHASE 1 GRADING PLAN
PREPARED FOR
**THOMPSON
BUSINESS PARK, LLC**

REARDON ROAD
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 03/10/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 3 OF 7	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 22062



FINAL GRADING PLAN
PREPARED FOR
**THOMPSON
BUSINESS PARK, LLC**






REARDON ROAD
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying

114 Westcott Road
 P.O. Box 421
 Killingly, Connecticut 06241
 (860) 779-7299
www.killinglyengineering.com

DATE: 03/10/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 4 OF 7	CHK BY: ---
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●	IRON PIN TO BE SET
○	IRON PIN FOUND
∅	UTILITY POLE
⦿	PERCOLATION TEST HOLE
■	TEST HOLE
---100---	EXISTING CONTOURS
	PROPOSED CONTOURS
	INLAND WETLANDS FLAG
	BUILDING SETBACK LINE
	STONE WALL
	SILT FENCE


NOTE: FOUNDATIONS SHALL BE SLOPED AT 1% FROM MIDPOINTS TO OUTER LIMITS. FINISHED FLOORS OF BUILDINGS SHALL BE 2" HIGHER THAN FINISHED GRADE ELEVATIONS SHOWN.

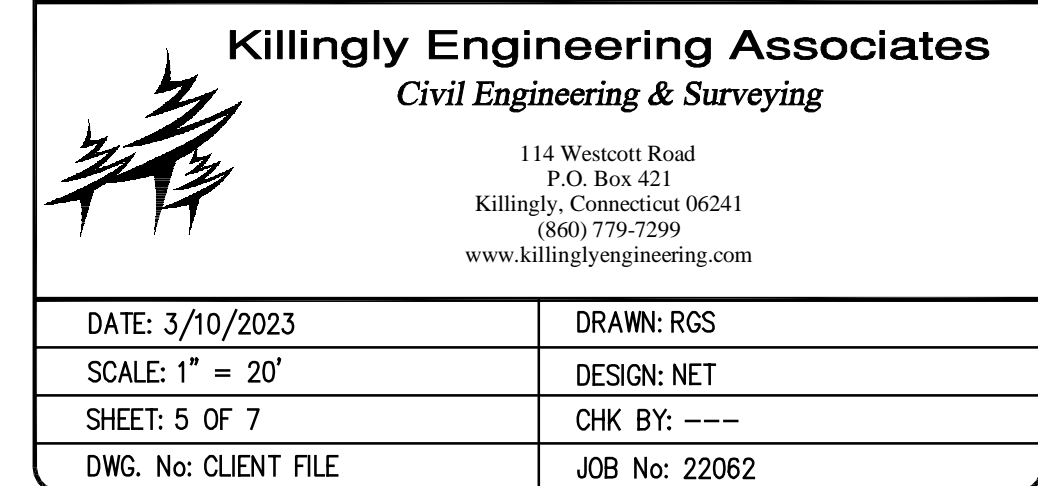
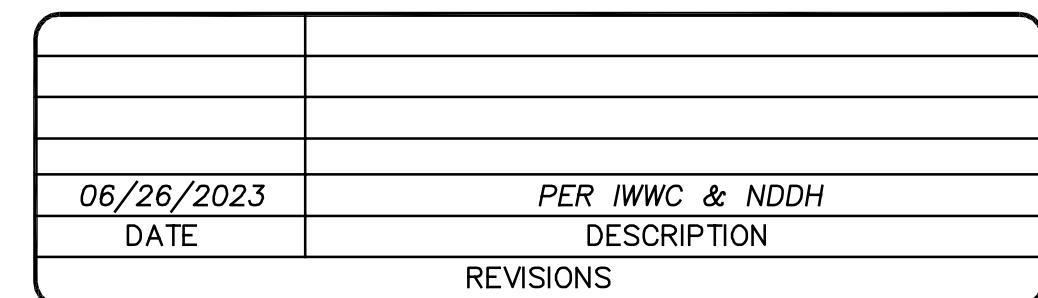
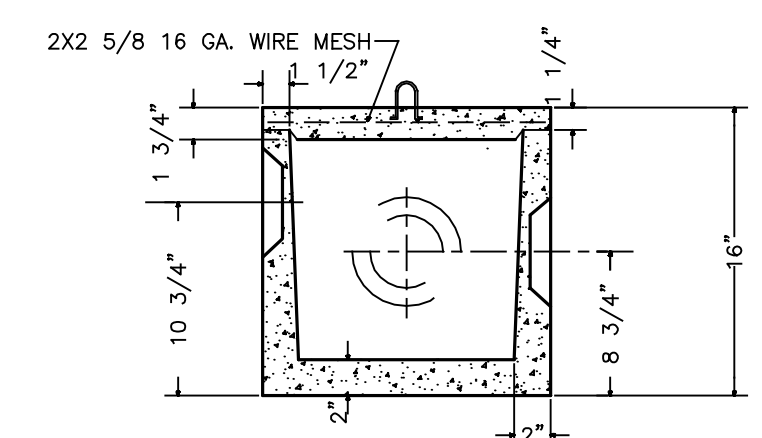
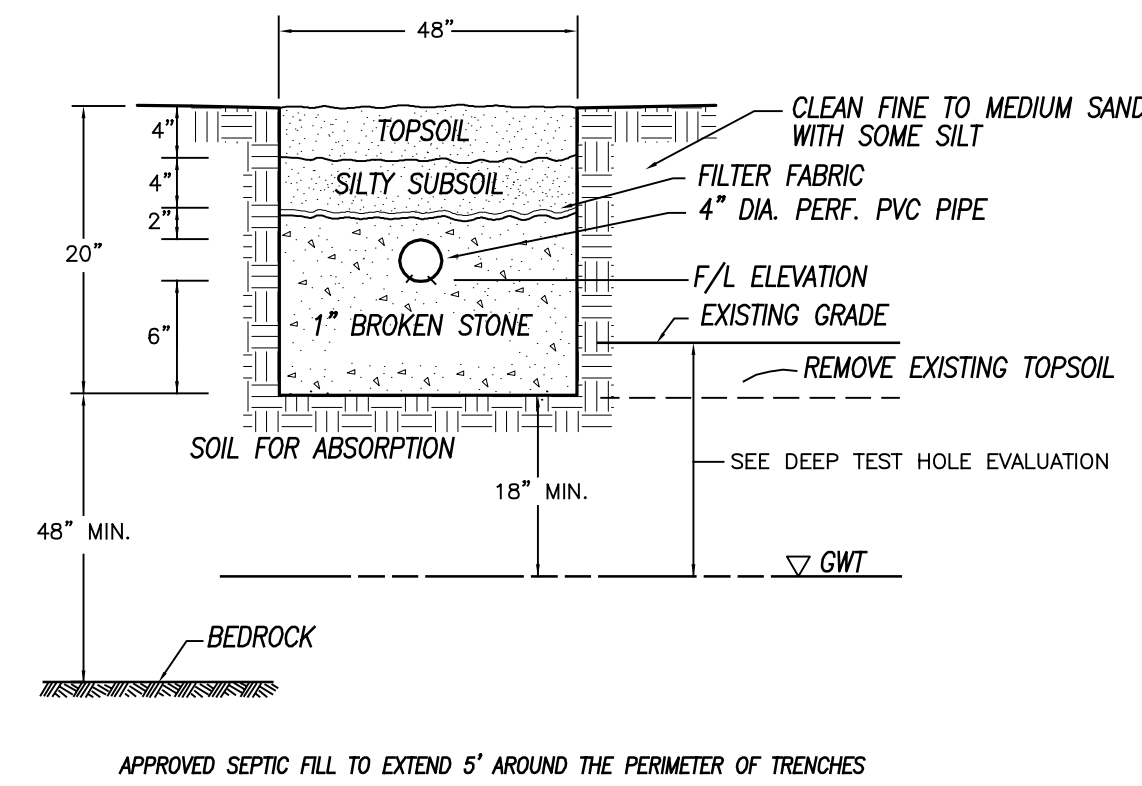
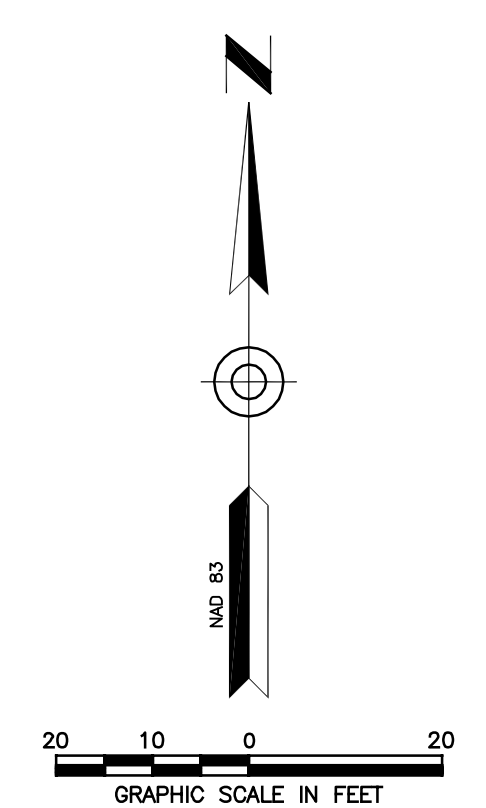
n/f
Ryan P. Zablocki
&
Megan P. Shead
Map 65, Block 100, Lot 40D

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN _____ DATE _____

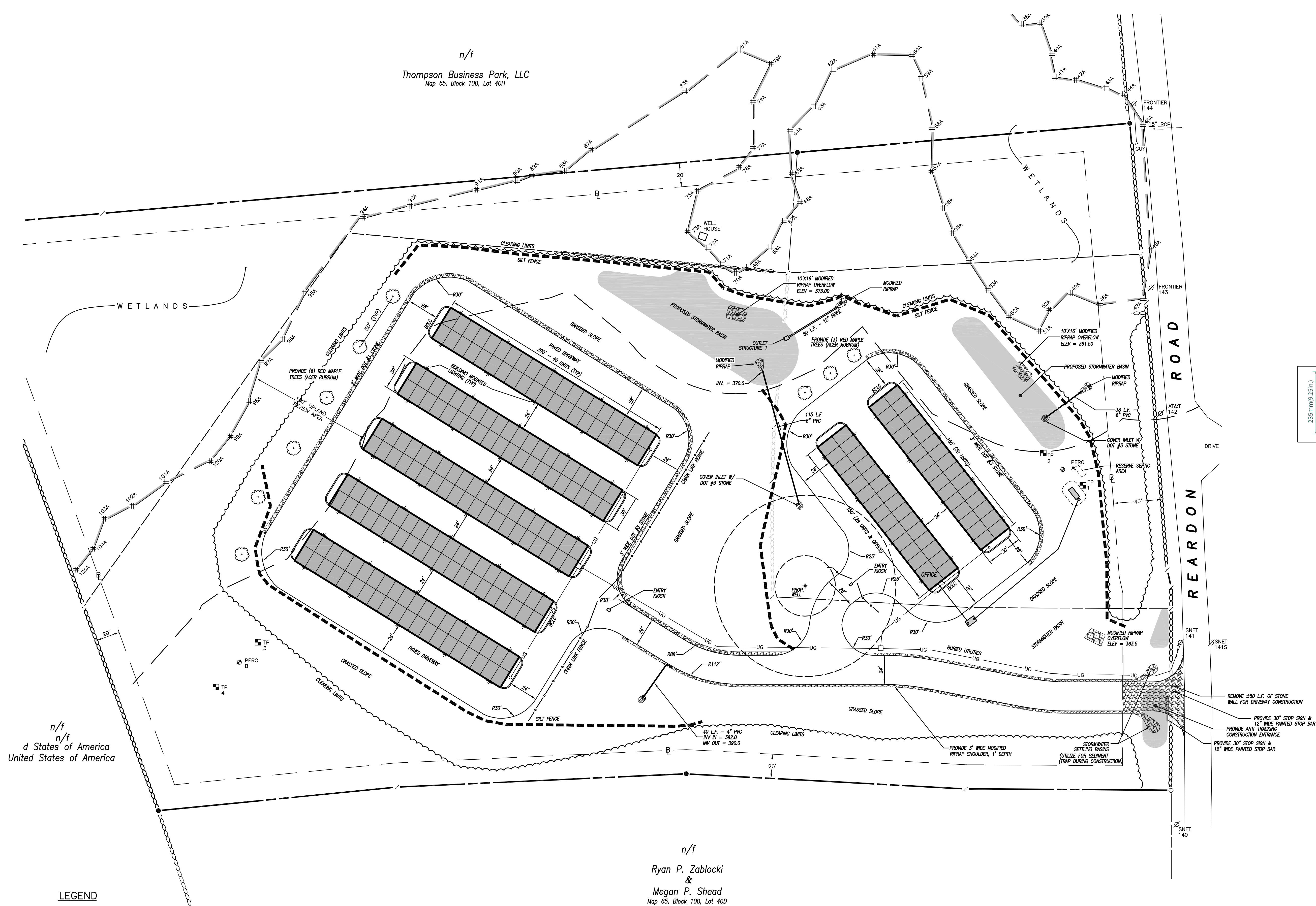


 6/26/2022
NORMAND E. THIBEAULT, JR., P.E. DATE
LIC #PEN 0022834



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EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

SEPTIC SYSTEM CONSTRUCTION NOTES

- The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
- Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 20%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of five feet (5') around the perimeter of the system. Common fill shall extend an additional five feet (5') down gradient of the system (10' total) before tapering off at a maximum slope of 2H:1V.

- Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
- Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
- All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.
- Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case have a slope less than 0.125 inches per foot.
- Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 or ASTM F1760 for SDR 35, or ASTM F810 for SDR 38.
- Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.
- Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.
- Septic sand shall meet the requirements of ASTM C-33 with less than 10% passing a 100 sieve and less than 5% passing a 200 sieve

SIEVE SIZE	% PASSING
0.375	100
#4	95-100
#8	80-100
#16	60-85
#30	25-60
#50	10-30
#100	<10
#200	<5

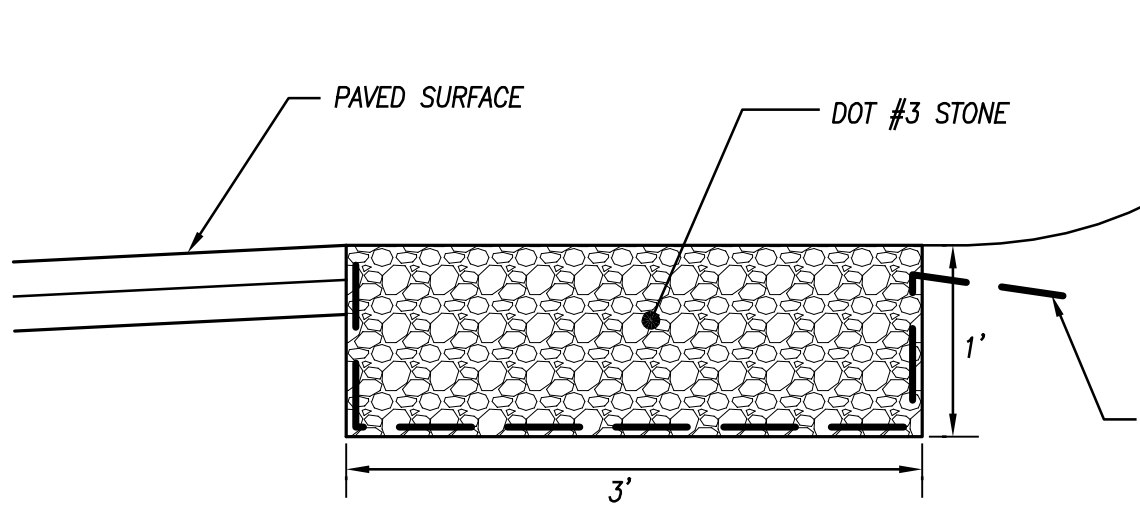
New England Erosion Control/Restoration Mix For Detention Basins

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation.

This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended.

APPLICATION RATE: 35 lbs/acre | 1250 sq ft/lb
PRICE: \$34.00/bulk pound
Minimum Order: 3 lbs

SPECIES: Virginia Wild Rye, (Elymus virginicus), Creeping Red Fescue, (Festuca rubra), Little Bluestem,(Schizachyrium scoparium), Big Bluestem, (Andropogon gerardii), Fox Sedge, (Carex vulpinoidea), Switch Grass, (Panicum virgatum), Rough Bentgrass, (Agrostis scabra), New England Aster, (Aster novae-angliae), Boneset, (Eupatorium perfoliatum), Grass Leaved Goldenrod, (Euthamia graminifolia), Green Bulrush, (Scirpus atrovirens), Blue Vervain, (Verbena hastata), Soft Rush, (Juncus effusus), Wool Grass, (Scirpus cyperinus).



DOT #3 STONE SHOULDER DETAIL

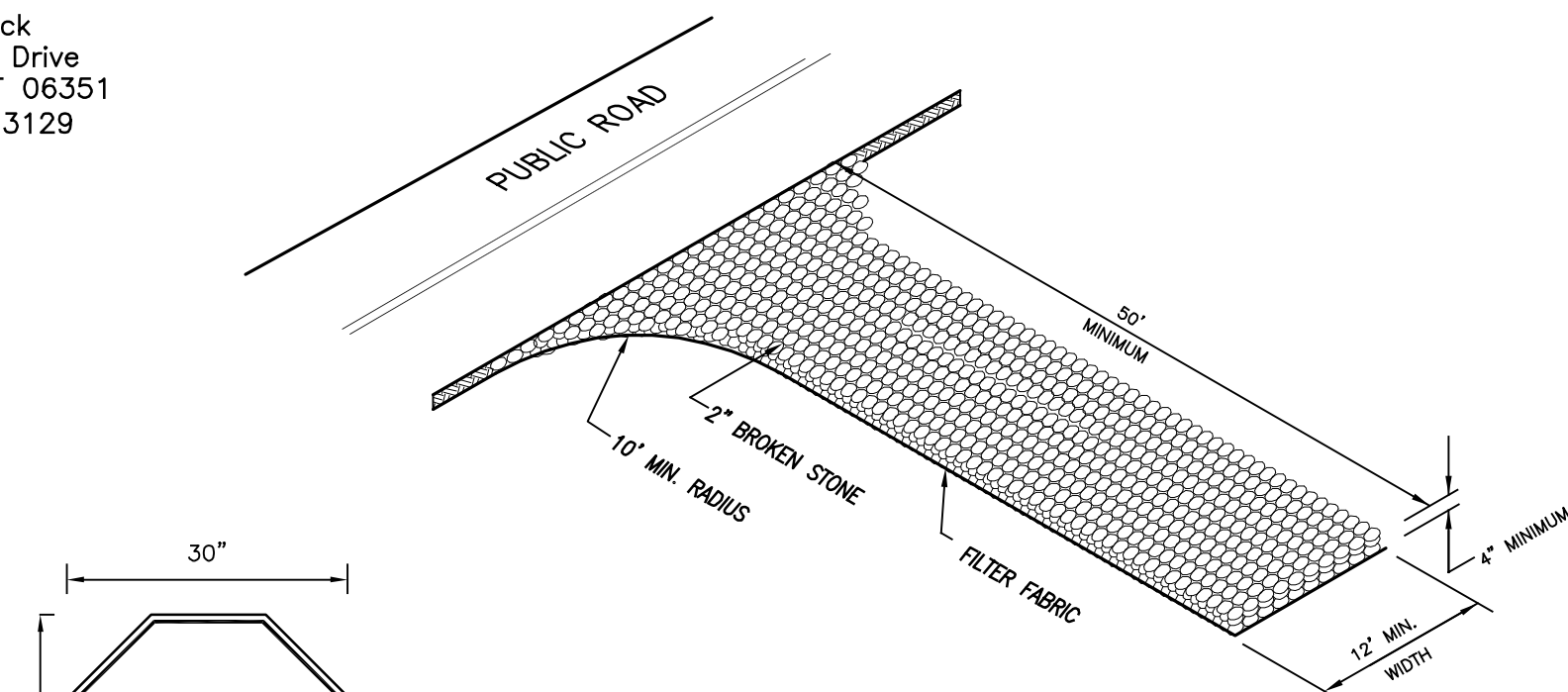
APPROVED BY THE TOWN OF THOMPSON INLAND WETLANDS & WATERCOURSES AGENCY	
CHAIRMAN	DATE

DEVELOPMENT SCHEDULE/SEQUENCE OF OPERATIONS:

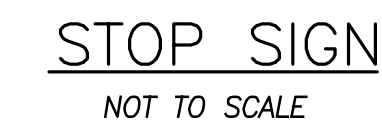
- Flag the limits of disturbance for phase 1 of the development and schedule pre-construction meeting with Town of Thompson wetlands Agent.
- Contact utility companies for scheduling installation of utilities and connections
- Install the anti-tracking construction entrance.
- Cut trees within the defined clearing limits and remove the cut wood.
- Install perimeter erosion and sedimentation controls in accordance with the site development plan.
- Chip brush and slash, stockpile chips for use on site or remove off site.
- Box out driveway and remove excess topsoil from the site. Install erosion controls around any stockpiles created and apply temporary seeding.
- Install and compact processed gravel for driveway base.
- Remove tree stumps and dispose of at an approved disposal site. Alternatively, stumps may be chipped in place. No stumps shall be buried on site.
- Strip and stockpile topsoil that is within the footprint of the site. Surround stockpile with silt fence or staked haybales, and apply temporary seeding in accordance with recommended mixtures. Divert runoff around the perimeter of the stockpile.
- Make all required cuts and fills including proposed stormwater basins. Establish the subgrade for the building pads as required and install additional erosion controls as necessary and as shown on the plans.
- Inspect perimeter erosion and sedimentation controls weekly and after rain events in excess of 0.5". Repair any damaged controls and provide additional erosion control devices as necessary to address areas of concentrated runoff that may develop as a result of the construction activities. The contractor shall review discharge conditions with the design engineer or the Town of Thompson prior to installing additional erosion controls. Apply water as necessary for dust control.
- Install utilities to edge of right-of-way.
- Prepare sub-base for driveway and remainder of the site for final grading.
- Excavate for building footings, stockpile soil and pour footings & slab. Begin construction of buildings.
- Install septic system and drill well.
- In conjunction with site grading, excavate for stormwater basins. Utilize basins for temporary sediment traps during construction. Install pipes and seal ends during construction; do not install outlet structures.
- Place topsoil where required and install any proposed grassed areas or landscaping upon completion of each building.
- Install first course of pavement to each building as they are completed.
- When the remainder of the site work is near completion, sweep all paved areas for the final course of paving. Inspect erosion controls and remove any accumulated sediment.
- Install final course of pavement upon the completion of the final structure.
- Fine grade, rake, seed and mulch to within 2' of the pavement.
- Clean any sediment that has accumulated in the sediment traps and apply seeding in areas where sediment has accumulated.
- Remove and dispose of all silt fence and hay bales after the site has been stabilized to the satisfaction of the Town of Thompson.
- Repeat sequence for Phase II except for installation of septic system and well.

RESPONSIBLE PARTY FOR E&S MAINTENANCE:

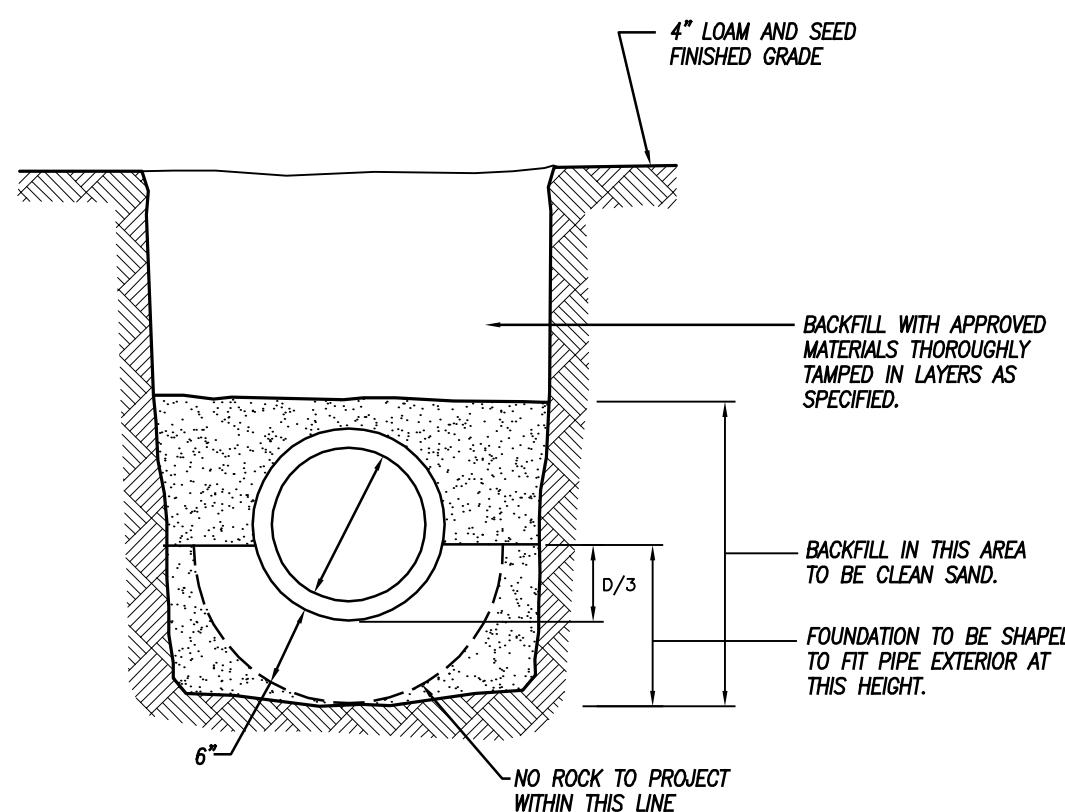
Shane Pollock
101 Mackin Drive
Griswold, CT 06351
(860) 888-3129



