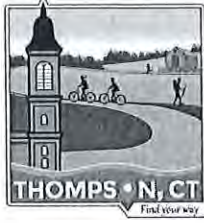


INLAND WETLANDS COMMISSION  
TUESDAY, May 9, 2023  
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C)a)  
Action on Minutes of Previous Meeting  
Minutes of April 4, 2023



**TOWN OF  
THOMPSON  
Inland Wetlands Commission**

815 Riverside Drive, P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

RECEIVED  
TOWN OF THOMPSON, CT.  
2023 APR -6 P 3:02  
*Concetta Blair*  
TOWN CLERK

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**MEETING MINUTES: Tuesday, April 4, 2023, 7:00PM**

*Via ZOOM Online Meeting Portal*

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- A) The meeting was called to order at 7:00 PM by Chairman George O'Neil who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer) Fran Morano (Commissioner), Marla Butts (Wetlands Agent), Gloria Harvey (Recording Secretary)

Members of the public: Janet Blanchette, J & D Civil Engineers, Bernard Mayo, Roberta Gray, Jason Lavallee, Deb LeBlanc and others.

- B) Appointment of Alternates - None

- C) Action on Minutes of Previous Meetings

- a) The Minutes of March 14, 2023 were unanimously accepted as presented.

- D) Citizens Comments on Agenda Items - None

- E) Applications

- a) Old Applications

1. **WAA22029**, Gary Rawson, 46 Logee Road (Assessor's map 141, block 17, lot 184R), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, awaiting NDDH approval. Originally this application was 0 Logee Road but because the applicant applied for a Building Permit for the home, the address is now 46 Logee Road. No action is required by the Commission at this time.
2. **WAA23001**, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks. One 50' x 13' over proposed concrete slab and one 18' x 36' along entire width of the south side of the building. Application is on hold pending receipt of revised drawings to match what he has indicated in writing. Marla spoke with the Building Office who advised her they received from Norm Thibeault a deck layout but not an architectural certification for structural stability for which it is designed. The Building Office has contacted Hany Youssef to inform him he needs to have plans, signed off by a professional engineer, that can attest to the integrity of the structure for which it is intended, including a footprint of the supports for the deck ensuring they are not in the 100-year floodplain. Charlie Obert questioned the storm drain placement, and the placement of the footings. Marla responded that the plan is not to touch the drain at all but to leave it as is. There will be no concrete work for a patio under the deck.

**IWA23002**, Jason Lavallee, 0 Azud Road, (Assessor's Map 67, block 53, lots 1H and 1G), construct multifamily dwellings in 5 phases within upland review area with drainage discharging to wetlands/watercourses, stamped received 2/7/2023, statutory receipt date 2/14/2023. Marla stated that the 65-day extension granted by Jason Lavallee was received via email. A chart showing the timelines for this project was discussed. Janet Blanchette of J & D Civil Engineers provided a summary of changes revised to address comments from the Commissioners and the Wetlands Agent. She stated that Margaret Washburn confirmed the ponds are functioning as vernal ponds. J & D Surveyors surveyed the edges of the ponds and added those limits to the plan. Building "F" has been removed from this project due to concerns regarding construction and long term impact to the wetlands. There will be no disturbance to the steep slope uphill of the wetlands, reduced disturbance in upland review area, drainage pipe relocated and proposed impervious reduced. The third well, which is an alternate well, was moved outside of the 100' upland review area, and the two remaining wells will be sufficient to provide domestic water. The stormwater discharge system has been designed with no direct discharges to the wetlands or ponds. The basins and stormwater system have sufficient capacity that runoff from the site will not adversely affect the Riverside Drive drainage system. Jason Lavallee set aside 5.35 acres or 45% of the 12 acres for conservation land to be maintained in a natural condition significant for vernal pools and protecting habitat. Janet Blanchette stated the applicant is not asking for any action by the Commission this evening. Charlie Obert commented that manmade wetlands, though not pristine, are a nice resource and he was glad to see expansion of the runoff area. Marla commented on the hydraulics that were done and stated that this is not within her expertise to review. She asked the Commission to consider hiring another engineer to take a look at the hydraulics given the complexity of this project. Charlie Obert questioned if the property can support these wells and not impact in unexpected ways and suggested hiring someone more capable and knowledgeable to review the hydraulics. Diane Chapin stated she was not opposed to another set of eyes reviewing the hydraulics and Fran Morano suggested having Marla investigate which engineering firm would be available to review the hydraulics and the cost. Diane Chapin suggested Marla explore cost and check into additional resources to perform this review which the Commission will discuss in May. George O'Neil agreed and asked Marla to proceed with this request.

3. **IWA23003**, Bernard P Mayo, 73 Laporte Road, (Assessor's Map 55, block 65, lot 7A), filling of wetlands for the construction of new detached garage associated with existing single-family house, stamped received 3/3/23, statutory receipt date 3/14/23. Marla reported an alternative plan with less impact to wetlands and watercourses was received and she has no objection to approving the alternative plan. Charlie Obert made a motion to approve the proposed plan as revised for application **IWA23003**, Bernard P Mayo, 73 Laporte Road, (Assessor's Map 55, block 65, lot 7A). The motion was seconded by Diane Chapin. Discussion followed. Bernard Mayo expressed concern regarding financial commitments, encountering bedrock, NDDH rerouting of sewer, and turf stabilization issue. Marla stated that approval now would be a simple plan revision for stabilization and moving the building over in the upland review area. Moving the sewer line would require approval from the Board of Health. However, filling wetlands would require a new permit. Mr. Mayo asked what constitutes a hardship? Marla replied the presence of bedrock that has to be blasted and can't be blasted close to the well, and suggested he have the site work done now to determine if the site is buildable or not. If the building should need to be moved to a different location requiring wetlands, a new application for a permit would be required, at



which time options would be discussed. Fran Morano asked if the well was pre-existing and if it was a bedrock well? Mr. Mayo replied it is pre-existing. Fran Morano suggested he contact the NEDH, who should have a well drilling record of the pre-existing well. The motion to approve the revised plan was unanimously **APPROVED**.

b) New Applications

1. **WAA23005**, Matthew Saad, 33 Becola Road, (Assessor's Map 116, block 24, lot 26), repair and replacement of septic system for residential home (reapplication for expired Approval WAA16023, stamped received 3/20/23, issued 3/20/23, legal notice to be published 3/31/23, end of appeal period 4/14/23. No action required by the Commission at this time.
2. **DEC23008**, Philip LeBlanc, 295 Linehouse Road, (Assessor's Map 55, block 69A, lot 3A), earthmoving to remove glass contaminating soil and regrading for garden as use permitted as of right, stamped received 3/27/23. Marla stated this application is in response to a Notice of Violation. Deb LeBlanc stated this site was previously a family dump and their plan was to remove the glass from the soil and plant a garden. She admitted they interpreted the regulations incorrectly and didn't believe gardening needed approval, so they immediately responded and filed a request for a declaratory ruling to address the concern in the notice of violation. Pictures of the site were reviewed and Marla stated she has no objection to the Commission issuing an approval of this application as a use permitted as of right for the maintenance and enjoyment of a residential home. There is no evidence of any sediment leaving their property. Diane Chapin made a motion to approve DEC23008 for Philip LeBlanc, 295 Linehouse Road, (Assessor's Map 55, block 69A, lot 3A), earthmoving to remove glass contaminating soil and regrading for garden as use permitted as of right. Fran Morano seconded the motion. Diane Chapin thanked the LeBlanc's for their prompt action in this matter. The motion was unanimously **APPROVED**.

c) Applications Received After Agenda was Published - None

F) Permit Extensions / Changes - None

G) Violations & Pending Enforcement Actions

- a) **Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021 – There is no change in this violation. All equipment has been removed from the site. Marla will contact Mr. Baer by the next meeting to see if he has found a new builder and site contractor.
- b) **Notice of Violation VIOL22031**, Douglas and Roberta Gray, 0 New Road, (Assessor's map 154, block 3, lot 2J), watercourse alternation causing flooding, issued 1/23/22 – No report has been received from Mr. Calabro for the flow along his driveway in order to address the concerns that the Gray's had regarding the water going over their property. Marla spoke with Norm Thibeault who informed her that it appears that they will be able to make the flow line go down the driveway and she expects to receive a report within the next two weeks. No further action is required by the Commission at this time.
- c) **Notice of Violation VIO23006**, Philip and Debra Joan Leblanc, 295 Linehouse Road, (Assessor's map 55, block 69A, lot 3A), earthmoving in 100-foot upland review area, Issued 3/20/23 – Declaratory ruling is approved. Philip and Debra Leblanc responded as required, and this Notice of Violation VIO23006 is closed. No further action is required by the Commission.
- d) **Notice of Violation VIOL23007**, Kevin Calabro, 117 New Road, (Assessor's map 154, block 3, lot 3H), earthmoving in 100-foot upland review area, issued 3/24/23 – Grading work has been done

in the upland review area. Marla informed Mr. Calabro that the septic underdrain, grading in the upland review area, and work along the driveway needs to be addressed in one application by the next IWC meeting. Marla spoke with Norm Thibeault who confirmed that the grading work Mr. Calabro just did was in the upland review area. Marla told Norm Thibeault the subsurface drain for the septic system, the grading area he just did, and water flow along the driveway would all have to be included in any site plan.

#### H) Other Business

##### a) Election of Officers

Fran Morano nominated the current board stay in place. Diane Chapin seconded the motion. Charlie Obert made a motion to close the nominations. Diane Chapin seconded the motion. The motion was unanimously **APPROVED**.

##### b) Review of By-laws

Marla stated that the By-laws as presented contain all the amendments and language that were agreed upon at last month's meeting. Charlie Obert made a motion to approve the updated and corrected By-laws. Diane Chapin seconded the motion. The motion was unanimously **APPROVED**.

##### c) IWC Regulations Revisions

A Special Meeting of the IWC will take place on Thursday, April 6<sup>th</sup> at 6:00PM in the second floor conference room to discuss the IWC Regulations Revisions. Marla stated she has some concerns about conceptual subdivision approvals. She will send the revisions she has so far to all the Commissioners. George O'Neil stated this meeting is a working meeting for the Commissioners with no public comments.

##### d) Update on Proposed Subdivision Regulations

PZC is moving fast forward on revising the Subdivision Regulations. A Special Meeting is scheduled on their website and Tyra is hoping to get the Subdivision Regulations finalized within a month. Once the Subdivision Regulations are approved, Marla expects to see a significant number of applications coming in for approval.

##### e) FW23 Budget Update

First Selectman, Amy St. Onge commented on the budget request the IWC made requesting \$31.50 per hour at 20 hours a week with the understanding that she would be leaving within the next fiscal year, with the extra time being used to transition her replacement into the job and finish pending tasks. She was advised by Amy that the Board of Selectmen decided they were only going to give a 3% increase at 15 hours a week. There will be no significant increase in the staffing budget.

#### I) Citizen's Comments - None

#### J) Reports

##### a) Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2022 to March 30, 2023 is \$8,765.31, and the IWC has expended 68% of the budget.

##### b) Wetlands Agent Report

Update – Marla is working on drafting revisions to the IWC Regulations. She is also making progress on the destruction of the pre-1990 files with the help of Fran Morano.

Inspections/Followup Actions – **Complaint 23-02**, Report of tree cutting and earthmoving along former railroad bed southwest of Laporte Rd – Notice of Violation VIOL23006 was issued resulting in the submission of Application DEC23008 which has been approved and closed as a use permitted as of right.

Building Permits – 5 Building Permits were reviewed

Miscellaneous – Nothing to report at this time.

Purchase Requisitions – Paid \$29.40 (P.O. 123356), Stonebridge Press, legal notice Marrier, WAA23003. Encumbered \$80.00, Stonebridge Press, legal notices Rawson WAA22030 & Saad WAA23005. Encumbered \$14.99 (P.O. Box 123391) W.B. Mason, box of letter sized manila file folders. Marla commented that in the Professional Services line item in the current budget there is \$300 that hasn't been used and would be available to hire an engineer to review the Azud Road hydraulics shown on the J & D Engineering plans for application IWA23002, Jason Lavallee.

K) Correspondence - None

L) Signing of Mylars-None

M) Comments by Commissioners

George O'Neil thanked everyone for their hard work and said he hopes to see everyone at the Special Meeting on Thursday, April 6, 2023 at 6:00PM.

N) Adjournment

At 8:22 PM after completion of the agenda, Diane Chapin made a motion to adjourn the meeting. The motion was seconded by Commissioner Obert. The motion was unanimously **APPROVED**.

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To see/hear the entire meeting via ZOOM, copy and paste the following link into your search bar:

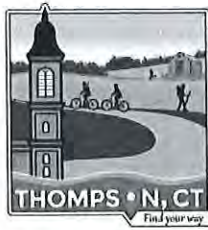
<https://us02web.zoom.us/j/8555owOREsmD2cdqkwsxbxlgBUa2pFFVcOQ6fU1V0YzaL3hCcdEfeX8IPB5uExZh.Pm5V7cyRFee1dq02>

Passcode: AiQ@\*35s

Respectfully submitted, Gloria Harvey, Recording Secretary

*Gloria Harvey*

Agenda Item C)b)  
Action on Minutes of Special Meeting  
Minutes of April 6, 2023



**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive, P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

RECEIVED  
TOWN OF THOMPSON, CT.  
2023 APR 11 A 8:54  
*Neil Lupton*  
TOWN CLERK, *ass*

Minutes – Special Meeting  
Inland Wetlands Commission  
Thursday, April 6, 2023, 6:00PM  
Second Floor Conference Room, Thompson Town Hall  
815 Riverside Drive, North Grosvenordale, CT 06255

A. Call to Order

The meeting was called to order at 6:15 PM by Chairman George O'Neil.

B. Roll Call

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer) Fran Morano (Commissioner) via phone at 6:20PM, Marla Butts (Wetlands Agent), Gloria Harvey (Recording Secretary)

C. Discussion on Revisions to Thompson Inland Wetland and Watercourses Regulations

The Commissioners discussed Conceptual Subdivision Applications versus Single Permit applications pertaining to regulated activities for lots and roads. The language for shared driveways, shared responsibilities, and maintenance agreement for shared driveways was also discussed. Marla will draft the proposed language for the IWC Regulations.

The fee schedule to cover processing costs on applications was discussed. Due to market factors, activity, and justification of the hourly rate, an increase was proposed and a notation will be added for a consultant should one be necessary.

The Wetlands Agent authority to approve uses permitted as of right for non-regulated uses in the upland review area only was discussed in order to speed up the process for the applicant. Such granting will be recorded in writing and reported to the IWC at its next regular meeting if approved. An administrative fee was also discussed to process these approvals.

Other discussion involved an administrative change on item 11.6 on page 24 of the current IWC Regulations, proposed formatting and clarification changes to Thompson IWC Regulations and re-formatting the cover page of the IWC Watercourses Regulations.

D. Adjournment

After all the business on the agenda was covered, the meeting adjourned at 7:14 PM.

Respectfully submitted, Gloria Harvey, Recording Secretary

*Gloria Harvey*

Agenda Item D)

Citizens Comments on Agenda Items



## Agenda Item E.a) 1. Old Applications

WAA22029, Gary Rawson, 0 Logee Road (Assessor's map 141, block 17, lot 184R), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, issued 5/3/23, legal notice to be published 5/12/23, end of appeal period 5/27/23.