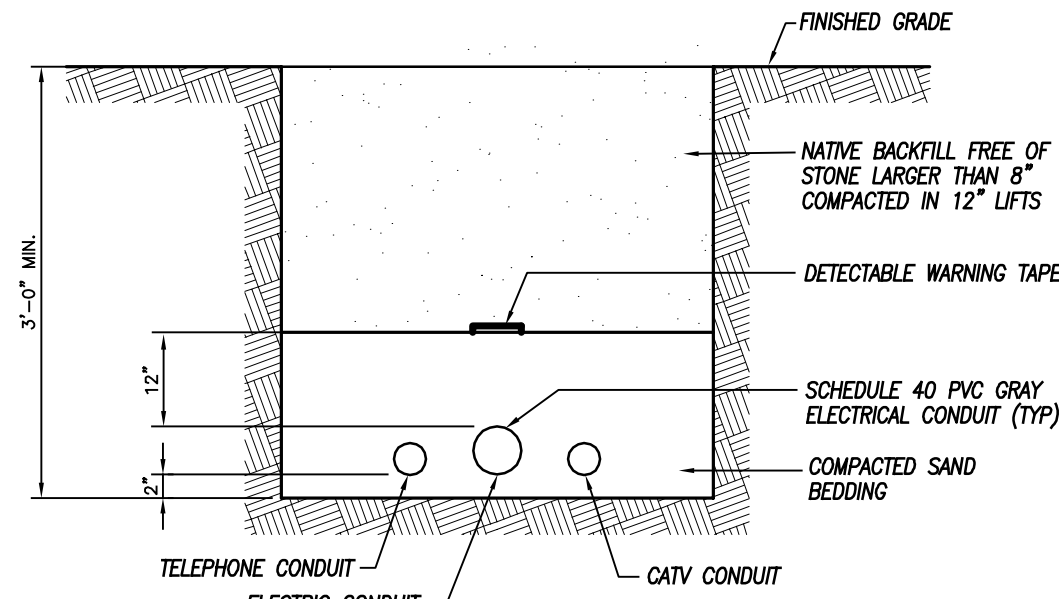
ANTI-TRACKING PAD



STOP SIGN

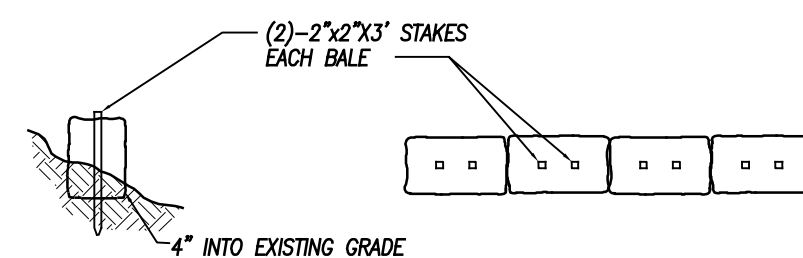


SANITARY SEWER / STORM DRAIN
PIPE IN TRENCH DETAIL



NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

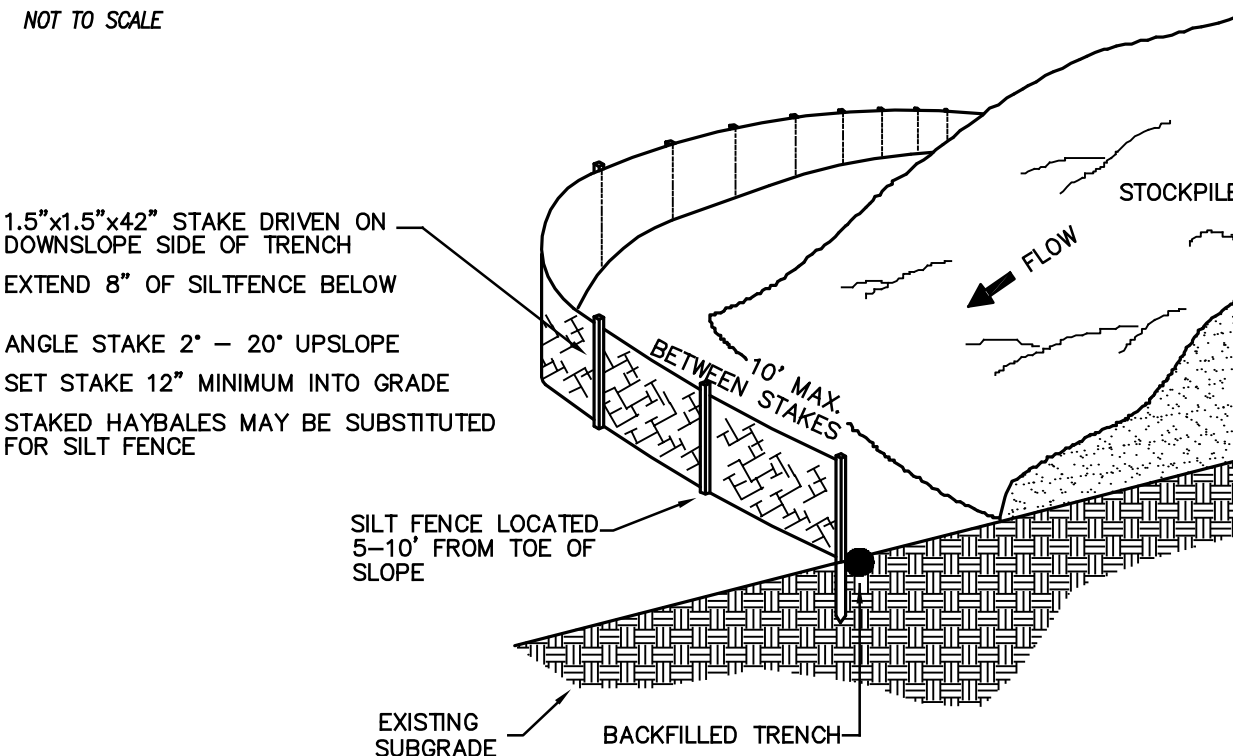
UNDERGROUND UTILITY TRENCH



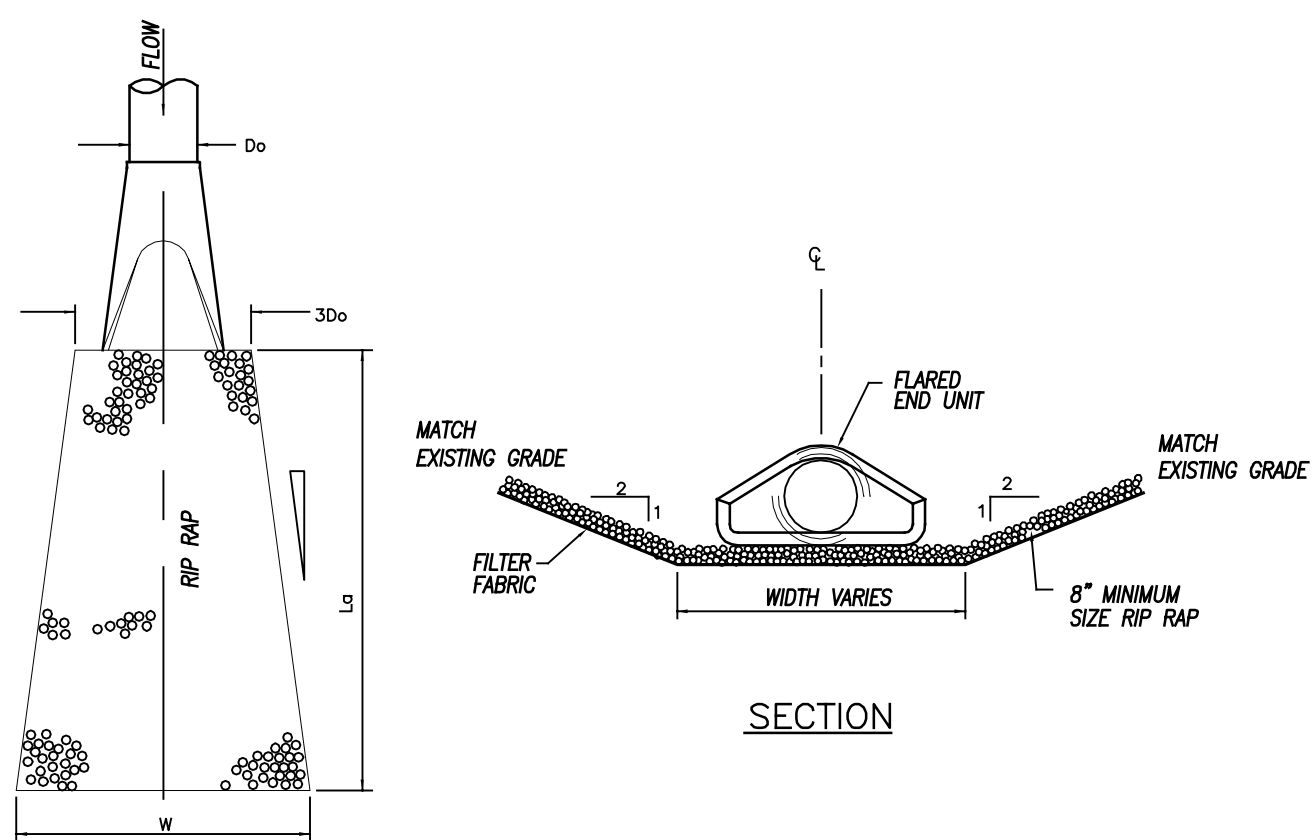
HAYBALE BARRIER

SILT FENCE

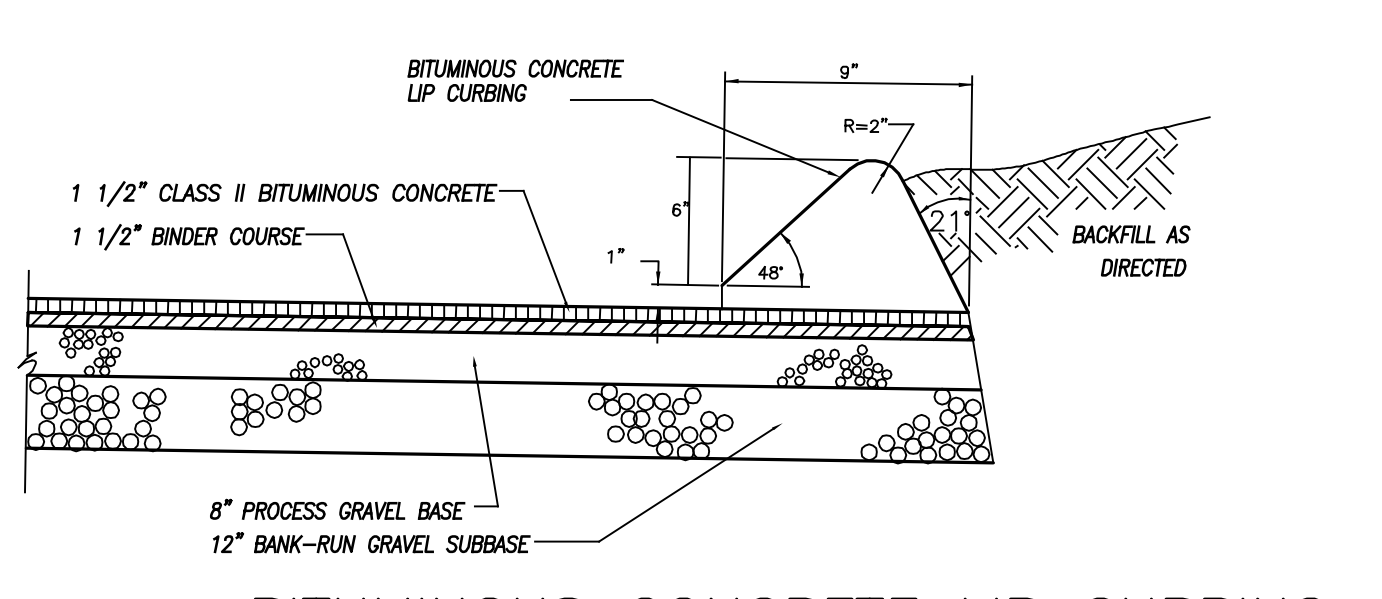
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SILT FENCE @ TOE OF SLOPE APPLICATION

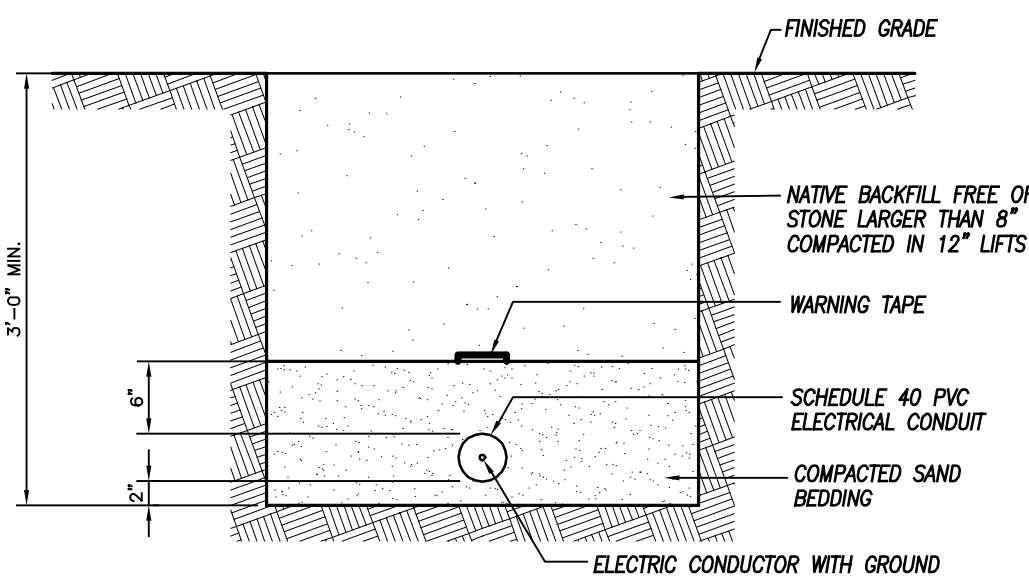


RIP RAP OUTFALL



BITUMINOUS CONCRETE LIP CURBING

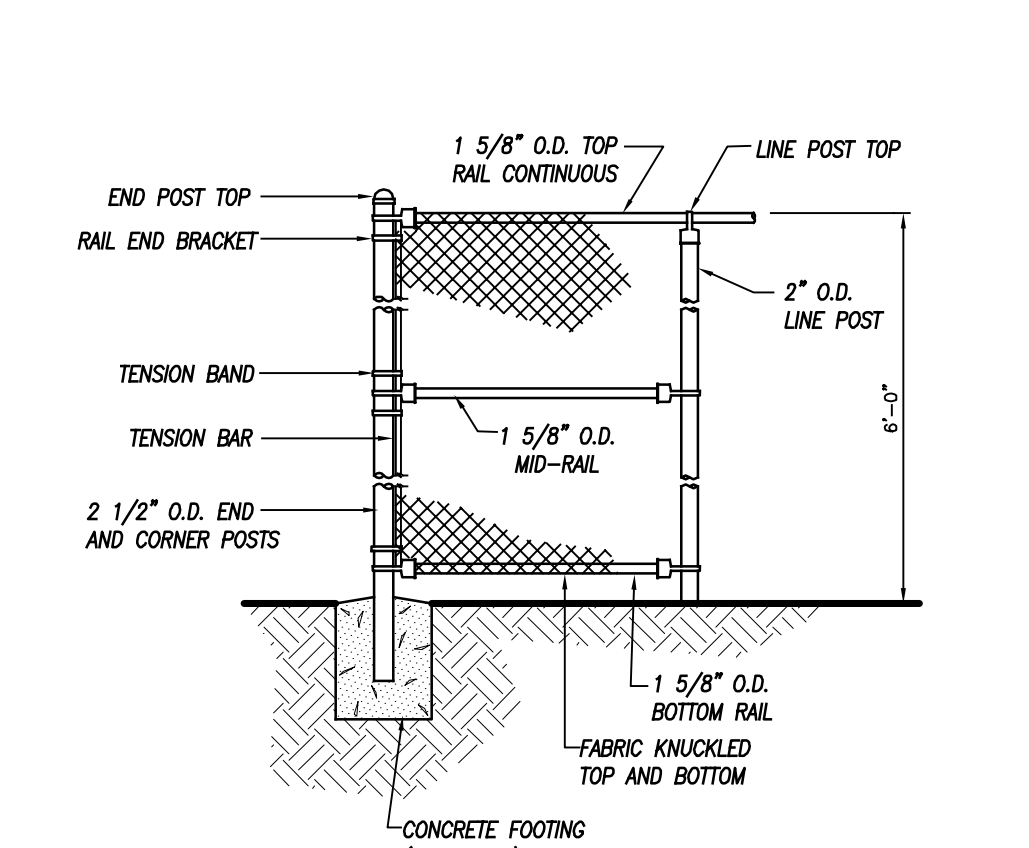
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NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

ELECTRICAL CONDUIT IN TRENCH

NOT TO SCALE



CHAIN LINK FENCE DETAIL

NOT TO SCALE

06/26/2023	PER IWWC & NDDH
DATE	DESCRIPTION
REVISIONS	

DETAIL SHEET
PREPARED FOR
**THOMPSON
BUSINESS PARK, LLC**
REARDON ROAD
THOMPSON, CONNECTICUT

Killingly Engineering Associates Civil Engineering & Surveying	
114 Westcott Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7299 www.killinglyengineering.com	
DATE: 3/10/2023	DRAWN: RGS
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 7 OF 7	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 22062



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET • UNIT 4 • BROOKLYN, CT 06234
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

July 06, 2023

Thompson Business Park, LLC.
101 Mackin Drive
Griswold, CT 06351

SUBJECT: FILE #23000267 -- REARDON ROAD #LOT#40,40G, MAP #65, BLOCK #100, LOT #40, 40G, THOMPSON, CT

Dear Thompson Business Park, LLC.:

The subject plan (KILLINGLY ENGINEERING ASSOCIATES, JOB# 22062, THOMPSON BUS PARK, DRAWN 03/10/2023, REVISED 06/26/2023) submitted on 06/27/2023 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for 30 Gallons Per Day based on the following:

1. A test pit in the reserve area is required at the time of construction. The fee for additional soil testing of \$125.00 must be remitted prior to the sanitarian conducting the test.
2. CT licensed surveyor must stake building, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
3. Permanent benchmark to be set within 15 feet and 12 feet of septic system.
4. A bottom of excavation inspection is required once the topsoil and fill material have been removed.
5. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
6. A set of building plans must be submitted prior to an Approval to Construct Permit being issued.
7. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
8. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Marcoux, RS
Senior Sanitarian-NDDH

cc: Thompson Building Official; Killingly Engineering Associates

General Information

Name of Project	Thompson Business Park, LLC	KEA Tracking No.	22062	Inspection Date	XX-XX-XX
Inspector Name, Title & Contact Information	Normand Thibeault, Jr., P.E.				
Present Phase of Construction	Phase 1				
Inspection Location (if multiple inspections are required, specify location where this inspection is being conducted)	Provide Description				
<p>Inspection Frequency</p> <p>Standard Frequency: <input type="checkbox"/> Weekly <input checked="" type="checkbox"/> within 24 hours of a 0.25" rain</p> <p>Increased Frequency: <input type="checkbox"/> Every 7 days and within 24 hours of a 0.25" rain (for areas of sites discharging to sediment or nutrient-impaired waters or to waters designated as Tier 2, Tier 2.5, or Tier 3)</p> <p>Reduced Frequency:</p> <ul style="list-style-type: none">- <input checked="" type="checkbox"/> Once per month (for stabilized areas)- <input checked="" type="checkbox"/> Once per month and within 24 hours of a 0.25" rain (for arid, semi-arid, or drought-stricken areas during seasonally dry periods or during drought)- <input type="checkbox"/> Once per month (for frozen conditions where earth-disturbing activities are being conducted)					
<p>Was this inspection triggered by a 0.25" storm event? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, how did you determined whether a 0.25" storm event has occurred?</p> <p><input type="checkbox"/> Rain gauge on site <input checked="" type="checkbox"/> Weather station representative of site. Specify weather station source: Weather Underground – Mansfield Center</p>					
<p>Unsafe Conditions for Inspection</p> <p>Did you determine that any portion of your site was unsafe for inspection per CGP Part 4.1.5? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If "yes", complete the following:</p> <ul style="list-style-type: none">- Describe the conditions that prevented you from conducting the inspection in this location:- Location(s) where conditions were found:					

Condition and Effectiveness of Erosion and Sediment (E&S) Controls				
Type/Location of E&S Control [Add an additional sheet if necessary]	Repairs or Other Maintenance Needed?*	Corrective Action Required?*	Date on Which Maintenance or Corrective Action First Identified?	Notes
1. Silt fence w/staked haybales at Lathrop Lane gate inspected have contained sedimentation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	9/13/2019	Water bard functioning sufficiently. 1 st row of silt fence/haybale barrier has contained sediment but sediment is more than half the height of the haybales; silt fence stakes are broken as well. Temporary stakes were installed to reinforce the silt fence (photo 1)
2. Main Entry Water Crossing (northerly of 3 rd hole green)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	N/A	Stone check dams are in good condition; area is heavily vegetated. No maintenance or repair necessary at this time (photo 2)
3. 15 th Hole fairway – western edge sediment barriers	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	9/13/2019	Silt fences were down in several areas in the uppermost row from what appears to be concentrated flow and sediment buildup. Stone berms adjacent to silt fence is in good condition. Stone check dams in path from hole #16 to hole #15 are compromised from ATV activity. No immediate concerns because 2 nd thru 4 th rows of silt fence and riprap berms are containing sediment but area should be monitored. (photos 3 - 5)
4. Construction access drive between laydown area and gas line easement.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	N/A	Sediment fence is in good condition. Area is heavily vegetated
5. 7 th Hole Fairway Hillside	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	N/A	Slope is heavily vegetated and berms are in very good condition. No sediment buildup behind berms.
6. Construction access drive between laydown area and gas line easement.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	N/A	Very difficult area to access due to the 3'-5' vegetation. Sediment fence and stone check dams are in good condition.

* Note: The permit differentiates between conditions requiring repairs and maintenance, and those requiring corrective action. The permit requires maintenance in order to keep controls in effective operating condition and requires repairs if controls are not operating as intended. Corrective actions are triggered only for specific, more serious conditions, which include: 1) A required stormwater control was never installed, was installed incorrectly, or not in accordance with the requirements in Part 2 and/or 3; 2) You become aware that the stormwater controls you have installed and are maintaining are not effective enough for the discharge to meet applicable water quality standards or applicable requirements in Part 3.1; 3) One of the prohibited discharges in Part 2.3.1 is occurring or has occurred;

Condition and Effectiveness of Pollution Prevention				
Type/Location of P2 Practices [Add an additional sheet if necessary]	Repairs or Other Maintenance Needed?*	Corrective Action Required?*	Date on Which Maintenance or Corrective Action First Identified?	Notes
1.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
2.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
3.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
4.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
5.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

* Note:

Stabilization of Exposed Soil

Stabilization Area	Stabilization Method	Have You Initiated Stabilization?	Notes
1. Construction access drive	Water Bar at site entrance & silt fence/haybale barrier	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Water bar is functioning, silt fence/haybale barrier needs repair.
2.		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Recommend monitoring existing E&S controls. ATV activity has compromised check dams along access from 16 th fairway.
3.		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO If yes, provide date:	

Description of Discharges

Was a stormwater discharge or other discharge occurring from any part of your site at the time of the inspection? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "yes", provide the following information for each point of discharge:	
Discharge Location	Observations
1 Outlet at property line	Outlet intact with riprap. 6" pipe previously installed has been removed.
2.	