**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
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Web: <https://www.thompsonct.org/>

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**WETLAND AGENT APPROVAL WAA22029**

**APPROVAL GRANTED TO:**

Gary Rawson  
3 Logee Road  
Thompson, CT 06277

**DATE OF APPROVAL:** May 3, 2023

**EXPIRATION DATE:** May 3, 2028

**LOCATION OF AUTHORIZED ACTIVITY:** 46 Logee Rd (formerly 0 Logee Rd), Assessor's Map 141, Block 17, Lot 184R

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with the construction of a new single family home in the 100-foot upland review area for Quaddick Reservoir as shown in Wetlands Agent Approval Application WAA22029 stamped received by the Thompson Wetlands Office November 16, 2022 and as shown in drawing(s) entitled "Site Development Plan Prepared for Gary Rawson 0 Logee Road - Thompson, CT Map141 Blok 17 Lot 184R" prepared by J&D Civil Engineers, LLC dated November 8, 2022, stamped received November 16, 2022.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: \_\_\_\_\_

Marla Butts

Dated: \_\_\_\_\_

May 3, 2023

## Agenda Item E.a) 2. New Applications

WAA23001, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks: a 50' x 13' over proposed concrete slab and an 18' x 36' along entire width of the south side of the building, under review – on hold pending receipt of revised plans.

## Agenda Item E.b) 3. Old Applications

IWA23002, Jason Lavallee, 0 Azud Road, (Assessor's Map 67, block 53, lots 1H and 1G, construct multifamily dwellings in 5 phases within upland review area with drainage discharging to wetlands/watercourses, stamped received 2/7/2023, statutory receipt date 2/14/2023, received written 65-day grant of extension to process application, revised plans received 3/30/23.

## Marla Butts 4/6/23 Meeting Notes on Application IWA23002

Meeting in 2<sup>nd</sup> floor conference room began at 3:30 pm with Janet Blanchette of J&S Engineers LLC, Applicant Jason Lavallee, Soil Scientist Margaret Washburn, ZEO Cynthia Dunne, First Selectman St Onge, Director of Planning and Development Tyra Penne-Gesik.

Discussed snow plowing operations. Janet will place note on plans regarding where plowing can occur and adjust grades to avoid overland snow melt discharge into vernal pool wetlands.

Discussed wells and possible loss of water to vernal pools. Janet had previously reported to the IWC that that Well # 2 was moved outside of the upland review area and well 3 is more than 200 feet away from the wetlands. Also, she had told the IWC the wells would be in bedrock covered by 10'-30' of till and were expected to be high yield with a drilled depth of 300' - 400', so Well #3 might not even be needed.

I provided copies of my research on the bedrock geology that showed the site to be in the Tatnic Hill Formation (a medium grained gneiss or schist). A review of information on the internet revealed water yields of this formation can be variable. I provided a copy of a May 28, 2021, hydrogeologic impact assessment for Agbotic Greenhouses in Mansfield CT showing varied yields ranging from 1.7 – 20 gallons/minute. Jason reported that based on well drilling records for the nearby homes on Ballard Road he believes his proposed well yields will more than adequate for his development needs. Also, Jason stated the water from the wells is isolated from the near surface water table since bedrock wells are drilled with 10 feet of well casing pounded into the bedrock to prevent the infiltration of near surface water. Janet agreed to provide the IWC with an illustration of the well installation. It was agreed that the stormwater management systems will support increased infiltration into the till and help to support the ground water discharge to the wetlands.

Margaret reported her determination that the wetlands contains 2 vernal pools and it was agreed that no further sampling was required. She suggested and I agreed replacing the proposed silt fence near the wetlands with woodchip berms was appropriate as they can be just effective and do not represent an obstruction animal passage. Janet will include it on revised plans.

Janet raised concerns about a request for a peer review of the hydraulics so late in the application process. Based on her experience such requests are made at the time of application submission, can take several months to perform and can be expensive. She said CTDOT has reviewed the development proposal and found it to be acceptable. She will provide a copy of the approval letter to the IWC. Additionally, a follow-up meeting for April ?? was set for her to go over and explain the hydraulic report with me.

## Marla Butts 4/10/23 Meeting Notes & Comments on Application IW23002 Hydraulics Report

Meeting held in Wetlands/Conservation Office with Janet Blanchette, Jason Lavallee and Conservation Officer Dan Malo. Janet reviewed the methodology used to evaluated the drainage system. Contributing drainage area is about 8 acres. There are 3 separate points of interest that discharge from the site: Catch basin on Route 12 (Reach 5R), New Culvert on Adud Rd (Reach 6R) and a catch basin on Azud Road (Subcatchment S). Each one of these is evaluated individually for subcatchment and storage areas for both preconstruction and post construction conditions, resulting in a calculated pre- and post-construction discharge. These pre- and post-construction discharges are summarized on page 5 of the Stormwater Management Report. Except for the 100-yr storm at the Azud Rd culvert all post construction discharges are expected to be less than preconstruction discharges.

Based on these calculations there is about ½ foot of free board above the 100-yr calculated flood elevation for the Phase 2 Stormwater Pond (1P, free discharge elevation 356.54, see Page 19) before it could overtop the embankment that separates it from the wetland/vernal pool (berm elevation 357.0, spillway elevation 355.5 as noted on typical X-section, Plan Sheet 11).

Janet delivered revised plans that added identification of snow storage areas, woodchip berm details and graded guest parking towards the driveway and away from the wetlands.





STATE OF CONNECTICUT  
DEPARTMENT OF TRANSPORTATION

DISTRICT II  
171 Salem Turnpike  
Norwich, Connecticut 06360  
Phone:



RECEIVED  
4-6-23  
CJP

April 4, 2023

Mr. Dennis Blanchette, PELS  
J & D Civil Engineers, LLC  
401 Ravenelle Road  
North Grosvenordale, CT 06255

Dear Mr. Blanchette:

Subject: Hillside Townhomes  
Riverside Drive / Route 12  
Town of Thompson

This office has completed our review of the submitted plans entitled, "Hillside Townhomes – Riverside Drive – Thompson, Connecticut" dated January 31, 2023, and last revised March 7, 2023. A final determination has been made and we find the proposal acceptable with no further comments at this time.

As regulated by Connecticut General Statute 13b-17, no work is to commence within the State right of way without first obtaining a DOT encroachment permit. In order to obtain the required encroachment permit, the following documents must be provided:

- Two complete sets of the latest town-approved plans (40 scale or larger).
- A completed encroachment permit application (State Form PMT-1 Rev. 5/91).
- A Bond on State Form CLA-5 in the amount of \$10,000 in the owner or developer's name.
- Proof of minimum insurance requirements (General Liability of \$1,000,000 and Aggregate of \$2,000,000). Insurance may be carried by the contractor.
- A check or money order in the amount of \$25 payable to "Treasurer – State of Connecticut."

These forms, along with additional information, may be obtained at [www.ct.gov/dot](http://www.ct.gov/dot).

This approval is valid for 3 years from the issue date of this letter.

If you have any questions in regard to this matter, please contact Mr. Gary Brigham of this office at (860) 823-3114, or by email at [gary.brigham@ct.gov](mailto:gary.brigham@ct.gov).

Sincerely,

Carlos M. Wimberly  
Special Services Section Manager  
Bureau of Highway Operations

cc: Thompson Planning and Zoning



# **WASHBURN WETLAND CONSULTING LLC**

**19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022**

**Telephone (860) 428-8424 • washburnwetland@gmail.com**

Janet Blanchette

J & D Civil Engineers

401 Ravenelle Road

North Grosvenordale, CT 06255

April 8, 2023

Dear Janet,

On April 29, 2023, at your request and with your assistance, I conducted a site investigation on the Hillside Townhomes property off Route 12 and Azud Road in Thompson, CT (Map 67 Block 53 Lots 16 and 1H). The purpose of the site investigation was two-fold. The first goal was to confirm my findings from 2004 when I first reported hearing wood frogs chorusing from the upper pool. The second goal was to evaluate both the lower pool and the upper pool for obligate and facultative vernal pool species.

## Lower Pool

Following the attached vernal pool protocol I prepared for you on March 22, 2023. We approached the wetland quietly and slowly, looking for animals on the surface and around the edges. None were observed. We listened for chorusing; one spring peeper was calling. We turned over logs and tires to look for animals; none were observed. We were at this pool from about 10:15 am until about 11:00 am.

In your presence, I entered the standing water in the lower pool with a net, swept the water for fairy shrimp and amphibian larvae, and made 8 water depth measurements, in 2 transects, one from northwest to southeast and one from southwest to northeast. The average water depth in the lower pool is 6 inches.

Fifteen wood frog egg masses were observed in the deepest part of the pool (9.5 inches).

No fairy shrimp, fish, salamander egg masses or bullfrog tadpoles were observed. Large quantities of algae and some winged insects were observed.

Please refer to the attached vernal pool data forms and photographs for more details.

In conclusion, the lower pool appears to function as a vernal pool.

## Upper Pool

Following the attached vernal pool protocol I prepared for you on March 22, 2023. We approached the wetland quietly and slowly, looking for animals on the surface and around the edges. None were observed. We listened for chorusing; one spring peeper was calling. We turned over logs and tires to look for animals; none were observed. We were at this pool from about 11:00 am until about 12:00 pm.

In your presence, I entered the standing water in the lower pool with a net, swept the water for fairy shrimp and amphibian larvae, and made 6 water depth measurements, in 1 transect, one from north to south down the middle of the pool. The average water depth in the lower pool is 7 inches.

Approximately 150 wood frog egg masses and 16 viable (fertile) spotted salamander egg masses were observed in the upper pool. Also, 4 atypical, apparently unfertilized, spotted salamander egg masses were observed.

No fairy shrimp, fish or bullfrog tadpoles were observed. Large quantities of algae and some winged insects were observed.

Please refer to the attached vernal pool data forms, sketches and site photographs for more details.

In conclusion, the upper pool appears to function as a vernal pool.

### Conclusions

In conclusion, both the lower pool and the upper pool function as vernal pools. There is nothing exceptional about these manmade vernal pools. As vernal pools go, they are quite small and shallow, particularly the lower pool. The upper pool is 5,682 sq. ft. or 0.13 acres in size. The lower pool is 1,786 sq. ft. or 0.04 acres in size. There are literally hundreds, if not thousands, of vernal pools in the Town of Thompson, with the same vernal pool species present.

This is an excerpt from the spring 2022 newsletter of the CT Association of Conservation & Wetlands Commissions (CAWS): "Amphibians and development can coexist on a landscape providing the design preserves the water quality of the pool and maintains critical habitat linkages between the pool and distant habitat elements such as forest blocks, wetlands and other vernal pools." This is an excerpt from the spring 2022 newsletter of the CT Association of Conservation & Wetlands Commissions (CAWS).

The overall design of this project, including the removal of one of the proposed buildings, and incorporation of sediment controls designed to facilitate amphibian movement, will accomplish these goals. Water quality in the vernal pools will be preserved. Critical habitat linkages between the vernal pools and distant habitat elements will be maintained, due to the permanently protected conservation areas.

It has been a pleasure working for you on this site. Please feel free to call me if I may be of further assistance.

Sincerely,



Margaret Washburn, M.S.  
Registered Professional Soil Scientist

# **WASHBURN WETLAND CONSULTING LLC**

19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022

Telephone (860) 428-8424 • washburnwetland@gmail.com

## **VERNAL POOL DOCUMENTATION PROTOCOL**

**Prepared for Marla Butts • March 22, 2023**

### **Bring sampling aids:**

Long handled net  
Large Ziploc bags  
Tupperware containers  
Cafeteria tray  
Magnifying glass  
Waders or high-topped waterproof boots  
Tape measure

### **Bring documentation aids:**

Site plan  
Camera  
Field forms, pens  
Clipboard  
Notebook/sketch pad  
Field guides  
Tape recorder/cell phone recording device

### **Amphibian Life Stages to Document:**

#### **Breeding adults:**

For frogs and toads:  
Listen for chorusing. Look for mated pairs in amplexus.  
For salamanders: Look for "courting" behavior or spermatophores.

**Spermatophores** are small (approximately ½ inch) white packets of sperm deposited on leaves or vegetation by male salamanders.

**Eggs:** These are various shapes and sizes, usually indicative of species.

**Larvae:** Larvae are also known as tadpoles.

Transforming juveniles: Transforming juvenile frogs or toads show some remnant of a tail, and transforming salamanders have gill remnants.

### **Observation tips**

Approach the pool slowly and quietly while looking for larger animals like frogs and turtles that might be resting on the surface.

Listen for chorusing from a distance. Record the sounds if chorusing is heard.

Walk around the pool slowly, looking in the water for anything obvious such as salamanders, egg masses, etc.

Avoid disturbing the shoreline by excessive tramping.

Turn over logs, rocks and other debris on or near the edge of the pool to look for salamander adults and juveniles. Do this gently and return anything you move to its original condition.

Egg masses are often associated with shrubs or sticks in the pool.

### **Timing**

It is proposed to visit the 2 vernal pools on the weekend of 3/25 & 26 and the weekend of 4/1 & 2.

### **Procedure**

Each pool will be evaluated separately. Make transects across each pool in north/south and east/west directions to calculate average water depth.

Photograph each pool from more than one direction.

Note the date, time, weather, and substrate of pool on the forms.

Note whether ice is present, and if so, how thick it is/what portion of the pool is covered.

Sweep the pool with a long-handled net for fairy shrimp.

Try to locate egg masses and lift them gently to the surface in a Tupperware container.

Photograph egg masses or other life stages in Tupperware containers or clear plastic bags.

Carefully return all life stages with as little disturbance as possible.

Photograph and document facultative species observed on the evaluation forms.

Submit a narrative report for each pool, including forms and photographs.



**VERNAL POOL DATA FORM**  
2008 FIELD SEASON

PROJECT	Jason LaVallee Hillside Townhomes		
DATE	4/2/03	WEATHER	Sunny, windy
OBSERVERS	M. Washburn	CONDITIONS	mid-40's

+ Janet Blanchette

POOL CHARACTERISTICS			
WETLAND #	lower pool	LENGTH & WIDTH	
TOWN	Thompson	CLOSEST WETLAND FLAG	WF9
AVERAGE WATER DEPTH	6 inches	COVER TYPE	PEM PSS (PFO)

palustrine forested

**SUBSTRATE TYPE:**

- ☐ Peat
- ☒ Leaf Litter
- ☐ Sand
- ☐ Gravel
- ☐ Cobble
- ☐ Mud/Muck

**DOMINANT VEGETATION WITHIN POOL:**

Red maples  
Winterberry  
High bush blueberry  
Algae present

**Breeding Criteria Codes**

1	Breeding chorus
2	Egg masses
3	Frog tadpoles
4	Salamander larvae
5	Presence of adults

OBLIGATE SPECIES	CODE	QUANTITY
Wood frog	2	15 masses
Spotted salamander	NO	N/A
Jefferson salamander	NO	N/A
Blue-spotted salamander	NO	N/A
Spadefoot toad	NO	N/A
Fingernail clams	NO	N/A
Marbled salamander	NO	N/A
Unidentified mole salamander	NO	N/A
Fairy shrimp	NO	N/A

**FACULTATIVE SPECIES:**

- ☐ Red-spotted newt adults
- ☐ Spotted turtles
- ☐ Blanding's turtles
- ☐ Painted turtles
- ☐ Snapping turtles
- ☐ Predacious diving beetles
- ☐ Dragonfly nymphs
- ☐ Fingernail Clams
- ☐ Amphibious snails
- ☒ Spring peepers - one calling
- ☐ American toads
- ☐ Fowler's Toad
- ☐ Caddis fly case/larvae
- ☐ Dragonfly nymphs
- ☐ Damselfly nymphs
- ☐ Leeches
- ☐ Pickerel Frogs

**Additional Species Observed:**

None

**Photo Documentation:**

please see attached.

**Conclusions / Comments:**

Water is 9" deep where egg masses were observed.

**VERNAL POOL DATA FORM**  
**2008 FIELD SEASON**

PROJECT	Jason Lavallee Hillside Townhomes		
DATE	4/2/23	WEATHER	sunny, windy
OBSERVERS	M. Washburn	CONDITIONS	mid-40's

+ Janet Blanchette

POOL CHARACTERISTICS			
WETLAND #	upper pool	LENGTH & WIDTH	
TOWN	Thompson	CLOSEST WETLAND FLAG	WF 25
AVERAGE WATER DEPTH	7 inches	COVER TYPE	PEM PSS PFO

**SUBSTRATE TYPE:**

- ☐ Peat  
☒ Leaf Litter  
☐ Sand  
☐ Gravel  
☐ Cobble  
☐ Mud/Muck

**Breeding Criteria Codes**

1	Breeding chorus
2	Egg masses
3	Frog tadpoles
4	Salamander larvae
5	Presence of adults

**FACULTATIVE SPECIES:**

- ☐ Red-spotted newt adults  
☐ Spotted turtles  
☐ Blanding's turtles  
☐ Painted turtles  
☐ Snapping turtles  
☐ Predacious diving beetles  
☐ Dragonfly nymphs  
☐ Fingernail Clams  
☐ Amphibious snails  
☒ Spring peepers - one calling  
☐ American toads  
☐ Fowler's Toad  
☐ Caddis fly case/larvae  
☐ Dragonfly nymphs  
☐ Damselfly nymphs  
☐ Leeches  
☐ Pickerel Frogs

**DOMINANT VEGETATION WITHIN POOL:**

Red maples  
 Winterberry  
 Highbush blueberry  
 Algae present

OBLIGATE SPECIES	CODE	QUANTITY
Wood frog	2	
Spotted salamander	2	
Jefferson salamander	NO	N/A
Blue-spotted salamander	NO	N/A
Spadefoot toad	NO	N/A
Fingernail clams	NO	N/A
Marbled salamander	NO	N/A
Unidentified mole salamander	NO	N/A
Fairy shrimp	NO	N/A

**Additional Species Observed:**

Carex species (sedge)

**Photo Documentation:**

Please see attached.

**Conclusions / Comments:**

Water is 9.5" deep where most egg masses were observed.





Lower pool photos 4/2/23



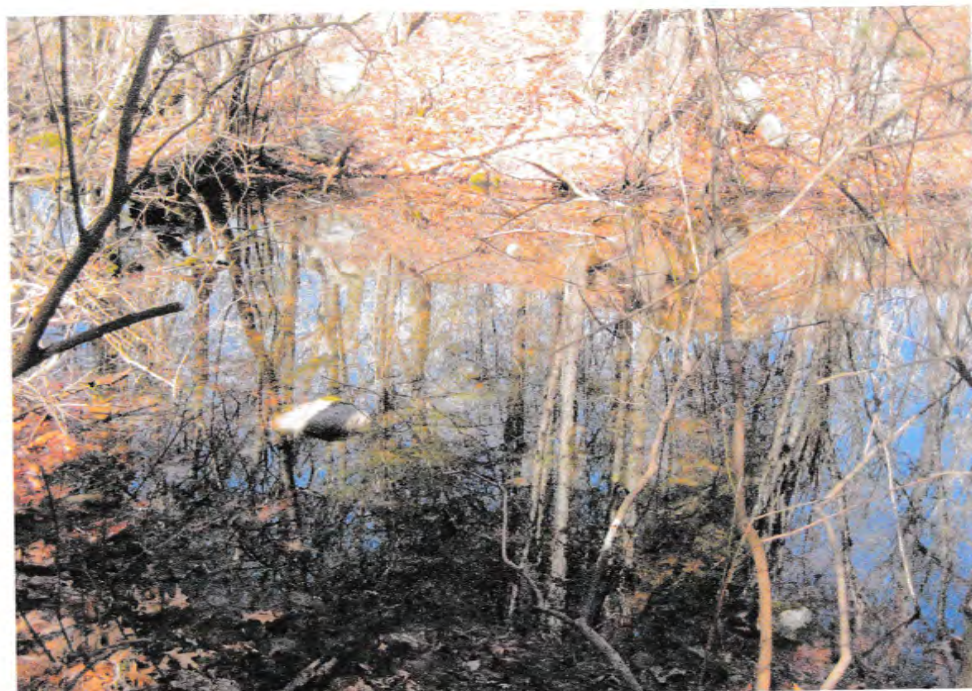
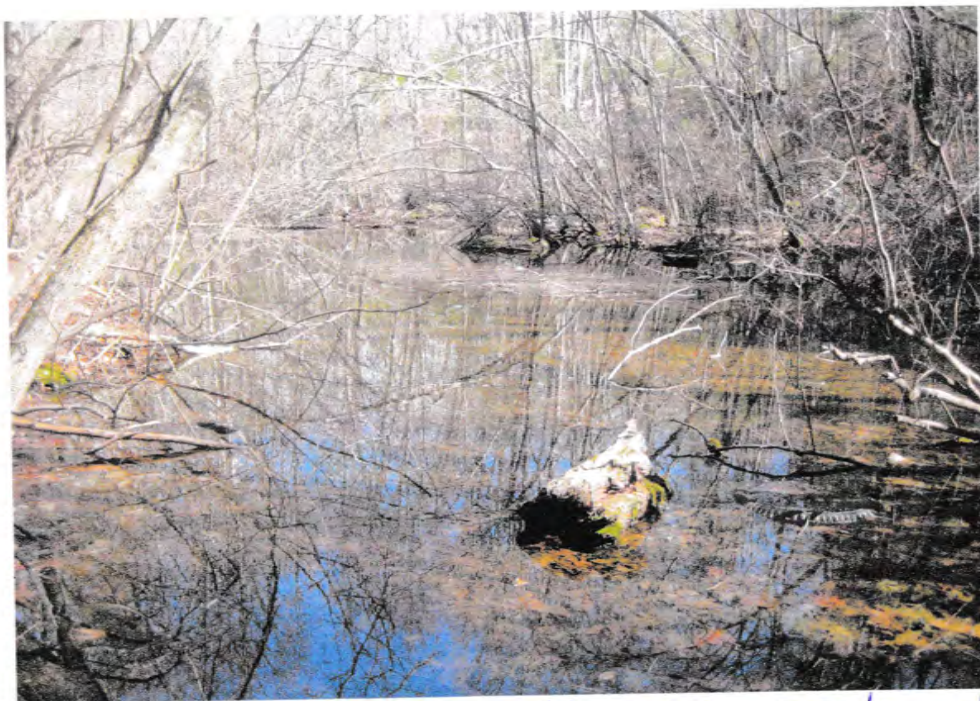




Lower pool wood frog egg masses 4/2/23







Upper pool photos 4/2/23







Upper pool egg masses 4/2/23

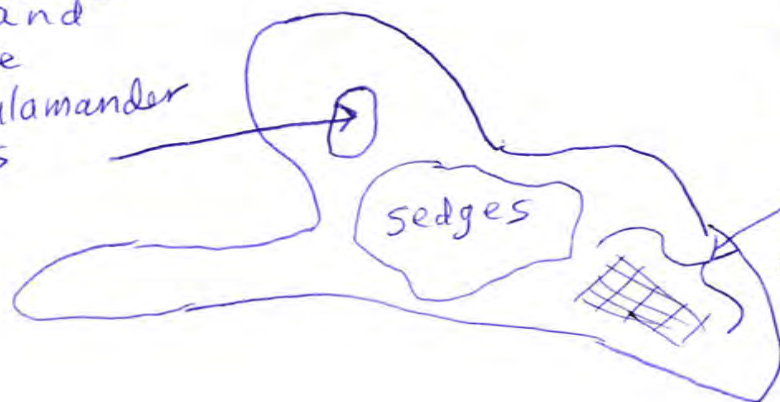




In a 5'x3'  
area:

130+/-  
wood frog egg  
masses and  
4 infertile  
spotted salamander  
egg masses

upper pool



The  
remaining  
egg masses  
were scattered in the sedges  
and south of the central  
patch of sedges

N ←

Vernal pool Evaluation sketch

Prepared for  
Hillside Town homes;

Data collected

4/2/23.

15 wood frog  
egg masses



lower pool

# Town Of Thompson

## Conservation Commission

815 Riverside Drive

North Grosvenordale, Connecticut 06255

## Hillside Townhomes

Riverside Drive & Azud Road

## **DEVELOPMENT REVIEW**

---

To: Thompson Planning & Zoning Commission; Tyra Penn-Gesek, Town Planner

From: Thompson Conservation Commission

Subject: Development Review of the Hillside Townhomes, Lavallee Construction

---

Good afternoon,

The Conservation Commission has walked the site and reviewed the Hillside Townhomes development plan from Jason Lavallee (03-28-23 revision by J&D Civil Engineers, LLC) in it's advisory capacity to the Town's land use commissions regarding natural resources involved in local development proposals.

The site contains two parcels which hold aproximately 5.35 acres in Conservation Easement. One easement contains a vernal pool, described in the 04-08-23 report by Margaret Washburn, M.S.

The Commission raised questions related to the healthy function of the vernal pool:

- Is the Phase 2 stormwater basin, riprap and swale overflow plan sufficient as to not direct stormwater back into the vernal pool?
- Will the close proximity of (3) wells draw down groundwater that supplies the vernal pool?
- What types of improvements are allowed within a well buffer area? Can a well buffer area include a stormwater basin? The Phase 1 basin is within the 75-foot buffer area for Well 1.
- The Phase 2 snow stockpile area appears to shed toward the vernal pool. Has/can an alternative location be considered?
- The proposed Airline trail spur/path is proposed at the top ridge of the vernal pool to the west of a proposed swale. The Commission supports an extension to the trail, but is concerned that it will become a dog-walking path and that waste may enter into the vernal pool and swale. Is a maintenance plan considered along the walking path? Could the walking path be relocated?
- A Phase 4 building is proposed almost entirely within the Upland Review Area east of the vernal pool. Could this building be re-sited or reconsidered?

The Commission raised questions related to the site's ground cover and filtration:

- Were additional opportunities for infiltration of ground water explored, ie 'Rain Gardens', etc. The Commission noted that lawn is not a great infiltrator; and considering that the lot coverage and impervious surface is proposed to increase significantly, additional measures may be needed.
- The Commission expressed concern for the potential increase in salt and oils on the ground due to new driveways/roads, and parking areas. Will a plan be devised to mitigate?
- The Commssion noted that the Phase 3 snow stockpile area is located in a proposed stormwater basin, beyond an area of riprap. Would placing snow their potentially damage the riprap? Has a long-term maintenance plan been developed for the site's stormwater structures?
- The Commission asked that stockpiles over 30 days be covered or seeded to avoid unwanted erosion and sediment transport.
- The Commission would like staff to monitor E&S controls through the duration of the project.

*continued →*

**cc: Thompson PZC, IWC**

**Thompson Board of Selectmen**

**Jason Lavallee**

**J&D Civil Engineers**



**Town Of Thompson**  
**Conservation Commission**

815 Riverside Drive

North Grosvenordale, Connecticut 06255

Hillside Townhomes

Riverside Drive & Azud Road

**DEVELOPMENT REVIEW**

---

There is a strong pull in sometimes opposite directions for conserving open space, and meeting the area need for housing. Residential land is oftentimes the most expensive type of land use for local government to support and can cost the public more money than it pays in taxes and charges; whereas keeping land as open space eliminates the costs of new government services, such as schools, water, trash removal, sewers, policing, and fire protection. The proposed development meets community needs and it is our wish that the project harmonize with the environment as much as can be possible.

The location's proximity to the Airline Trail State Park makes it a curious possibility as a missing link in the trail system (only one other property stands between the Putnam town line). It is the hope of the Commission that any denuding of the property takes place in phases, only after the feasibility of the phase is determined. If future phases are found not to be feasible, it is hoped that as much as the property, as possible, can remain wooded, and explored with the State as an opportunity to expand the Airline Trail. A tie-in, link, or pass through to the trail might increase the interest and value of the units.

Thank you,



Dan Malo  
Conservation Agent

Thompson Conservation Commission

*cc: Thompson PZC, IWC*  
*Thompson Board of Selectmen*  
*Jason Lavallee*  
*J&D Civil Engineers*

April 21, 2023

Conservation Commission  
Town of Thompson  
815 Riverside Drive  
North Grosvenordale, CT 06255

Re: Job #22203  
Lavallee Construction LLC – Hillside Townhomes  
Azud Road and Riverside Drive, Thompson  
Map 67, Block 53, Lots 1G and 1H

Dear Commission Members:

We understand there was some discussion at the recent meeting of the Conservation Commission regarding the proposed multi family development by Lavallee Construction off of Azud Road. The Town Planner provided J&D with a letter (undated) from Dan Malo on April 19, summarizing some of the questions and concerns from the Commission. The following constitutes a response to those questions or concerns. As a general comment, we would like to mention that when this property was first created by subdivision, about 10 acres of the total 30 acres was permanently protected as conservation land. Additionally, much of the site has been heavily disturbed since the 1950's. The existing wetlands and vernal pools on site are manmade and contain a fair amount of garbage and debris from a previous owner. Thank you very much for your attention to this matter, and we look forward to working together with you to get this project approved.

- The proposed stormwater basin for Phase 2 has been designed to prevent any stormwater from entering the vernal pool. There is an earth berm between the basin and the pool with a top elevation of 457. From our drainage model, during a 100 year storm, the maximum water elevation leaving the basin has been calculated at elevation 456.5. Therefore, even during the most extreme storm event, the water should be at least 6 inches below the berm. All water exiting the Phase 2 basin through the riprap swale will enter the wetlands downhill of the vernal pool.
- The proposed wells should not affect the vernal pool. The vernal pool is fed by surface runoff or groundwater that is several feet below the surface. The wells are drilled several hundred feet into the bedrock, and draw water from the aquifer. Having a drilled well deplete surface water is not usually a concern in this region.
- The health code has requirements on what type of improvements can be built near wells. Specifically, the health code (Section 19-13-B51d) requires at least 25 feet separation between a well and "water body or surface water drain." The plans submitted

by J&D are meeting this requirement. All proposed stormwater structures are at least 25' from any proposed wells. The 75' buffer area only applies to items related to sewage: septic tanks, sewage pumps, etc.