Certification and Signature by Permittee (see reverse for instructions)

"I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Permittee or
"Duly Authorized Representative": _____ Date: _____

Printed Name and Affiliation: _____



Photo 1: Silt fence/haybale barrier @Lathrop Lane



Photo 2: Stone check dam at wetlands crossing, Hole #3



Photo 3: Hole #15 upgradient E&S controls



Photo 4: Hole #15 down gradient E&S controls



Photo 5: Hole #15 ATV activity area



Photo 6: 7th Fairway stone check dam

Suggested Special Condition for IWA23010:

1. Within 90 days of the issuance of this permit and prior to the start of construction the permittee shall submit to the Inland Wetlands Commission for its review and written approval a Stormwater Inspection Report form for use during the construction of Self Storage Facilities and no earthmoving work is authorized until such Stormwater Inspection Report form is approved by this Commission.

Agenda Item E) b) 1. New Applications

IWA23014, Cheryl J. Popiac, 0 Thompson Road, (Assessor's map 116, block 24, lot 6B), construct new single-family home, well and septic system with associated grading in wetland and upland review area, stamped received 6/28/23, to be statutorily received 7/11/23.

Original

for commission use:	rev 1/11
application #	<u>IWA23014</u>
date received	<u>June 28, 2023</u>

PERMIT APPLICATION
TO CONDUCT A REGULATED ACTIVITY

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee.....Applicants will be billed for professional review as needed,
see regulations booklet Section 18.5

For: **Conceptual Approval of Subdivisions use "Subdivision Review Application"**

Please complete the following application information.

Date _____

1) Name of Applicant Cheryl J. Popiak

Home Address 2 Leon Street, Thompson, CT 06277

Home Tele & Hrs 508-665-7162 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: X Owner _____ Other (option holder to purchase)

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location _____

Street or Road Location 0 Thompson Road

Tax Assessor's Map # 116

Block # 24

Lot # that appears on site plan 6B

Deed Info : Volume # 958

Page # 110

5) The property to be affected by the proposed activity contains:

Soil Types Map Unit 23A, Sudbury sandy loam

Wetland Soils X (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)

Watercourses X (Lake or Pond X Stream or River _____ Intermittent Stream _____)

Floodplain - Yes / No YES

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity _____

Construction of a 2 bedroom house, well and septic system.

If the above activity involves deposition or removal of material, what is the quantity? 250+/- CY of
fill to be placed for construction of house and septic system.

b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation with base flood elevations.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☒ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) Perimeter erosion and sediment controls.

d. Have any alternatives been considered? No

If yes, explain why this proposal was chosen _____

7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? No

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

George Grauer, 1199 Thompson Road, Thompson, CT 06277

Francis J. Minarik & Leslie E. Minarik, 1175 Thompson Road, Thompson, CT 06277

11) Estimated start date summer, 2023

Estimated date of completion (all disturbed areas are stabilized) spring, 2024

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested. I understand that the commission is unable to act upon an incomplete application.

D/qr (agent) 6/28/23
Signature of Applicant Date

Consent of Landowner if other than applicant Date

Please attach a written consent by the owner if applicant is not the property owner.

David Held

From: Cheryl Popiak <cheryl_popiak@yahoo.com>
Sent: Tuesday, June 27, 2023 4:18 PM
To: Dave Held - site Plans
Cc: Cheryl Popiak
Subject: Signatory authorization

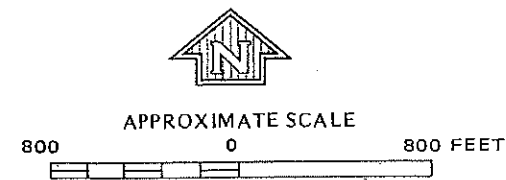
Hello Dave,

Per your request, this email represents my authorization for you to act as my agent in signing applications for other necessary documentation to the town of Thompson Connecticut for my property at 0 Thompson Rd. map number 116 block number 24 lot number 6B.

Thank you,

Cheryl Popiak

Sent from my iPad



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
THOMPSON,
CONNECTICUT
WINDHAM COUNTY

PANEL 10 OF 20
(SEE MAP INDEX FOR PANELS NOT PRINTED)

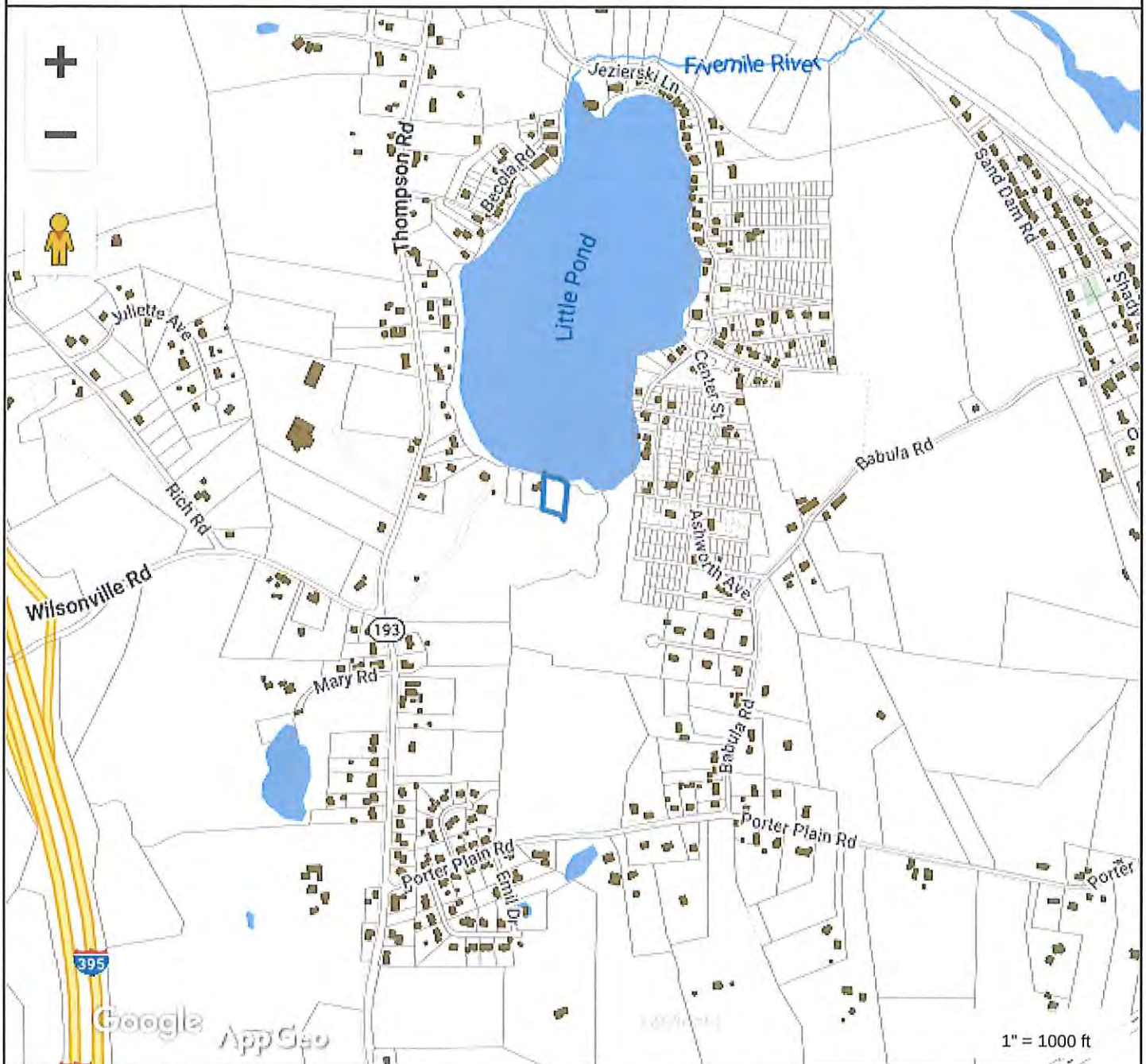
COMMUNITY-PANEL NUMBER
090117 0010 B

EFFECTIVE DATE:
NOVEMBER 1, 1984



Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.

**Property Information**

Property ID 3485
Location 0 THOMPSON RD
Owner POPIAK CHERYL J

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022
Data updated December 1, 2022

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

**Statewide Inland Wetlands & Watercourses Activity Reporting Form**

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3rd Floor, Hartford, CT 06106

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
2. ACTION TAKEN (enter one code letter): _____
3. WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): Thompson
Does this project cross municipal boundaries (check one)? Yes _____ No X
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
6. LOCATION (see directions for website information): USGS Quad Map Name: Oxford or Quad Number: 14
Subregional Drainage Basin Number: 3400
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Cheryl J. Popick
8. NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): 0 Thompson Road
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent X
Description: Construction of house, well and septic system
9. ACTIVITY PURPOSE CODE (enter one code letter): B
10. ACTIVITY TYPE CODE(S) (enter up to four code numbers): 1, 2, 12, 14
11. WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 0.02 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED (type in acres as indicated): 0.25± acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO


FORM CORRECTED / COMPLETED: YES NO

FW: Popiak property - Lot 6B, Thompson Road - Thompson, CT

David Held <dheld@prorovinc.com>

Wed 6/28/2023 2:04 PM

To: Marla Butts <wetlands@thompsonct.org>

 1 attachments (2 MB)

CCI04012021.pdf;

Hi Marla,

Here's the wetland delineation "report" from Scott Stevens.

David J. Held, P.E., L.S.
Provost & Rovero, Inc.
57 East Main Street
P.O. Box 191
Plainfield, CT 06374
Phone (860) 230-0856
Cell (860) 234-3183
Fax (860) 230-0860
dheld@prorovinc.com
www.prorovinc.com

From: Scott Stevens [mailto:ssesinc@yahoo.com]**Sent:** Thursday, April 01, 2021 9:32 AM**To:** Cheryl Popiak <cheryl_popiak@yahoo.com>; David Held <dheld@prorovinc.com>**Subject:** Popiak property - Lot 6B, Thompson Road - Thompson, CT

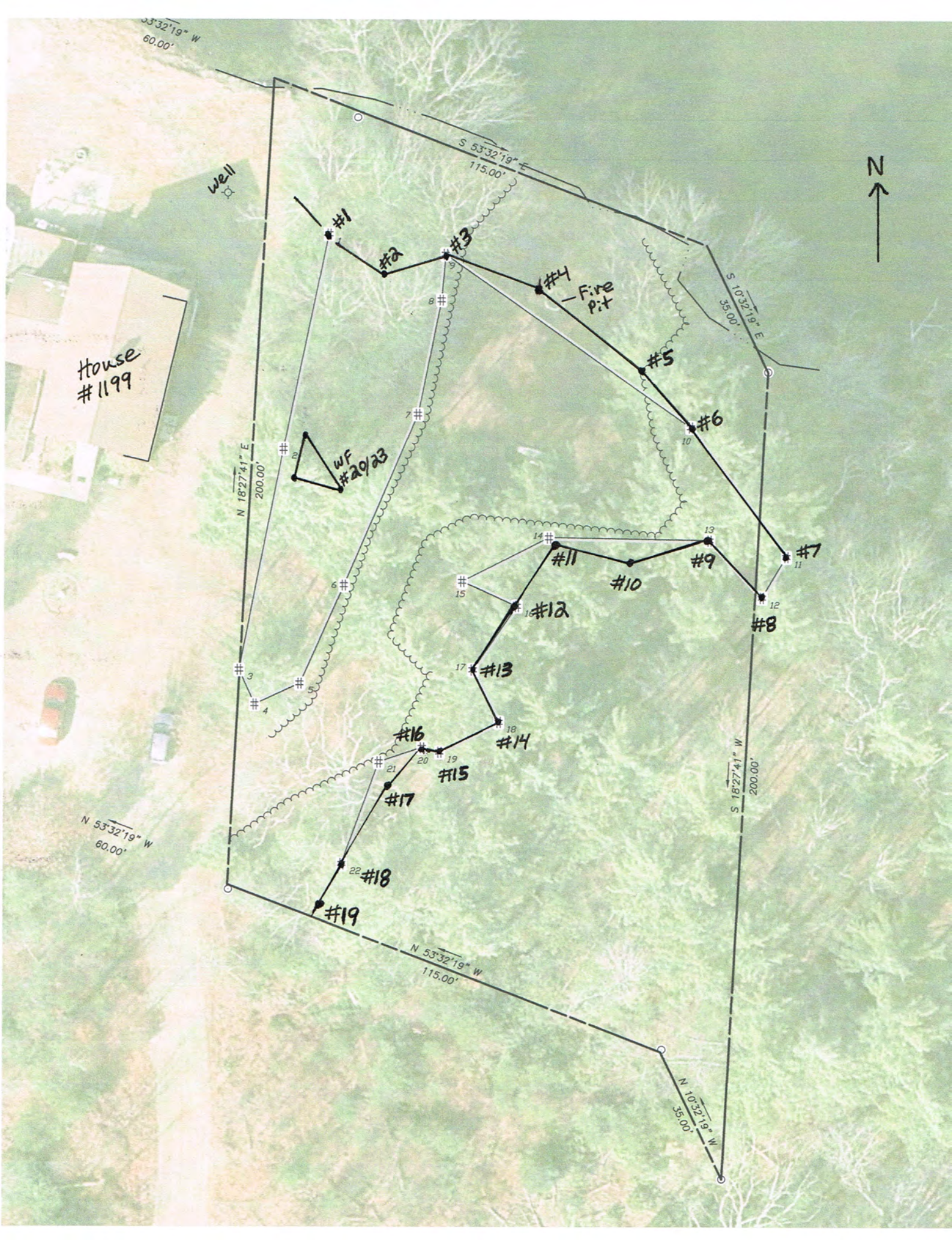
Hi Cheryl & David,

Yesterday we inspected Lot 6B and re-flagged the wetlands on the site with pink colored survey tape. Remnants from several of my old 2014 blue wetland flags still remain on the property. See attached sketch map. My wetland flag numbers are WF#1-7, 8-19 and 20-23. We delineated a small wetland area (WF#20-23) in a low swale where a shed was previously located. The swale contains transitional moderately well drained to somewhat poorly drained soils supporting mostly upland vegetation. Thanks, Scott