- The snow stockpile area does not drain northwest towards the vernal pool. The proposed contours indicate that this area will be sloped towards the road, and drain to the southwest. The side closer to the vernal pool will be at least 6" higher than the side closer to the road. Any snow stockpiled in this location will not drain towards the wetlands.
- The applicant is willing to have a discussion about relocating the proposed walking trail away from the wetlands and vernal pool. One alternative the commission may prefer would be to have the walking trail connect directly to the proposed road, in between buildings P and O.
- In designing these site plans, J&D attempted to avoid impacting any wetlands to the greatest extent practical. Although more than half of Building M is within the upland review area, this building is still at least 65 feet from the wetlands. This building cannot be relocated, the site is fairly small and contains some steep areas that make grading a challenge. The only alternative would be to remove this building from the site plan.
- In designing the drainage system for this project, numerous aspects of Low Impact Design were incorporated to maximize infiltration and minimize impacts to the environment. The proposed drainage design will actually increase infiltration on site, and decrease the total amount of runoff. Under existing conditions, the peak runoff from the site is estimated at 46.2 CFS and the total runoff from the site is 5.4 acre-feet for a 100 year storm. Under proposed conditions, the peak runoff from the site is 43.2 CFS and the total runoff from the site is 3.7 acre-feet for a 100 year storm. Although the amount of impervious area is being increased, the additional runoff from roads and buildings will be directed into basins, which will capture the runoff and allow it to slowly infiltrate into the ground. It is also worth mentioning that both lawn and forest have a very high capacity for infiltration. The drainage model was created using the SCS method, which uses a "curve number" to calculate the amount of runoff or infiltration for a given type of land. A higher curve number means there is very little infiltration, for example a parking lot has a curve number of 98 and a corn field has a curve number of 60. The curve number for forest is 30, whereas the curve number for lawn is 36, meaning that lawns produce slightly more runoff than woods. Both lawns and forests have some of the lowest curve numbers, and provide the largest amount of infiltration. Converting forest land into lawn does not significantly increase runoff.
- The proposed drainage system is exceeding the minimum requirements of the CT Stormwater Quality Manual. The majority of pollutants such as salt/sand/oil are washed away by the first inch of rainfall, and 90% of rainfall events result in an inch or less of rain. The proposed basins are designed to capture and treat this first inch of rain, which is referred to as the Water Quality Volume. Therefore, the drainage system is estimated to capture 90% of the pollutants coming from the roads and driveways. Other features such as sediment forebays and riprap swales will provide further treatment and improve stormwater quality.
- We do not anticipate the riprap swale near the Phase III stormwater basin being damaged by snow plowing. The individual responsible for plowing will be familiar with the site, and should know to avoid that riprap. If a snowplow is found to have been

damaged the swale, the swale can be easily repaired and then protected with stakes or posts.

- This is a fairly common requirement for projects of this nature, and the applicant does not object. Having some town staff monitor and inspect erosion controls is very reasonable.

Very truly yours,

Daniel Blanchette, PE  
J&D Civil Engineers, LLC

Cc: Jason Lavalley, Marla Butts, Tyra Penn Gesek


## incorporated comments for Hillside Homes

Janet Blanchette <janet@jdcivilengineers.com>

Mon 5/1/2023 1:40 PM

To: Marla Butts <wetlands@thompsonct.org>; Conservation <CONSERVATION@thompsonct.org>

Cc: 'Jason Lavallee (Jlavallee0193@charter.net)' <Jlavallee0193@charter.net>

 3 attachments (3 MB)

22203 cover and details 2023-05-01 details sht 10.pdf; 22203 Lavallee final 2023-05-01 Phases 4 and 5 sht 8.pdf; 22203 Lavallee vicinity map 2023-05-01 sht2 Vicinity Map.pdf;

Good Afternoon,

As requested, we relocated the walking trail. That was a good idea to avoid worn grass or pet wastes near the vernal pool. I had chosen the other location so it would potentially be built in the earlier years of the project but I do really like the new location. The earliest residents to move in can just walk through the woods to the airline trail if they want to.

I also added a note to the sequence of construction #4 regarding seeding stockpiles.

The three revised sheets are attached. I was not planning on running hard copies of all 11 sheets and stamping them at this time in case there are other minor comments to incorporate in the plan set with the IW or P& Z commissions this month. The plans will all be reviewed for the chairman signatures.

I believe that we have incorporated and/or answered all the comments. Thanks for being available for multiple meetings and site walks on the project.

Please let us know if the meeting can be in person on May 9<sup>th</sup>. Thanks.

Janet J. Blanchette, PE

J & D Civil Engineers, LLC  
401 Ravenelle Road  
North Grosvenordale, CT 06255  
860-923-2920

[www.jdcivilengineers.com](http://www.jdcivilengineers.com)

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# HILLSIDE TOWNHOMES

PREPARED FOR:  
**LAVALLEE CONSTRUCTION, LLC**

**RIVERSIDE DRIVE AND AZUD ROAD  
THOMPSON, CONNECTICUT**

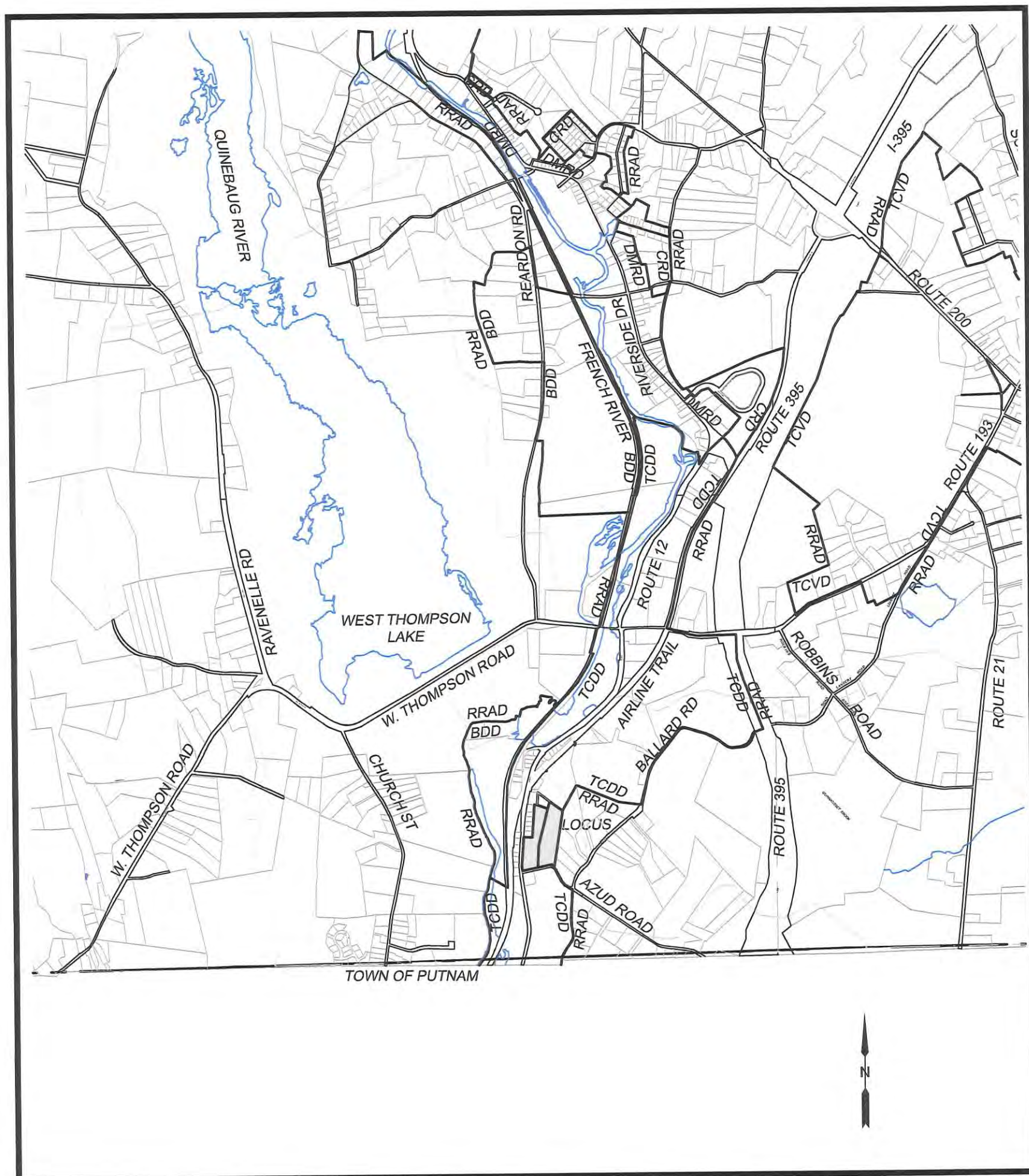
**DATED: JANUARY 31, 2023  
REVISED THROUGH 4-10-23**

PREPARED FOR:  
LAVALLEE CONSTRUCTION, LLC  
83 RICH ROAD  
NORTH GROSVENORDALE, CT 06255

DIRECTIONS TO SITE FROM TOWN HALL:  
HEAD SOUTH ON RIVERSIDE DRIVE (ROUTE 12).  
SITE IS ON THE LEFT JUST BEFORE AZUD ROAD.

## INDEX OF DRAWINGS

- 1 COVER AND LOCATION MAP
- 2 VICINITY AND INDEX PLAN
- 3 PROPERTY SURVEY
- 4 40 SCALE UTILITY AND DRIVEWAY LAYOUT PLAN
- 5 PROFILE SHEET
- 6 PHASES 1 & 2 SITE DEVELOPMENT PLAN
- 7 PHASE 3 SITE DEVELOPMENT PLAN
- 8 PHASE 4 & 5 SITE DEVELOPMENT PLAN
- 9 CONSTRUCTION DETAILS - SEWER AND MISC.
- 10 CONSTRUCTION DETAILS - E & S
- 11 CONSTRUCTION DETAILS - DRAINAGE



## LOCATION MAP

1" = 2000'

## TABLE OF ZONING COMPLIANCE

ZONE: THOMPSON CORRIDOR DEVELOPMENT DISTRICT (TCDD)

ITEM	REQUIRED*	PROPOSED
FRONTAGE	100'	1153' ±
LOT COVERAGE	<75%	24%
FRONT SETBACK	20'	25' ±
SIDE SETBACK	25'	65' ±
REAR SETBACK	25'	269' ±
LOT SIZE	40,000 SF	558,445 SF

\*MULTI-FAMILY, THREE OR MORE UNITS

Received  
APR 10 2023  
Thompson Wetlands Office

PERMIT APPROVAL BY THE THOMPSON  
INLAND WETLAND COMMISSION

CHAIRMAN

DATE

SPECIAL PERMIT APPROVAL BY THE THOMPSON  
PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE

**J & D CIVIL  
ENGINEERS, LLC**

**401 RAVENELLE ROAD  
THOMPSON, CT 06255**

**JDCIVILENGINEERS.COM  
860-923-2920**

Appl IWA23002 Revised Plans Rec'd 4/10/23 Replace Plans Rec'd 3/14/23 22203





SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

**SURVEY TYPE:** COMPILATION PLAN

PURPOSE: TO DEPICT NEARBY PROPERTIES AND STRUCTURES

HORIZONTAL ACCURACY: CLASS D

THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

## 2. REFERENCE PLANS:

(A) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE, THOMPSON CT" ON FILE AS MAP #1562.

(B) MAPGEO GIS WEBSITE, 2019 AERIAL PHOTOGRAPHY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY  
CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE	DATE	12107 LICENSE NUMBER
----------------------	------	----------------------------

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE  
© 2023 J&D CIVIL ENGINEERS, LLC

**LEGEND**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SUBJECT PROPERTY LINE  
ABUTTING PROPERTY LINE  
EASEMENT LINE  
WETLAND SOILS

**VICINITY PLAN & INDEX MAP**

**PREPARED FOR**  
**LAVALLEE CONSTRUCTION LLC**  
**RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT**  
**MAP 67 BLOCK 53 LOTS 1G AND 1H**

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

**DESIGNED: JJB**  
**CHECKED: DRB**

**REVISIONS:**  
2-15-23, 3-28-23,  
5-1-23

**JOB NO: 22203**

**DATE: JANUARY 2023**

**SCALE: 1" = 80'**

**SHEET: 2**



REFERENCE PLANS

- (A) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-WEBSETER ROAD FROM THE GUINEBAUG SCHOOL SO. WESTERLY ABOUT 3,700 FEET ROUTE NO. 12 MAP 141-14 SHEET 1 OF 2 AND SHEET 2 OF 2, DATED SEPT. 1946
- (B) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-GROSVENORDALE ROAD FROM THE PUTNAM TOWN LINE NORTHERLY ABOUT 6,000 FEET ROUTE NO. 12 MAP 141-12 SHEET 1 OF 3, DATED SEPT. 1938
- (C) RIGHT OF WAY AND TRACK MAP THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. OPERATED BY THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. SURVEY STATION 3065+20 TO 3127+30.53 AND SURVEY STATION 3127+30.53 TO 1293+60
- (D) SUBDIVISION OF DWELLINGS AND LANDS OF THE GROSVENOR-DALE COMPANY SOUTH GROSVENORDALE-MECHANICSVILLE, THOMPSON, CONNECTICUT BY WATERMAN ENGINEERING COMPANY MARCH, 1938
- (E) PLOT OF LAND IN MECHANICSVILLE THOMPSON CONN. OWNED BY EDWARD J. BALL SCALE 1" = 20' 1933 GEORGE W. PERRY C.E.
- (F) PLAN OF LAND CONVEYED BY BERTI E. ARNOLD TO PAUL E. AZUD THOMPSON, CONNECTICUT SCALE 1" = 100' OCT. 14, 1959 GILBERT F. PERRY C.E.
- (G) PLAN OF LAND TO BE CONVEYED BY CARMINE DEFILIPPO TO MECHANICSVILLE SUPPLY COMPANY, INC. IN THE TOWN OF THOMPSON, CONN. SCALE 1" = 100' FEB. 20 1952 WILLIAM W. PIKE, SURVEYOR
- (H) GUERIN MILLS INC., BEACMONT MILL THOMPSON LAND RECORDS MAP 151
- (I) PROPERTY SURVEY PREPARED FOR JACK R.E. LLC, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED SEPTEMBER 7, 2007
- (J) PROPERTY SURVEY PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED JANUARY 17, 2011, REVISED 1-24-2011.
- (K) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE RIVERSIDE DRIVE - THOMPSON, CT" BY J & D CIVIL ENGINEERS, LLC, DATED FEBRUARY 3, 2011, REVISED THROUGH 10-24-11, SHEET 3 OF 8

NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: PROPERTY SURVEY

BOUNDARY DETERMINATION CATEGORY: PROPERTY BOUNDARY LINES DEPICTED HEREON CONTIGUOUS WITH PROPERTY BOUNDARY LINES AS DEPICTED ON THE SURVEY REFERENCE PLANS LISTED HEREON ARE A "RESURVEY". THE REMAINDER OF THE PROPERTY BOUNDARY LINES DEPICTED HEREON ARE AN "ORIGINAL SURVEY"

PURPOSE: TO COMBINE LOTS 1G AND 1H.