Scott D. Stevens, Registered Professional Soil Scientist
Soil Science And Environmental Services, Inc.
95 Silo Drive
Rocky Hill, CT 06067
(203) 272-7837 phone
www.ssesinc.net

On Friday, March 26, 2021, 11:56:49 AM EDT, Cheryl Popiak <cheryl_popiak@yahoo.com> wrote:

Hi, the shed was removed before I first saw the property.



S 53°32'19" W
60.00'

S 53°32'19" E
115.00'

S 10°32'19" E
35.00'



Well

House
#1199

N 18°27'41" E
200.00'

WF
#20/23

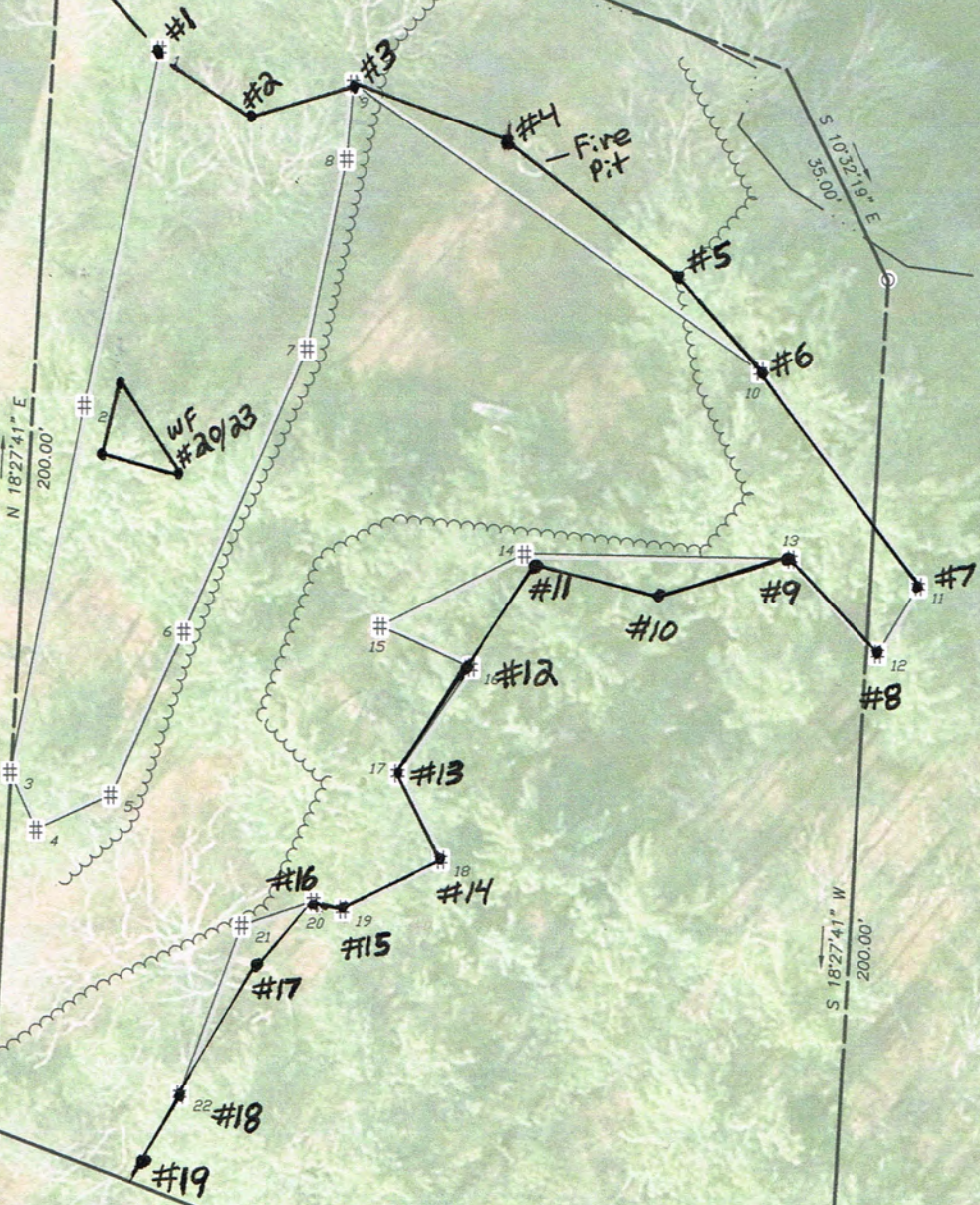
#4
Fire
pit

N 53°32'19" W
60.00'

S 18°27'41" W
200.00'

N 53°32'19" W
115.00'

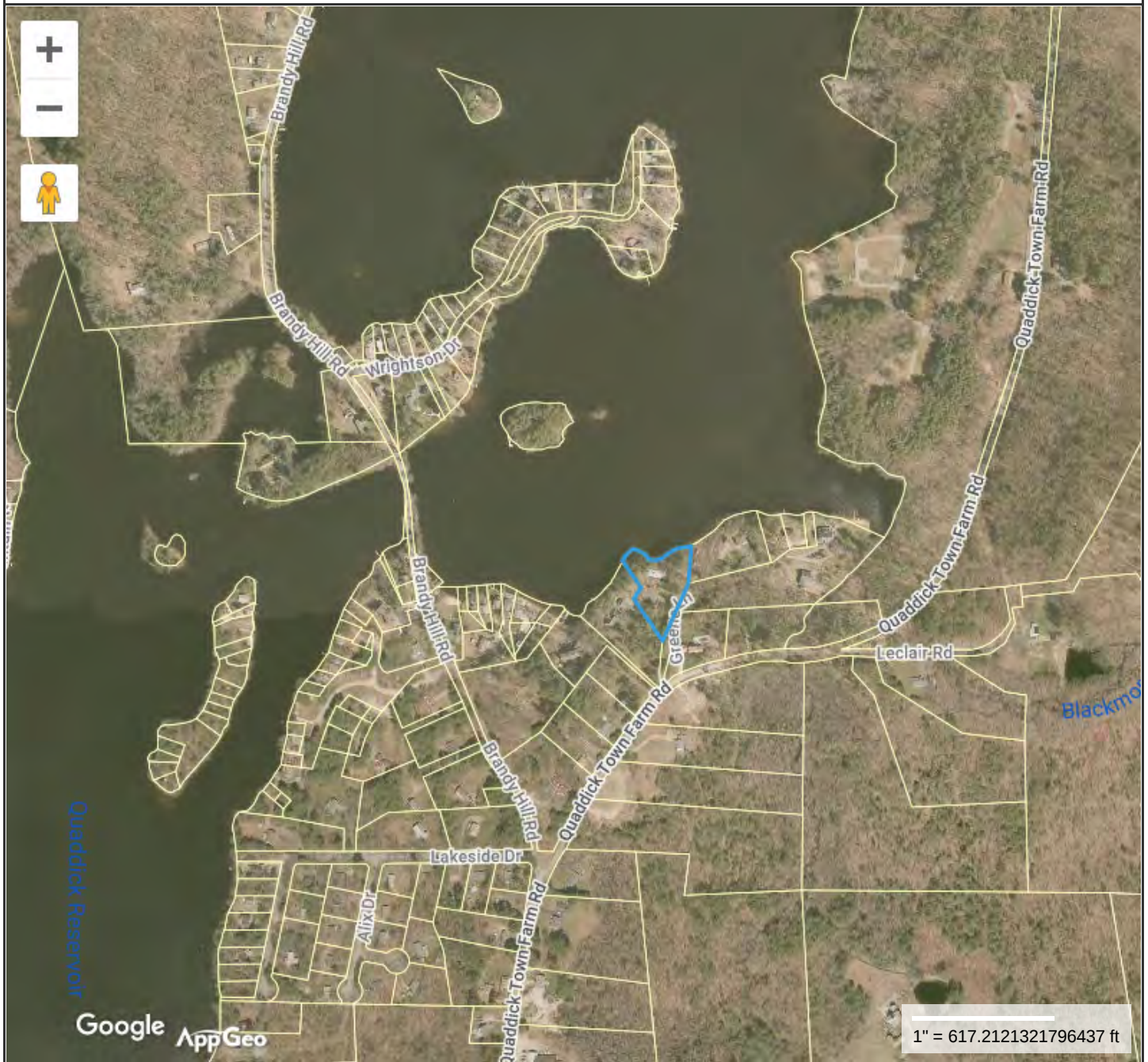
N 10°32'19" W
35.00'



Agenda Item E) b) 2. New Applications

WAA23015, Michael Vandt, 10 Green Lane, (Assessor's map 143, block 17, lot 232), demolish existing house and construct new single-family home in 100-foot upland review area, stamped received 6/27/23, under review.

Locus Map for 10 Greene Lane Application WAA23015

**Property Information**

Property ID 4758
Location 10 GREENE LN
Owner VANDI MICHAEL M

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022
Data updated December 1, 2022

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Original

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>23015</u>
DATE RECEIVED	<u>June 27, 2023</u>

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

RECEIVED
TOWN OF THOMPSON, CT.
2023 JUN 27 AM 10:00
TOWN CLERK

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897

www.thompsonct.org/wetlands

Received

JUN 27 2023

Thompson Wetlands Office

Date June 13, 2023

1) Name of Applicant Michael Vandi mikenaparts@yahoo.com
Home Address 433 East Thompson Rd, Thompson CT 06227
Home Tele & Hrs 860-617-3144 Business Tele & Hrs 860-908-2312 8-6
Business Address 389 E. Main St. Southbridge Ma 01550

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____
Home Address _____
Business Address _____
Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location UP 1995, on the front of the property
Street or Road Location Greene Lane
Tax Assessor's Map # 143
Block # 17
Lot # that appears on site plan 232
Deed Information : Volume # 1001
Page # 93

5) The property to be affected by the proposed activity contains:

Soil Types _____
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses Yes (Lake or Pond ☒ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes / No

6) Description of the Activity for which Approval is requested The proposed activity involves demolishing the existing house and constructing a new house in the same general location.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☒ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☒ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list