HORIZONTAL ACCURACY: CLASS A-2

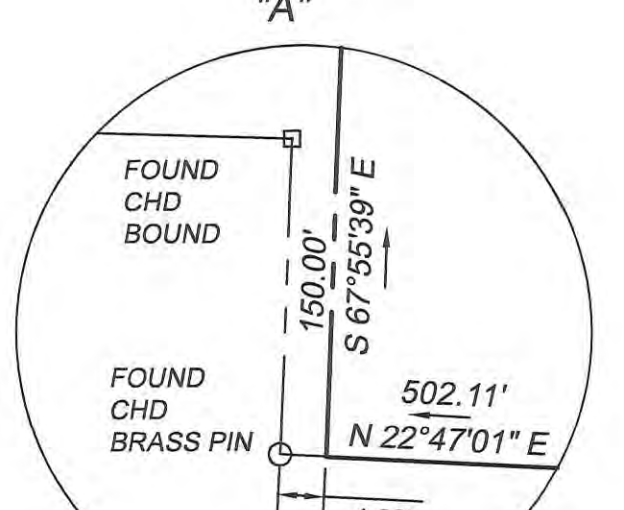
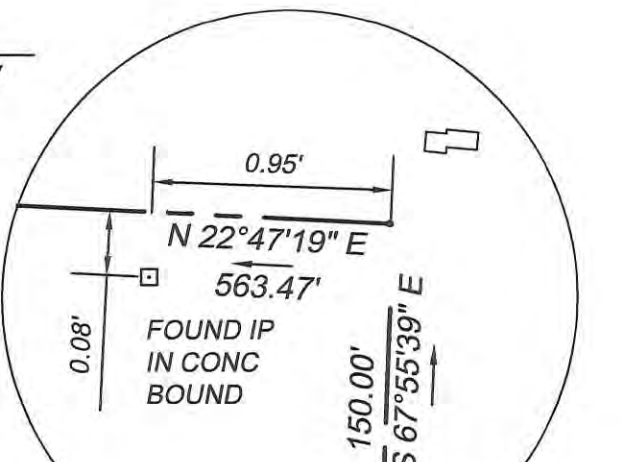
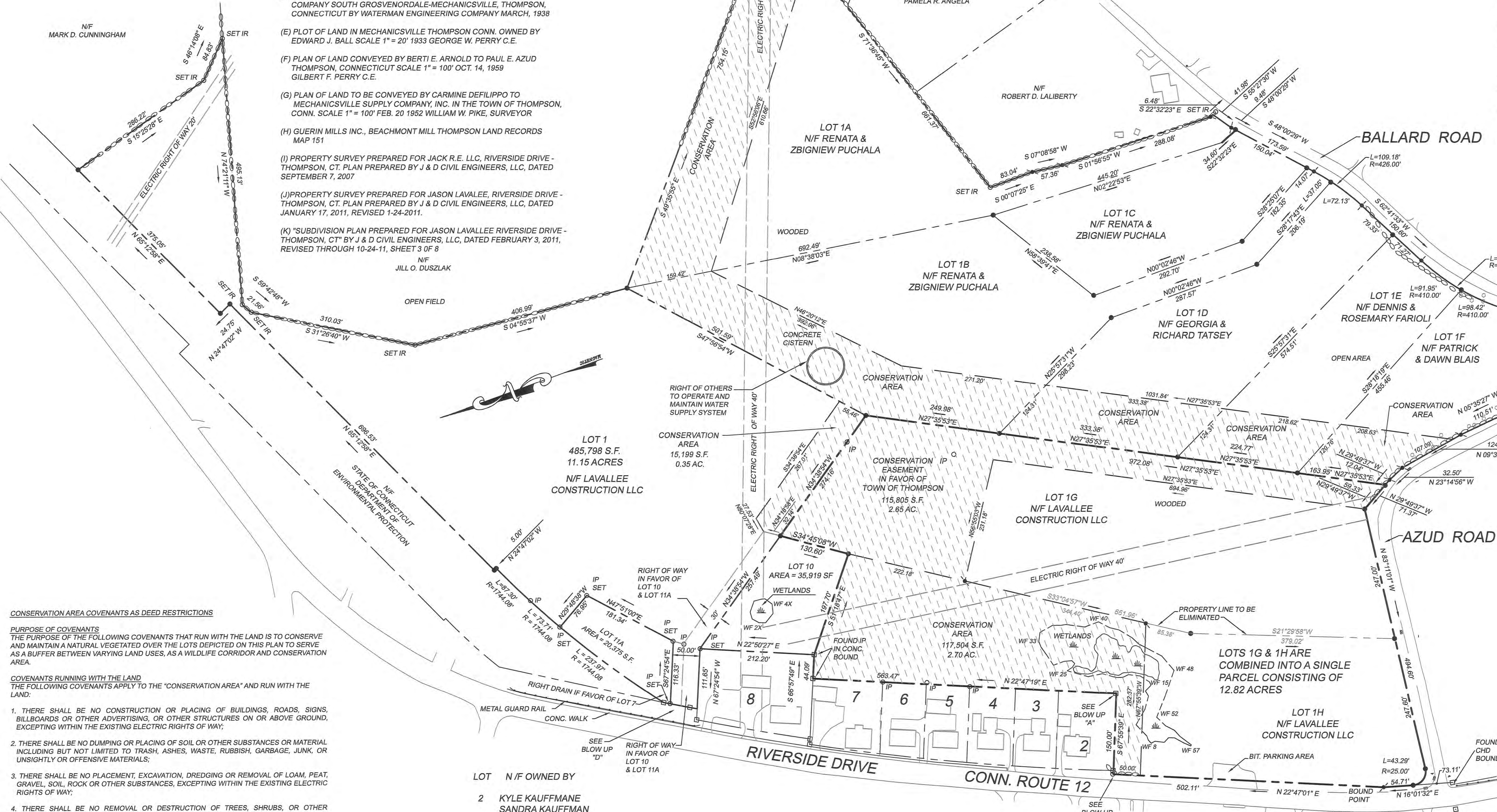
2. GENERAL NOTES:

ELECTRIC RIGHT OF WAYS DEPICTED HEREON ARE APPROXIMATE LOCATION THE PROPERTY DEPICTED HEREON IS SUBJECT TO RIGHTS OF RECORD

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

12107  
DENNIS R. BLANCHETTE DATE LICENSE  
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE



CONSERVATION AREA COVENANTS AS DEED RESTRICTIONS

PURPOSE OF COVENANTS  
THE PURPOSE OF THE FOLLOWING COVENANTS THAT RUN WITH THE LAND IS TO CONSERVE AND MAINTAIN A NATURAL VEGETATED OVER THE LOTS DEPICTED ON THIS PLAN TO SERVE AS A BUFFER BETWEEN VARYING LAND USES, AS A WILDLIFE CORRIDOR AND CONSERVATION AREA.

COVENANTS RUNNING WITH THE LAND  
THE FOLLOWING COVENANTS APPLY TO THE "CONSERVATION AREA" AND RUN WITH THE LAND:

1. THERE SHALL BE NO CONSTRUCTION OR PLACING OF BUILDINGS, ROADS, SIGNS, BILLBOARDS OR OTHER ADVERTISING, OR OTHER STRUCTURES ON OR ABOVE GROUND, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
2. THERE SHALL BE NO DUMPING OR PLACING OF SOIL OR OTHER SUBSTANCES OR MATERIAL INCLUDING BUT NOT LIMITED TO TRASH, ASHES, WASTE, RUBBISH, GARBAGE, JUNK, OR UNSIGHTLY OR OFFENSIVE MATERIALS;
3. THERE SHALL BE NO PLACEMENT, EXCAVATION, DREDGING OR REMOVAL OF LOAM, PEAT, GRAVEL, SOIL, ROCK OR OTHER SUBSTANCES, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
4. THERE SHALL BE NO REMOVAL OR DESTRUCTION OF TREES, SHRUBS, OR OTHER VEGETATION, OR THE INTRODUCTION OF ANY TREE, SHRUB OR VEGETATION THAT WOULD BE HARMFUL TO OR COMPETE WITH THE INDIGENOUS SPECIES AS THE SAME NOW EXIST; DESTRUCTION OF WILDLIFE OR ITS HABITAT, THE APPLICATION OF PESTICIDES OR HERBICIDES, OR ANY ACTIVITY OR USE WHICH IS OR HAS THE POTENTIAL FOR BEING DETRIMENTAL TO DRAINAGE, FLOOD CONTROL, WATER QUALITY, EROSION CONTROL, SOIL CONSERVATION, WILDLIFE OR THE LAND AND WATER AREAS IN THEIR NATURAL CONDITION, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;

THE ONLY EXCEPTION TO COVENANT #4 WOULD BE FOR URGENT MATTERS OF SAFETY OR FOR THE NEED TO REMOVE INVASIVE SPECIES. IN THE EVENT THAT THERE IS AN URGENT SAFETY MATTER OR AN INVASIVE SPECIES PROBLEM, THE LANDOWNER SHALL DOCUMENT WITH PHOTOGRAPHS AND OTHER RELEVANT DOCUMENTATION THE CONDITIONS THAT COMPEL THE NEED TO BREACH THE PROHIBITION OF THE COVENANT.

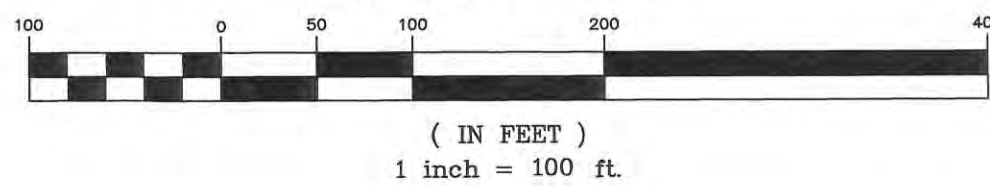
5. THERE SHALL BE NO USE OR PLACEMENT OF ANY VEHICLE;

6. THERE SHALL BE NO REMOVAL OR DISTURBANCE OF ANY BOUNDARY MARKERS OF THE CONSERVATION AREA, PERMANENT IRON PINS OR BOUNDARY MARKERS, OR ANY OTHER FIELD IDENTIFICATIONS OF THE CONSERVATION AREA BOUNDARIES.

- LOT N/F OWNED BY
- 2 KYLE KAUFFMAN  
SANDRA KAUFFMAN
  - 3 JAMES BELLAVANCE  
PAMELA BELLAVANCE
  - 4 TINA REKOWSKI  
JAMES REKOWSKI
  - 5 PARMIO LEO
  - 6 JOHN J. BONNER  
CHERYL M. BONNER
  - 7 KAEVON SAFFORD
  - 8 SCOTT J. WIGGLESWORTH  
KIM M. WIGGLESWORTH

- 10 TOWN  
OF  
11A THOMPSON

GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- EDGE OF WETLANDS
- STONE WALL
- EASEMENT
- MONUMENT
- IRON ROD SET
- EXISTING IRON ROD
- ANGLE POINT

TOWN OF THOMPSON  
RECEIVED FOR RECORDING

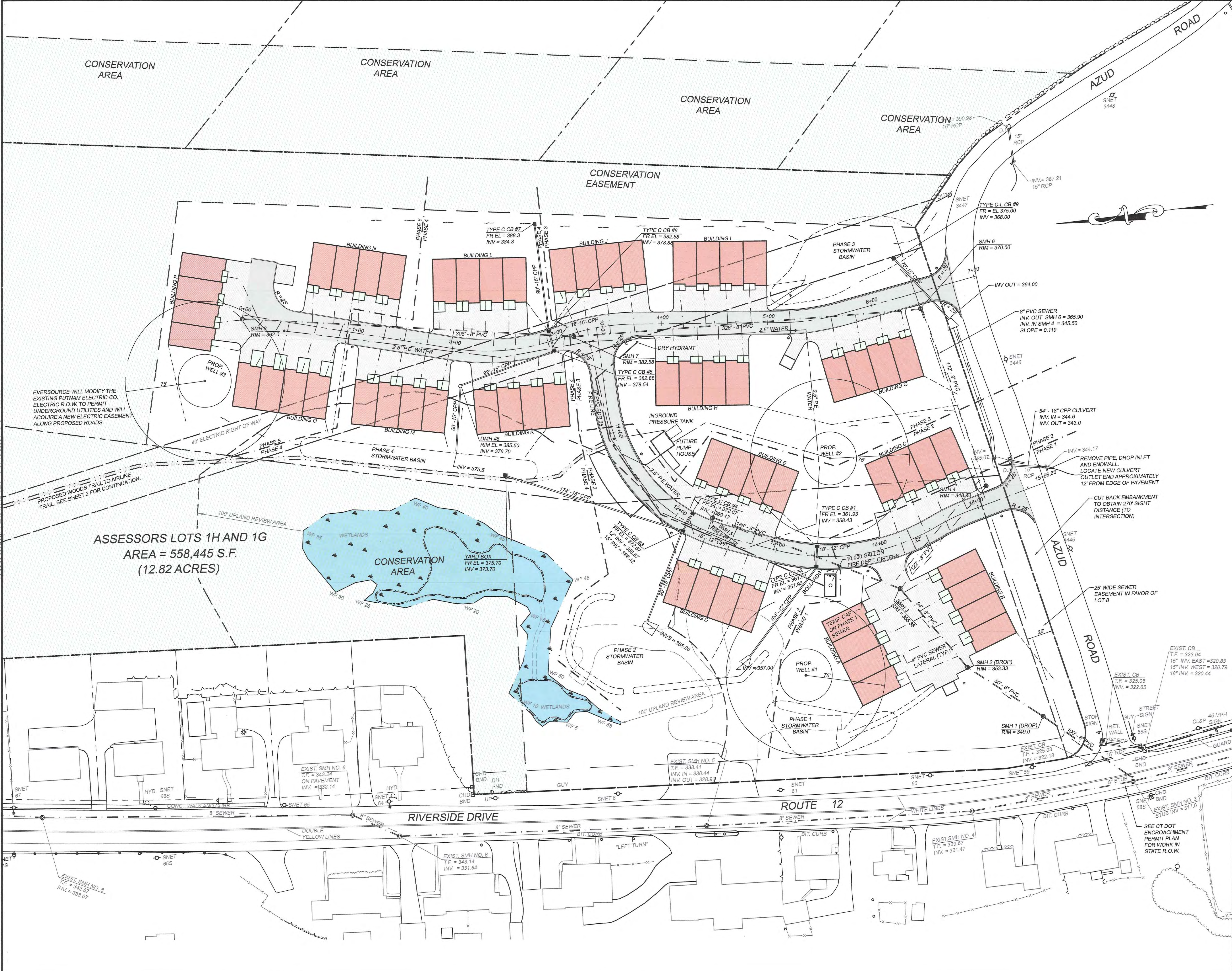
TOWN CLERK DATE TIME MAP #

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APR 10 2023  
Thompson Wetlands Office

PROPERTY IS NOT WITHIN 100 YEAR FLOOD ZONE PER FIRM MAP 090117 0014 B DATED: NOV. 1, 1984

<b>PROPERTY SURVEY MAP</b> PREPARED FOR <b>LAVALLEE CONSTRUCTION, LLC</b> RIVERSIDE DRIVE - THOMPSON, CT	
<b>J&amp;D CIVIL ENGINEERS, LLC</b> 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 860-923-2920	
DESIGNED: DRB	REVISIONS:
CHECKED: JJB	
JOB NO: 22203	DATE: JANUARY 2023
SCALE: 1" = 100'	SHEET: 3





EVERSOURCE WILL MODIFY THE EXISTING PUTNAM ELECTRIC CO. ELECTRIC R.O.W. TO PERMIT UNDERGROUND UTILITIES AND WILL ACQUIRE A NEW ELECTRIC EASEMENT ALONG PROPOSED ROADS

PROPOSED WOODS TRAIL TO AIRLINE TRAIL. SEE SHEET 2 FOR CONTINUATION.