11) Estimated start date _____

Estimated date of completion (all disturbed areas are stabilized) _____

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

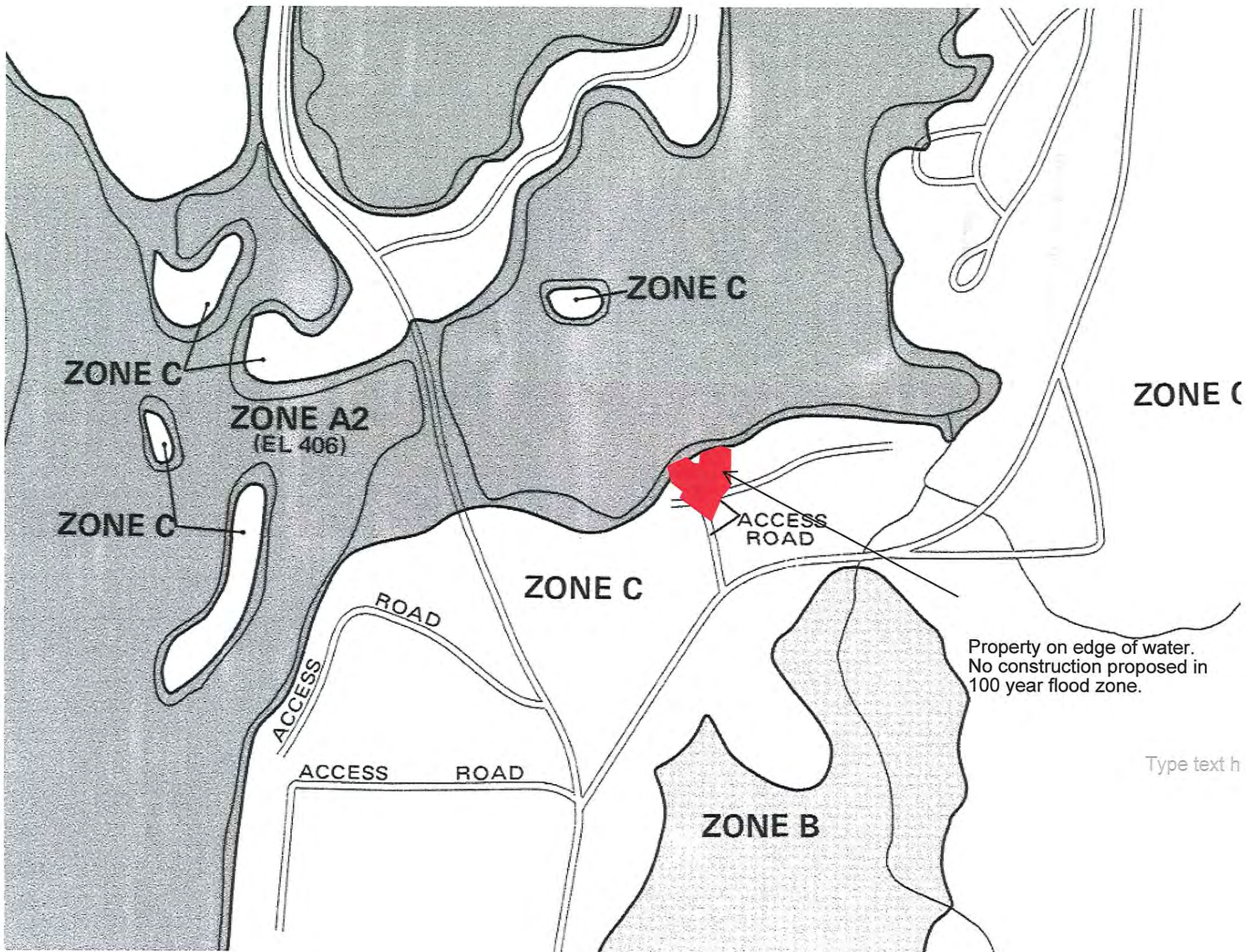
ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Thompson, V. D. 6.21.23
Signature of Applicant Date

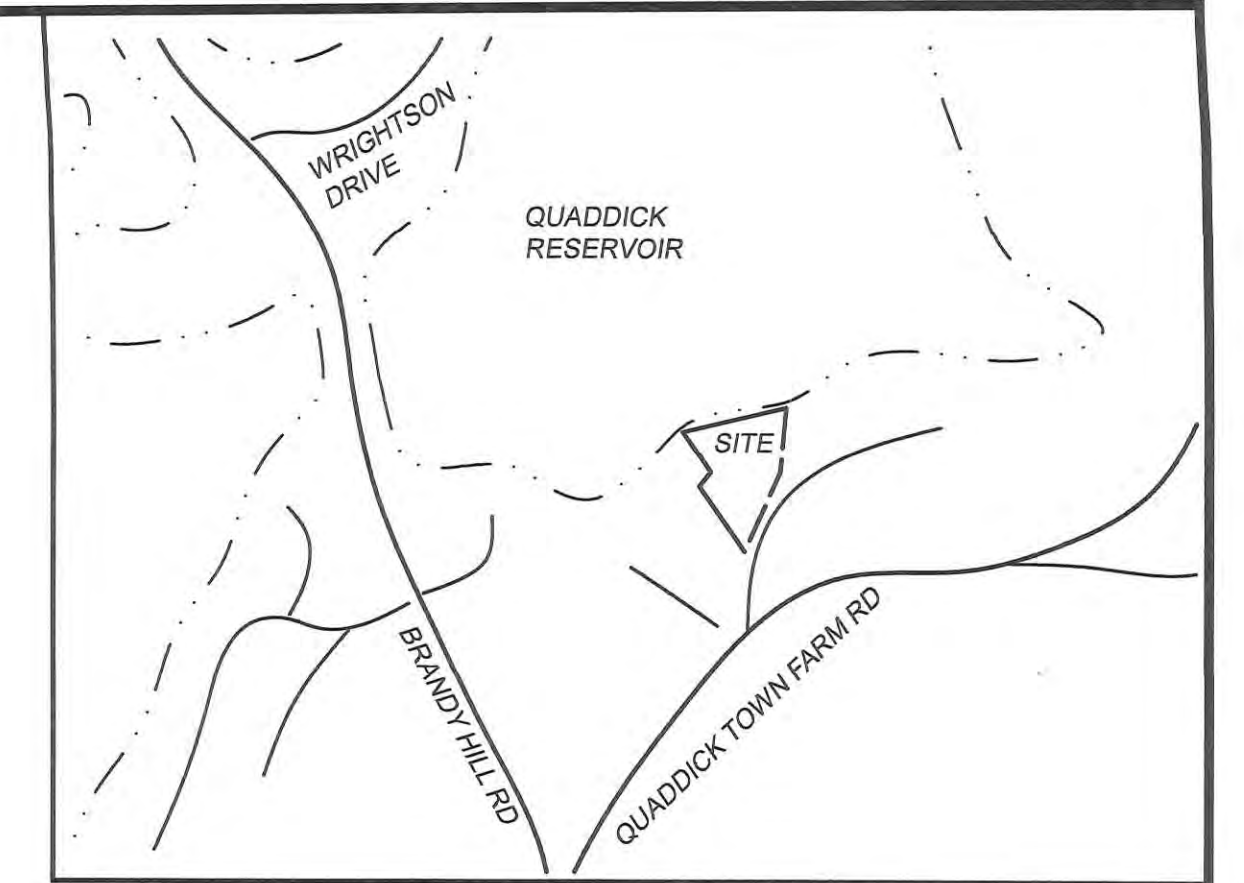
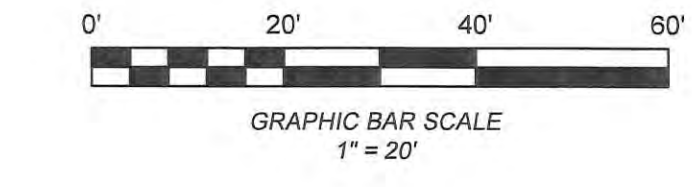
Consent of Landowner if other than applicant Date

Please attach a written consent by the owner if applicant is not the property owner.



QUADDICK RESERVOIR

QUADDICK RESERVOIR



LOCATION MAP
1" = 500'

SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION AND TOPOGRAPHIC

BOUNDARY DETERMINATION CATEGORY: NONE

HORIZONTAL ACCURACY: CLASS B
VERTICAL ACCURACY: CLASS T2

PURPOSE: TO DEPICT EXISTING CONDITIONS

2. REFERENCE PLANS:

- (A) "SUBDIVISION OF LAND OF CLAIRE L. GREENE" ON FILE AS MAP #1061
- (B) "PLAN OF LAND OF CLAIRE L. GREENE" ON FILE AS MAP #1068
- (C) "PLAN OF LAND OF CLAIRE L. GREENE" ON FILE AS MAP #1193

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 12107
DENNIS R. BLANCHETTE DATE LICENSE #

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2023 J&D CIVIL ENGINEERS, LLC

ZONING INFORMATION:
ZONE: LAKE DISTRICT
MINIMUM LOT AREA: 15,000 S.F.
MINIMUM FRONTAGE: 50'
MINIMUM FRONT YARD: 10'
MINIMUM SIDE YARD: 10'
MINIMUM REAR YARD: 10'

PROPERTY OWNER
MICHAEL VANDI

REFERENCE DEED
THOMPSON LAND RECORDS
VOL. 1001 PG. 93

ASSESSORS REFERENCE
MAP 143 BLOCK 17 LOT 232

LEGEND

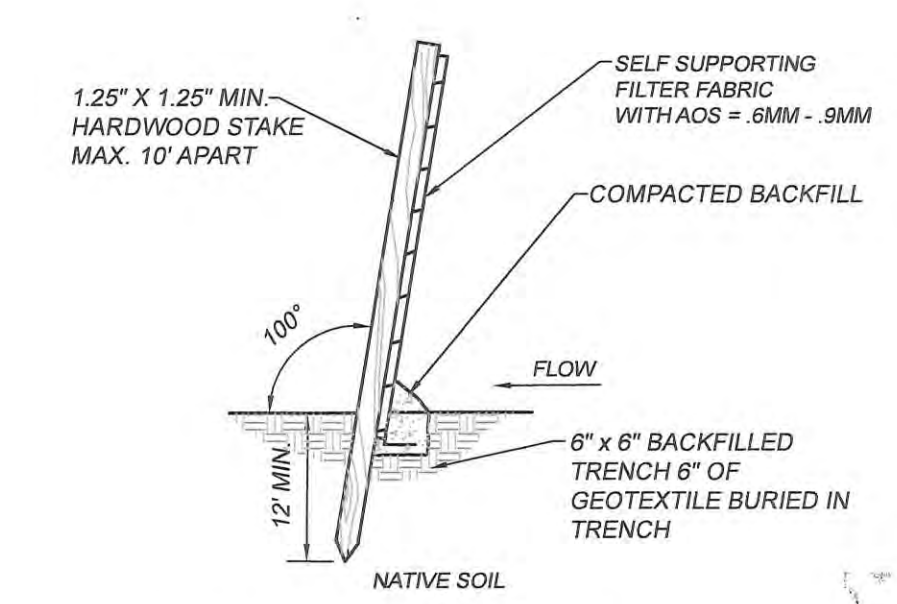
- ANGLE POINT
- EXISTING IRON ROD
- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- EDGE OF EASEMENT
- STONE WALL
- UTILITIES
- TREELINE
- EDGE OF WATER

WETLAND NOTES:

1. THE ORDINARY HIGH WATER MARK IS ASSUMED TO BE THE LIMIT OF WETLAND SOILS, DUE TO THE STEEP TOPOGRAPHY. NO WETLANDS HAVE BEEN DELINEATED BY A SOIL SCIENTIST.
2. NO WORK OF ANY KIND IS PROPOSED WITHIN WETLANDS ANY/OR WATERCOURSES.
3. ALL HOUSE CONSTRUCTION IS WITHIN THE 100 UPLAND REVIEW AREA. ALL SEPTIC SYSTEM CONSTRUCTION IS OUTSIDE THE UPLAND REVIEW AREA.
4. NO WORK OF ANY KIND IS PROPOSED WITHIN 25 FEET OF THE LAKE, EXCEPT FOR THE INSTALLATION OF SILT FENCE.
5. NO IMPACTS TO WETLANDS OR WATERCOURSES ARE EXPECTED AS A RESULT OF THE CONSTRUCTION SHOWN ON THIS SITE PLAN.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE DEMOLITION OF AN EXISTING HOUSE, AND CONSTRUCTION OF A NEW HOUSE WITH SIMILAR FOOTPRINT. THE SEPTIC SYSTEM WILL BE REPLACED AS WELL, THE SEPTIC DESIGN WAS PERFORMED BY THE INSTALLER AND APPROVED BY NDDH.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF ANY EARTHWORK, DEMOLITION, AND/OR CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.



SILT FENCE INSTALLATION
NOT TO SCALE

Received
JUN 27 2023
Thompson Wetlands Office

SITE DEVELOPMENT PLAN
PREPARED FOR
MICHAEL VANDI
10 GREENE LANE - THOMPSON, CT
MAP 143 - BLOCK 17 - LOT 232

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: APS
CHECKED: DDB

REVISIONS:

JOB NO: 23154
SCALE: 1" = 20'

DATE: JUNE 13, 2023
SHEET: 1 OF 1



Application WAA23015 copy 1

Agenda Item E) c) Applications Received After Agenda
was Published.

None

Agenda Item F) Permit Extensions / Changes - None

Agenda Item G) a) Violations & Pending Enforcement
Actions

Notice of Permit Violation VIOL21036, Permit
IWA20022, Marc Baer, 1227 Thompson Rd
(Assessor's map 116, block 24, lot 10), grades not
as authorized in modified plan approved by the
Commission on February 9, 2021 - status.