ASSESSORS LOTS 1H AND 1G  
AREA = 558,445 S.F.  
(12.82 ACRES)

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LEGEND	
	PROPERTY LINE
	EDGE OF WETLANDS
	STONEWALL
	UTILITIES
	GUARDRAIL
	UPLAND REVIEW AREA
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED SEWER
	EXISTING SEWER
	EXISTING UTILITY POLE
	SIGN
	PROPOSED WATER LINE

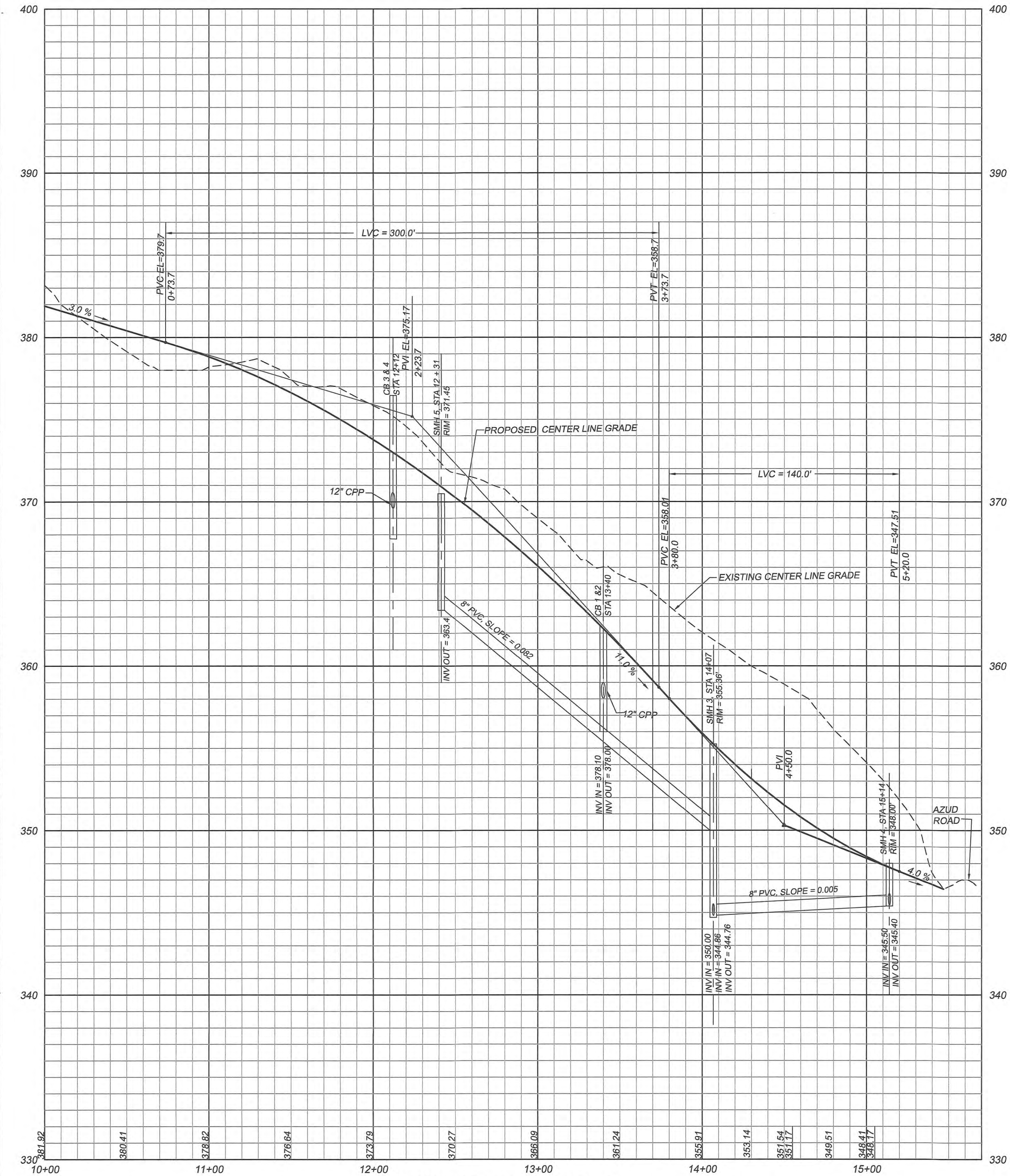
UTILITY & ROAD LAYOUT PLAN  
FOR  
HILLSIDE TOWNHOMES  
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

**J&D** CIVIL ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

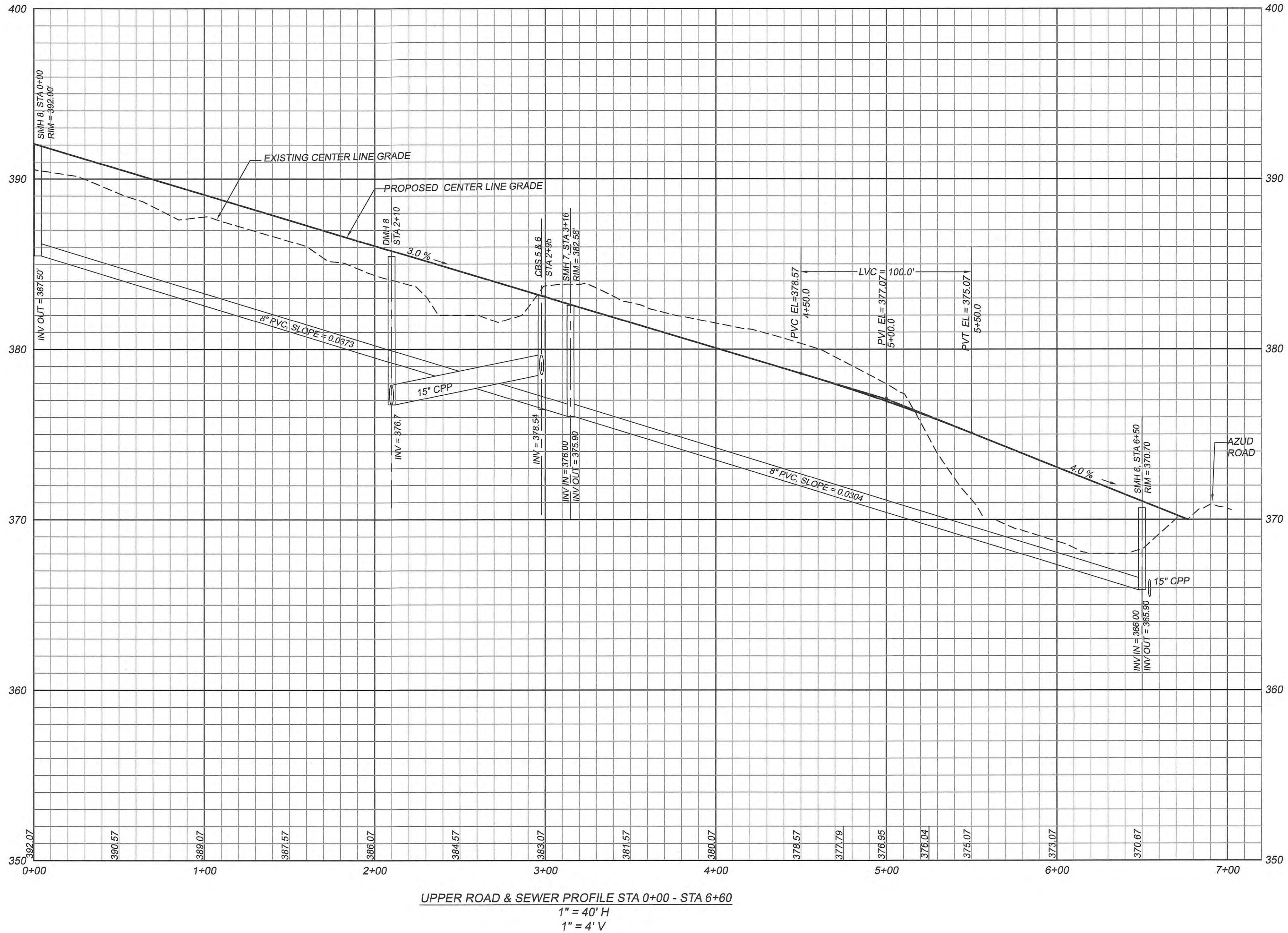
DESIGNED: JJB CHECKED: DRB	REVISIONS: 2-14-23, 3-2-23, 3-28-23, 4-10-23
JOB NO: 22203 SCALE: 1" = 40'	DATE: JANUARY 31, 2023 SHEET: 4



22203 Lswalle final 2023-03-28.dwg PROFILE SHT 5 3/28/2023 14:14:42



LOWER ROAD PROFILE STA 0+00 - STA 15+00  
SEWER PROFILE STA 11+26 - STA 15+14  
1" = 40' H  
1" = 4' V



UPPER ROAD & SEWER PROFILE STA 0+00 - STA 6+60  
1" = 40' H  
1" = 4' V

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<b>DRIVEWAY PROFILES FOR HILLSIDE TOWNHOMES</b> RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT	
<b>J&amp;D</b> CIVIL ENGINEERS, LLC 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 560-923-2920	
DESIGNED: JJB CHECKED: DRB	REVISIONS: 3-28-23
JOB NO: 22203 SCALE: 1" = 40'	DATE: JANUARY 31, 2023 SHEET: 5











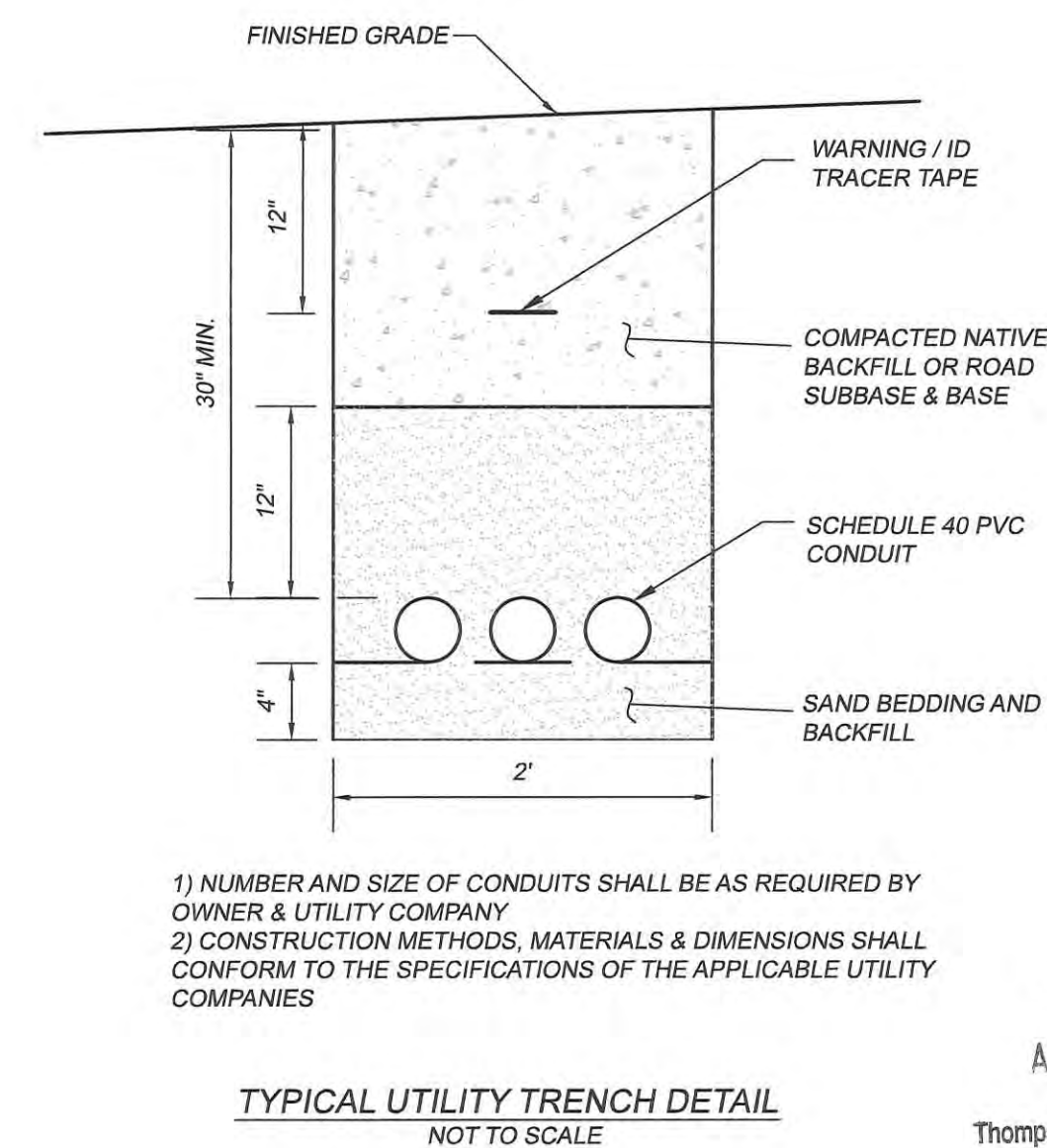
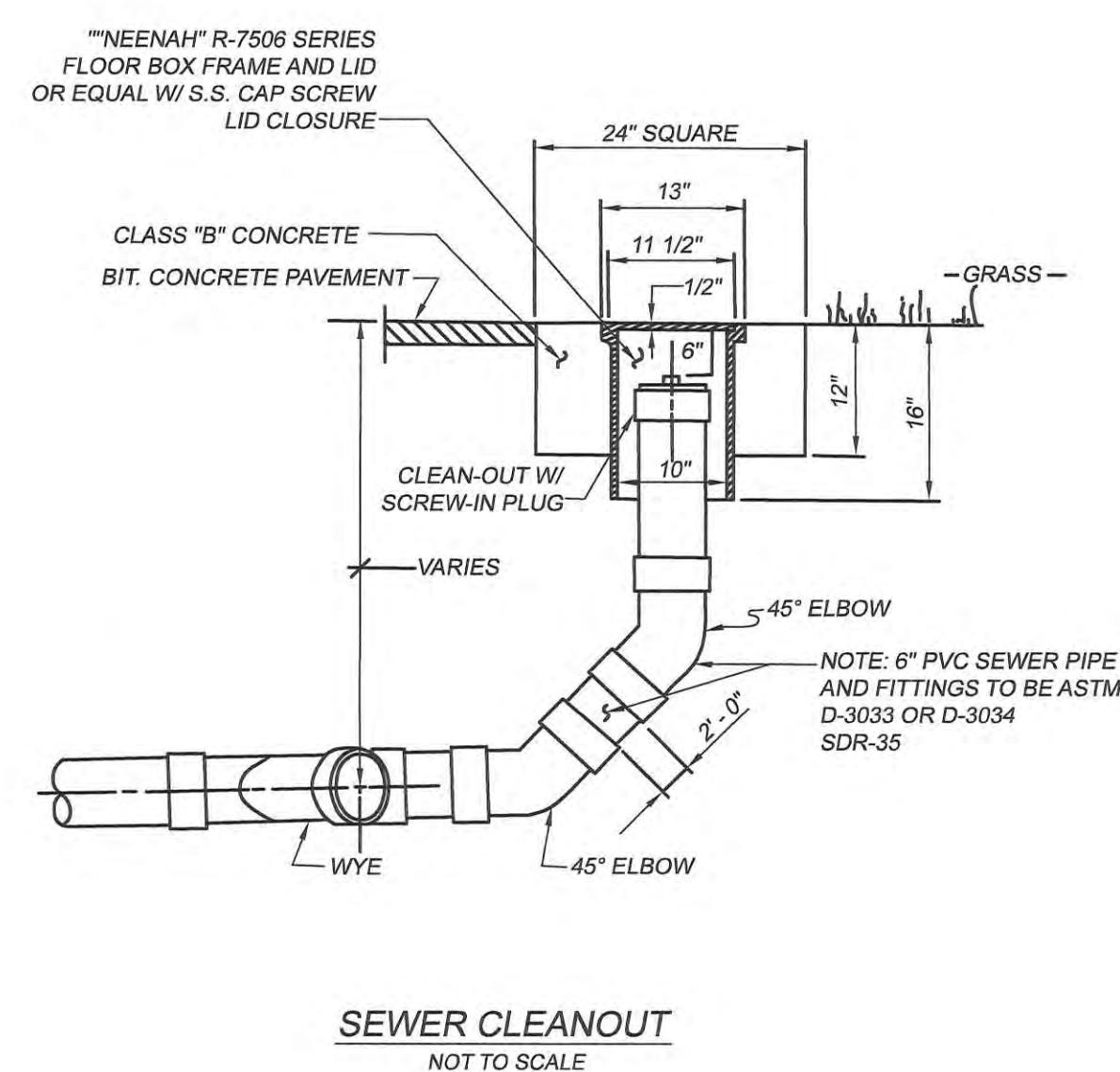
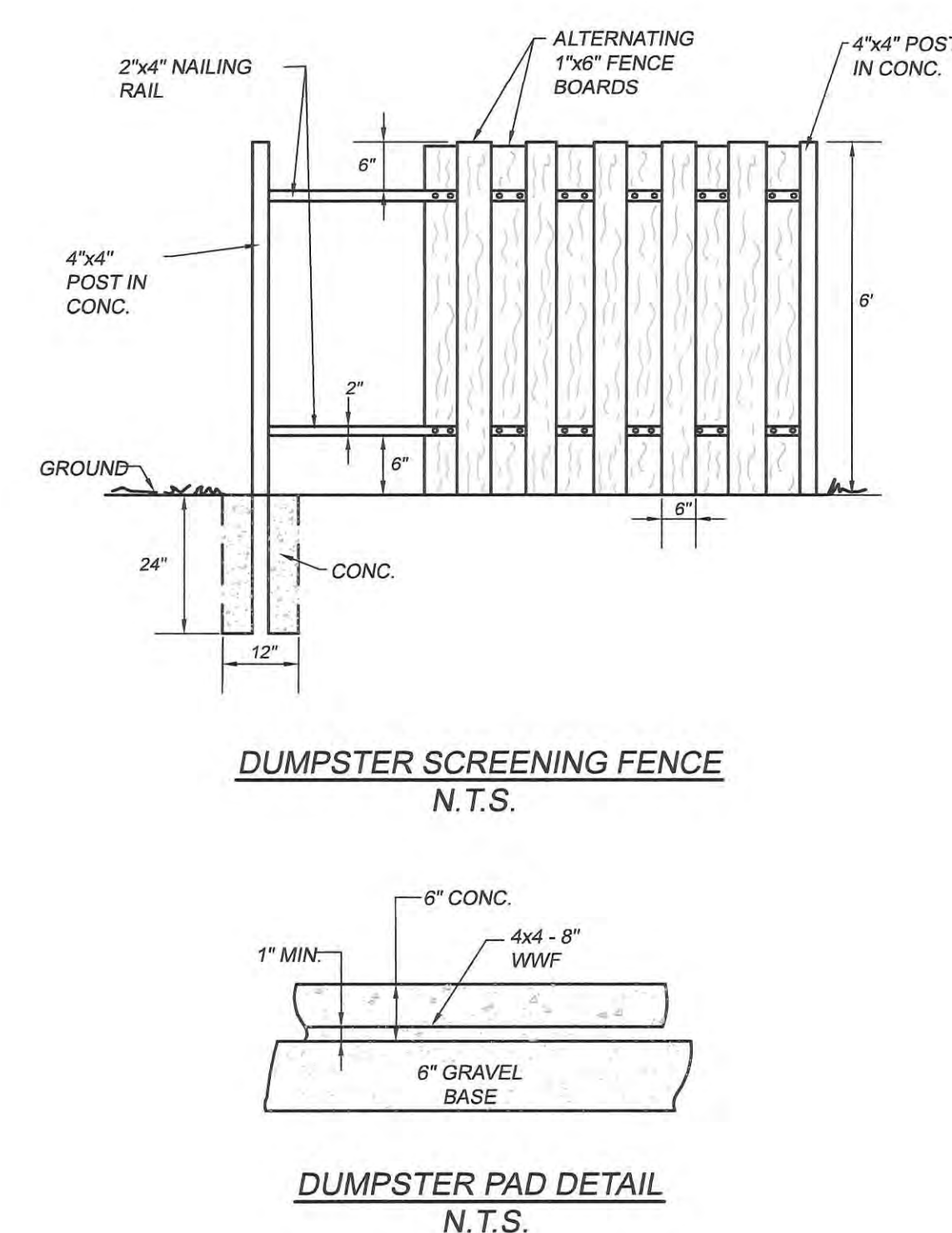
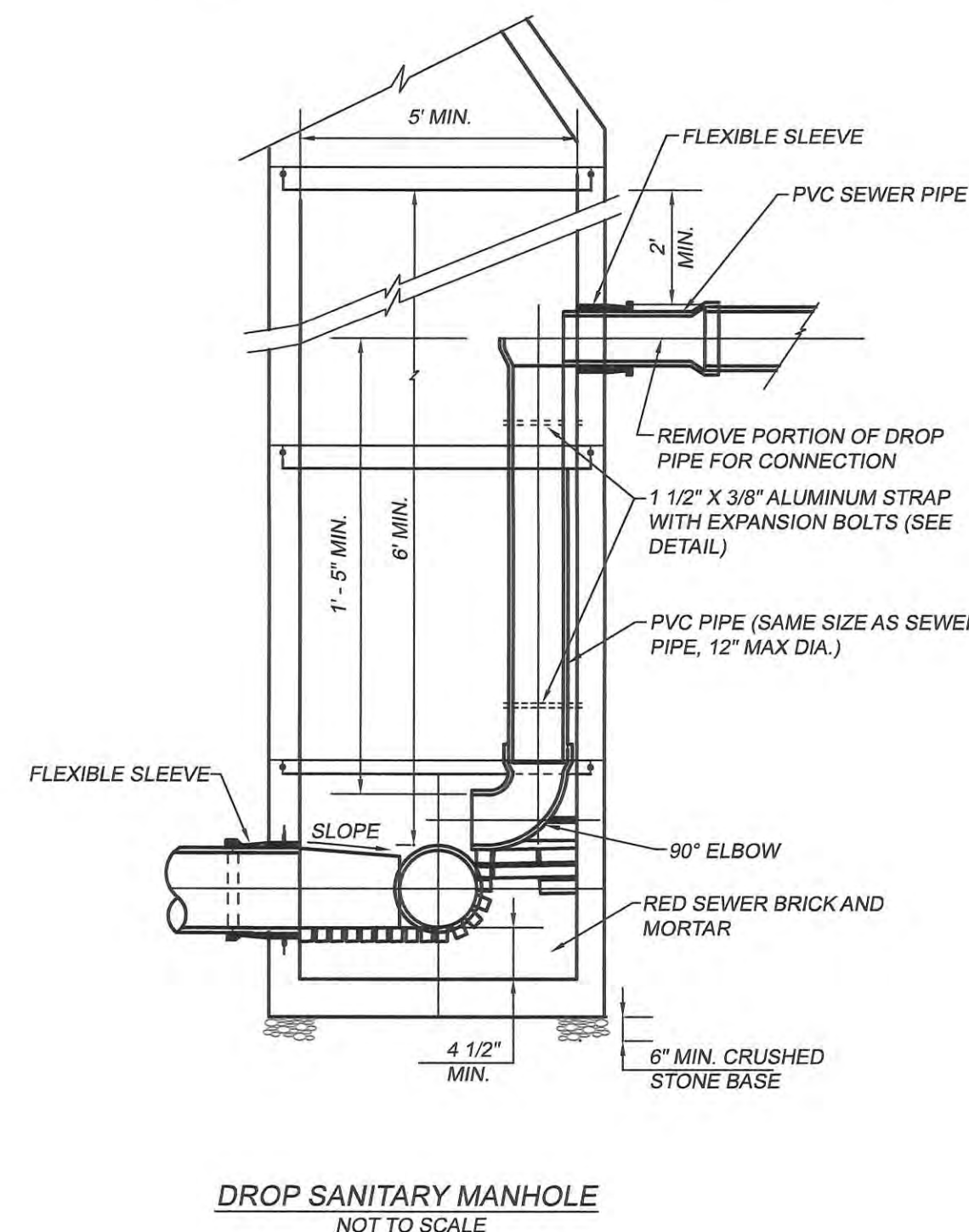
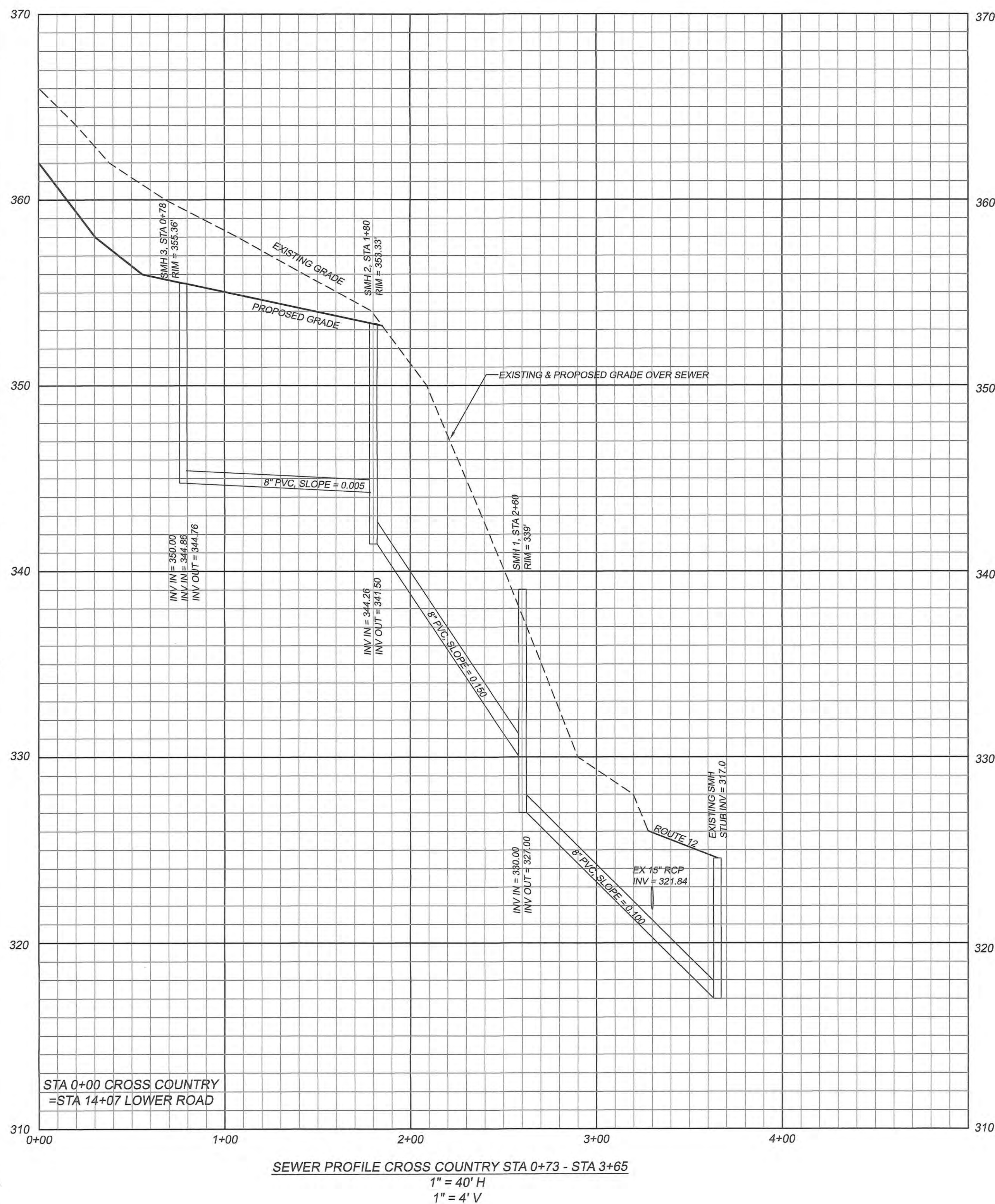
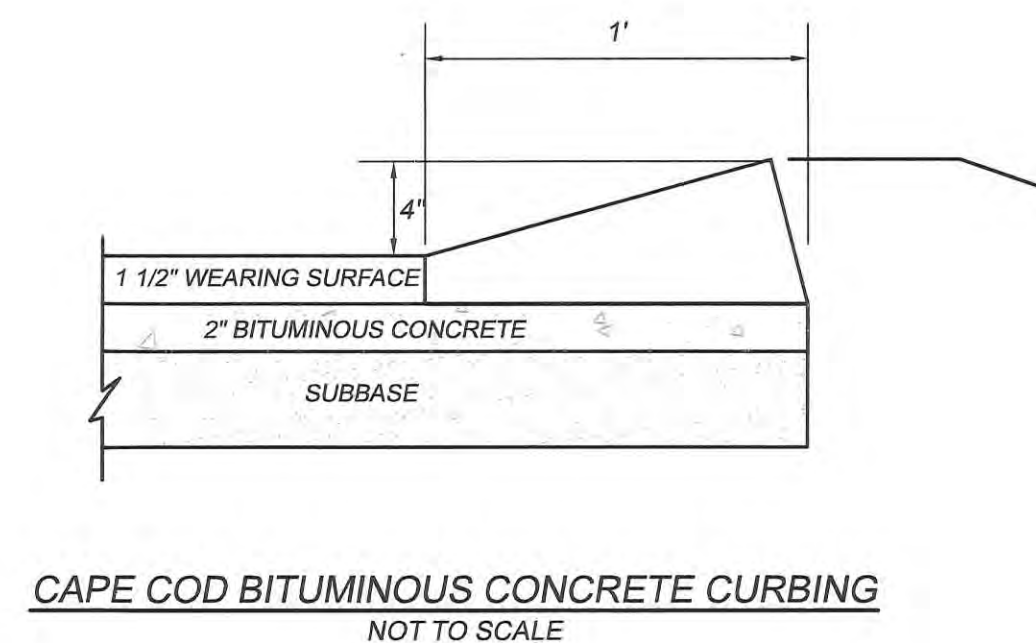
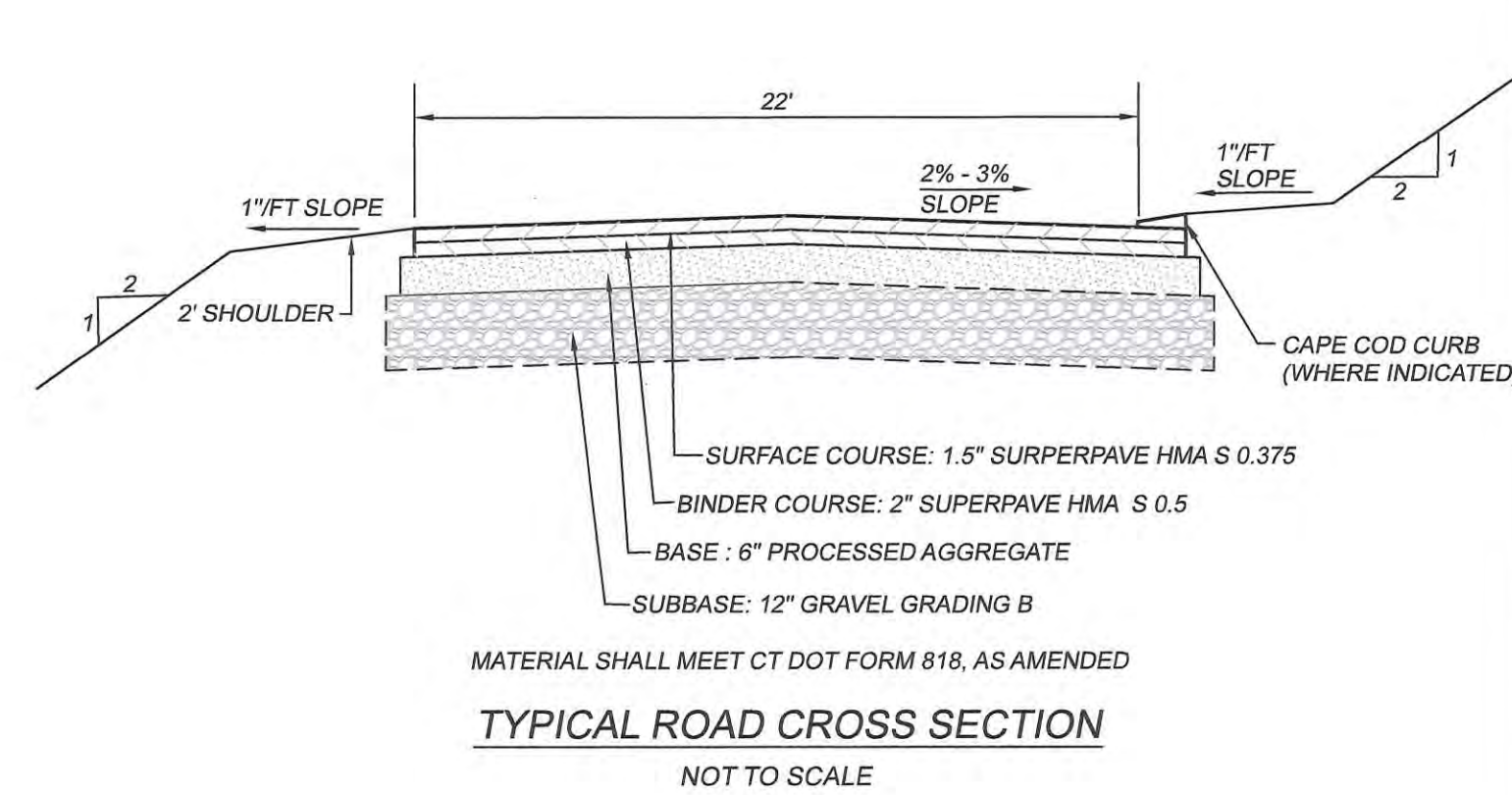
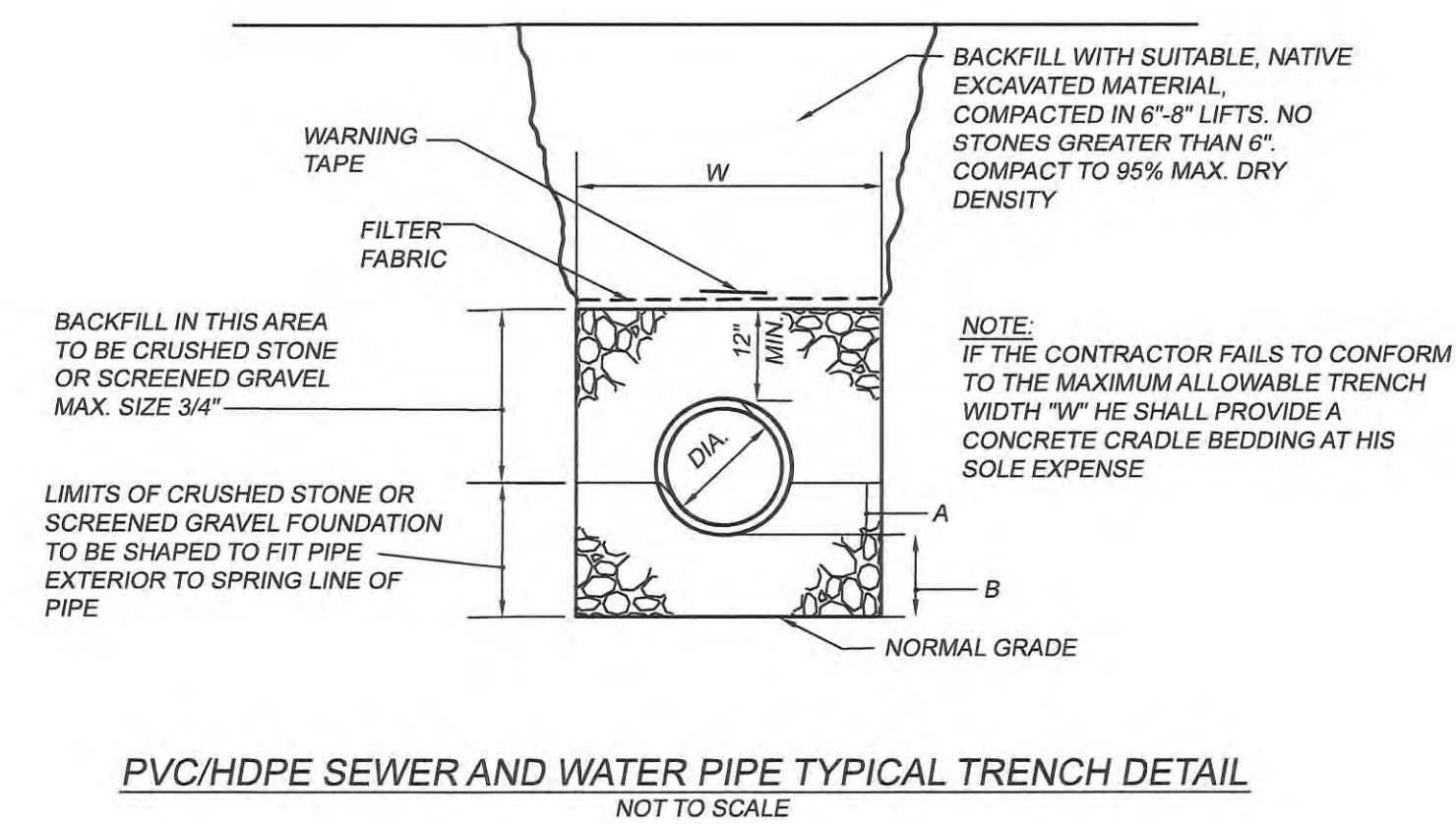
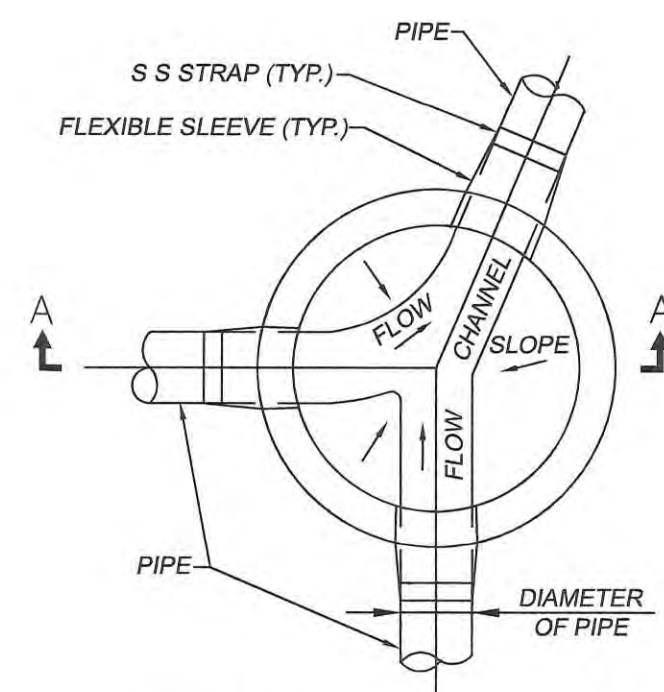
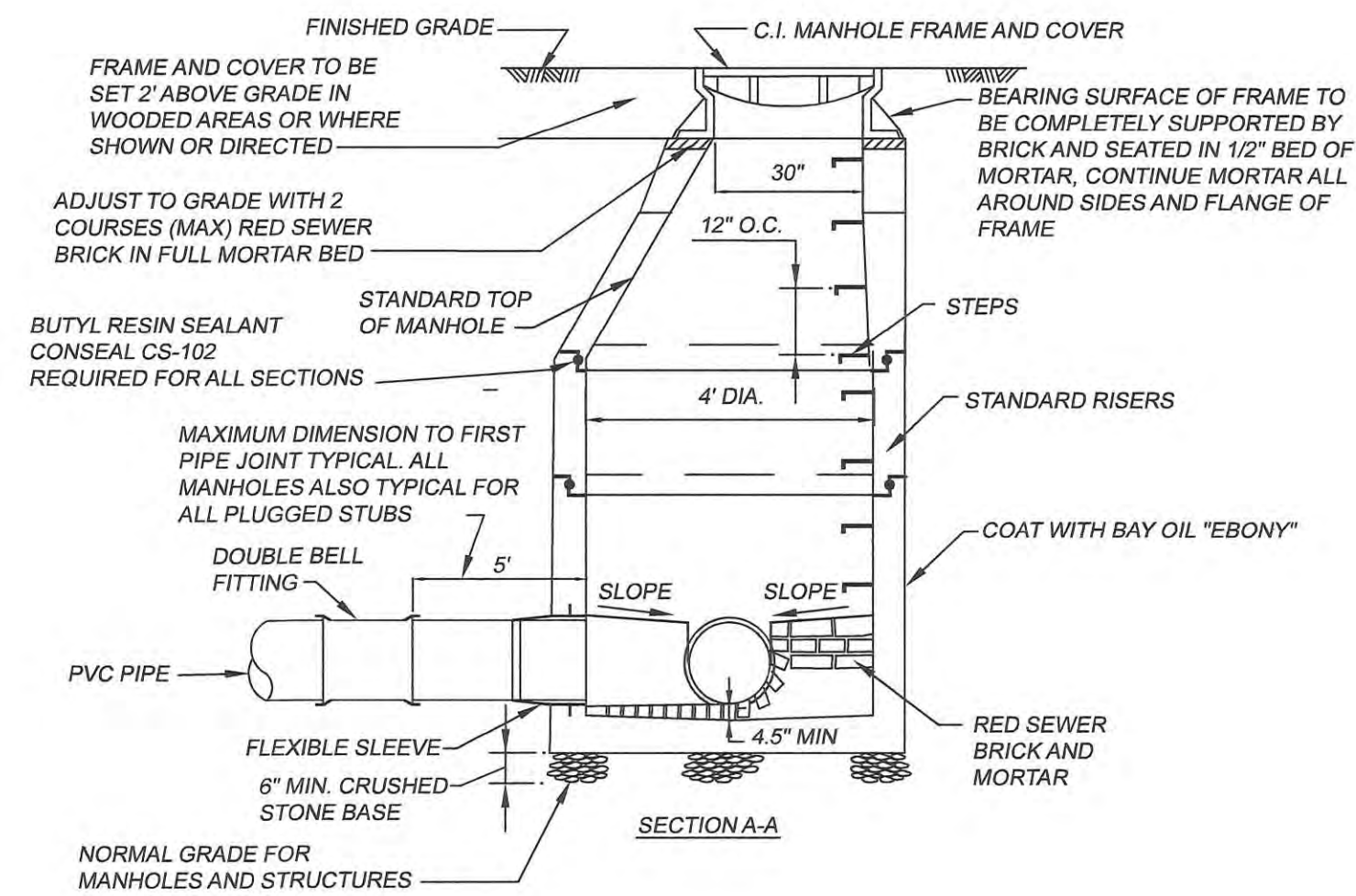