Agenda Item G) b) Violations & Pending Enforcement
Actions

Notice of Violation VIOL23013, Wojiech, Sudyka,
1574 Riverside Drive, (Assessor's map 55, block 65, lot
14), grading work exceeded scope of work authorized
by Permit IWA 21028, issued 5/22/23 - status

Agenda Item H) a) Other Business

Amended Draft of Thompson Flood Damage Prevention
Ordinance

Re: Amended Draft of Thompson Flood Damage Prevention Ordinance, for your review

Marla Butts

Mon 6/26/2023 4:19 PM

To: Ifkovic, Diane <Diane.Ifkovic@ct.gov>

Cc: Paul Hopkins <assessor@thompsonct.org>; George Oneil <goneil3@thompsonct.org>; First Selectman <firstselectman@thompsonct.org>; ZEO <ZEO@thompsonct.org>; Dibetto, Stephanie <stephanie.dibetto@fema.dhs.gov>; Town Clerk <townclerk@thompsonct.org>; Sadie Carnes <SCarnes@generalcode.com>; Planner <planner@thompsonct.org>

 3 attachments (387 KB)

Chapter 124 - Zoning 8-21.pdf; Draft with Redline (MPB 06-26-23) - Flood Damage Prevention Ordinance from Thompson Code of Ordinances 01-10-2020 (1).docx; Draft no Markup (MPB 06-26-23) - Flood Damage Prevention Ordinance from Thompson Code of Ordinances 01-10-2020 (1).pdf;

Hi Diane,

I have several questions and concerns regarding the draft of the revised Thompson Flood Damage Prevention Ordinance. First, the Inland Wetlands Commission met on 6/13/23 to discuss the change in appeal agency from the Conservation Commission to the Inland Wetlands Commission. They raised the following questions:

1. What is the total area (in sq. mi.) located within the new special flood hazard area in Thompson (Thompson is 48.7 sq. mi. in size)?
2. Can FEMA provide the number of existing FEMA flood insurance accounts for structures in the special flood hazard area, and if yes how many are there?
3. Can FEMA provide the number of structures that are currently insured through FEMA, and if yes can FEMA provide a listing of those structures and associated addresses?
4. How can Thompson obtain digital shape files as Thompson would like to have Applied Geographics use those shape files to create a FEMA special flood hazard layer for inclusion in the Town's GIS application known as MapGeo?

Second, while proofing Tyra's inclusion of your suggested edits, I came across some problems and have some additional questions. I've attached a PDF that shows no mark up and the Word file with tracked changes from the version that Tyra sent you on 6/14/23 and to which you replied on the same day. In your reply you made reference to several sections needing revision. I note there is no Section 5.1.19 and Section 5.5.5. Floodway (did you mean 5.3.3?). I checked 6.4 and made a minor edit. I don't understand what you were talking about re Section 7.0. I restructured Section 7.5.3. CONDITIONS FOR VARIANCES. Do my revisions address your concerns?

Shouldn't there be a definition for "ASCE 24" found in Section 5.1.8.a? I have no idea what "ASCE 24" means or what it is. The term "community" is used throughout the draft and for clarity I have added a definition that "community" means the Town of Thompson.

I've cleaned up the outlining, standardized fonts and removed excessive spacing and changed the red font in the definition of the base flood elevation to redlining. I've changed the phrase "registered professional engineer or architect" to "professional engineer or architect licensed to practice in Connecticut". Professional engineers and architects are licensed, not registered in Connecticut and for securing the quality of work their licensing should not be from out of state.

Re: Amended Draft of Thompson Flood Damage Prevention Ordinance, for your review

Ifkovic, Diane <Diane.Ifkovic@ct.gov>

Tue 6/27/2023 8:44 PM

To: Marla Butts <wetlands@thompsonct.org>

Cc: Paul Hopkins <assessor@thompsonct.org>; George Oneil <goneil3@thompsonct.org>; First Selectman <firstselectman@thompsonct.org>; ZEO <ZEO@thompsonct.org>; Dibetto, Stephanie <stephanie.dibetto@fema.dhs.gov>; Town Clerk <townclerk@thompsonct.org>; Sadie Carnes <SCarnes@generalcode.com>; Planner <planner@thompsonct.org>

Hi Marla,

Wow, this is a lot to unpack. Let's start with the 4 questions you posed. The rest are regulation clarifications or typos. Let me go over the draft again with your comments and we can get it fixed.

1. What is the total area (in sq. mi.) located within the new special flood hazard area in Thompson (Thompson is 48.7 sq. mi. in size)?

FEMA estimates that 5.64 square miles comprise the 100-year floodplain (AE and A zones), which is 11.6% of Thompson's total area in square miles. The 500-year floodplain is 0.4 square miles, or 0.82%. The 500-year floodplain is not a regulated area unless there is a state funded project in that location which requires state permits.

2. Can FEMA provide the number of existing FEMA flood insurance accounts for structures in the special flood hazard area, and if yes how many are there? **As of May 2, 2023, there are four (4) NFIP flood insurance policies in Thompson. They are all for residential properties (single family or 2-4 family). One is in the 100-year floodplain (A or AE zone), three are outside the 100-year floodplain (B, C, X zones). Often property owners that are on the edge of the 100-year floodplain but have experienced flooding in the past will buy a policy. These 4 policies pay \$3,490 in premiums, with \$1,092,000 insurance in force. Since 1978, there have been 9 closed paid flood losses in Thompson totaling \$236,808.**

Be advised that flood insurance is required as a condition of a mortgage or other home loan if the structure is located in the floodplain. If there is no loan, property owners often cancel the insurance. The low policy count does not represent the number of structures that are located in the floodplain and should be maintaining insurance. Also, your current mapping is very old and do not show structures. The new maps becoming effective in September will have aerial photography. Bank may have been making errors all these years by not requiring insurance. You may see the policy count jump up a bit in the fall as banks go over their portfolios again with the new maps coming out and catching any old errors where they did not think the structure was in the floodplain. They will also catch any new structures mapped into the floodplain.

This Storymap tool from FEMA may help you compare existing to proposed: <https://fema.maps.arcgis.com/apps/StorytellingSwipe/index.html?appid=72cc4e20361542a38a5583777376057a#>

FEMA estimates that there are approximately 140 structures in the 100-year floodplain on the current flood maps. Be advised this can include accessory structures like sheds, garages. Your GIS may give more accurate numbers. FEMA estimates on the proposed maps effective

September 7, 2023 there will be 71 structures in the 100-year floodplain. This represents a net loss of 69 structures.

3. Can FEMA provide the number of structures that are currently insured through FEMA , and if yes can FEMA provide a listing of those structures and associated addresses? **4 flood insurance policies currently as of May 2, 2023, see question #2 above. I cannot provide the exact addresses. If Thompson would like to get a list of addresses they will have to sign and Information Sharing Access Agreement (ISAA) with FEMA. I can provide you the contact at the FEMA Boston office to initiate this request.**

5. How can Thompson obtain digital shape files as Thompson would like to have Applied Geographics use those shape files to create a FEMA special flood hazard layer for inclusion in the Town's GIS application known as MapGeo?

The geospatial data is available on the the FEMA Map Service Center website, <https://msc.fema.gov/portal/home>. Hit "Search All Products" in the middle of the page. Select Connecticut for State, Windham for County and Thomspson for Community, then hit "Search" . Select "Pending Product", then "FIRM database", hit the download button on the right.

Search Results for THOMPSON, TOWN OF

Click [subscribe](#) to receive email notifications when products are updated. If you are a person with a disability, are blind, or have low vision, and need assistance, please contact a [map specialist](#).

Please Note: Searching All Products by county displays all products for all communities within the county. You can refine your search results by specifying your specific jurisdiction location using the drop-down menus above.

- Effective Products (48) ?
- Preliminary Products (1) ?
- Pending Product (22) ?
 - ▶ FIRM Panels (19) 
 - ▶ FIS Reports (2) 
 - ▶ LDMC (0)
 - ▼ FIRM Database (1)

Product ID	Effective Date	Description	Size	Download
09015C_2023-09-07	09/07/2023	Flood Insurance Rate Map Database	26MB	

- Historic Products (6) ?
- Flood Risk Products (0) ?

Diane S. Ifkovic
 State of Connecticut
 Department of Energy & Environmental Protection
 79 Elm Street
 Land & Water Resources Division, 3rd floor
 Hartford, CT 06106
 Phone: (860) 424-3537
 Email: diane.ifkovic@ct.gov

Re: Amended Draft of Thompson Flood Damage Prevention Ordinance, for your review

Ifkovic, Diane <Diane.Ifkovic@ct.gov>

Sun 7/9/2023 8:31 PM

To: Marla Butts <wetlands@thompsonct.org>

Cc: Paul Hopkins <assessor@thompsonct.org>; George Oneil <goneil3@thompsonct.org>; First Selectman <firstselectman@thompsonct.org>; ZEO <ZEO@thompsonct.org>; Dibetto, Stephanie <stephanie.dibetto@fema.dhs.gov>; Town Clerk <townclerk@thompsonct.org>; Sadie Carnes <scarnes@generalcode.com>; Planner <planner@thompsonct.org>

Hi Marla,

First, thank you so much for going over the draft so carefully. I provide the overall edits needed but town officials do need to go over the edits very carefully, so I appreciate your attention on this. Below I go over your comments and questions.

You are correct there is no section 5.1.19, typo on my part, I meant 5.1.9. On the draft sections 5.1.8 and 5.1.9 were jammed together and Tyra fixed this, separated the sections.

You are correct there is no Section 5.5.5 Floodways, I meant 5.3.3. And Section 5.3.3 and Section 6 were jammed together, Tyra fixed this and separated them.

Section 6.4, your edit is fine.

Section 7.5.3, your edit is fine.

ASCE 24 is the American Society of Civil Engineers publication *Flood Resistant Design and Construction*. This publication is mentioned in the State Building Code, your building official may have a copy, and that is why I included it. I was aiming for the regulations to match the building code requirements. You can just spell out the entire name of the publication. Here is a link to a highlight of this publication: https://www.fema.gov/sites/default/files/2020-07/asce24-14_highlights_jan2015.pdf

If you want to include a definition for "Community" as the Town of Thompson that is fine. Seems self-evident but does no harm.

If you want to change the term "registered professional engineer/architect" to what you have listed that is fine. It is likely an antiquated term and I have had a few other towns change it also

Yes it should say Section 5.3.2 (a) - (h) or if you want to make it even simpler just say Section 5.3.2 Elevated Buildings.

4.3.1 g) and h) "Record Elevation" - FEMA simply wants you to maintain on file the elevation data of structures built in the floodplain. You can say "Obtain and maintain records" or something similar. Below is how it is shown in 44 CFR 60.3:

(5) Where base flood elevation data are utilized, within Zone A on the community's FHBM or FIRM:

(i) Obtain the elevation (in relation to mean sea level) of the lowest floor (including basement) of all new and substantially improved structures, and

(ii) Obtain, if the structure has been floodproofed in accordance with paragraph (c)(3)(ii) of this section, the elevation (in relation to mean sea level) to which the structure was floodproofed, and

(iii) Maintain a record of all such information with the official designated by the community under § 59.22 (a) (9)(iii);

Section 6 Subdivision Proposals. If you feel this is the responsibility of the Thompson P&Z Commission then you can change it. I think the language here is trying to stress that when a subdivision application comes in staff (example Building Official) should be requiring BFE data. But again if you feel it is the responsibility of the P&Z then change it to whatever is most accurate in Thompson.

5.1.14 Compensatory Storage - The compensatory storage and equal conveyance requirements are state requirements. They are not FEMA requirements. See this old newsletter article for explanation: https://portal.ct.gov/-/media/DEEP/water/flood_mgmt/torrent/summer2004pdf.pdf. And yes the language in sections 5.1.13 and 5.1.14 are meeting the requirements of the CGS 8-2I. When any town updates their flood regulations I have them add this language into the update.

diane

Diane S. Ifkovic
State of Connecticut
Department of Energy & Environmental Protection
79 Elm Street
Land & Water Resources Division, 3rd floor
Hartford, CT 06106
Phone: (860) 424-3537
Email: diane.ifkovic@ct.gov

Agenda Item I

Citizens Comments on Agenda Items

Agenda Item J Reports

a) Budget & Expenditures

b) Wetlands Agent Report

Agenda Item K, Correspondence

None

Agenda Item L, Signing of Mylars

None

Agenda Item M, Comments by Commissioners

Agenda Item N, Adjournment