TABLE OF ALLOWABLE TRENCH WIDTH  
FOR CLASS OF PIPE SPECIFIED

PIPE DIAMETER				
	6"	8"	10"	12"
W (FEET)	2.5	3	3	3
A (INCHES)	3	3	3	3
B "	6	6	6	6
C "	3	3	4	4
D "	3	3	3	3
E "	4	4	4	4
F "	4	4	4	4



**GENERAL CONSTRUCTION NOTES:**

LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AND FIELD VERIFY THE LOCATION, DEPTH AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

CONSTRUCTION SHALL BE IN CONFORMANCE WITH CONNDOT FORM 818 UNLESS OTHERWISE NOTED ON THE PLANS. UTILITY INSTALLATION SHALL BE IN CONFORMANCE WITH THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

TYPICAL DETAILS SHOWN ARE TO ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY SUBMIT PROPOSALS FOR ALTERNATE METHODS TO SUIT FIELD CONDITIONS.

ALL PIPING SHALL HAVE WARNING TAPE INSTALLED. IN ADDITION, ALL NONMETALLIC PIPE MUST BE PARALLELED BY A METALLIC WIRE OR METALLIC DETECTION TAPE FOR EASE OF LOCATING.

ALL PIPING SHALL BE CLEANED AND TESTED IN ACCORDANCE WITH THE APPLICABLE UTILITY'S REQUIREMENTS. COPIES OF ALL TESTS SHALL BE PROVIDED TO THE OWNER PRIOR TO ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TESTING EQUIPMENT.

ALL TRENCHING SHALL BE DONE IN COMPLIANCE WITH OSHA REGULATIONS AND THE INSTALLATION REQUIREMENTS OF THE PIPE MANUFACTURER.

BENCHMARKS WILL BE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN LAYING OUT THE PROJECT. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS AND SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. ANY SUCH ITEMS WHICH NEED TO BE REPLACED SHALL BE AT THE CONTRACTOR'S EXPENSE.

Received

APR 10 2023

Thompson Wetlands Office

**CONSTRUCTION DETAILS  
SEWER AND MISCELLANEOUS  
FOR  
HILLSIDE TOWNHOMES  
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT**

**J&D CIVIL  
ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

**DESIGNED: JJB**  
**CHECKED: DRB**

**REVISIONS:**

**JOB NO: 22203**

**SCALE: AS NOTED**

	<b>DATE: JANUARY 31, 2023</b>
	<b>SHEET: 9</b>





PHASING NARRATIVE :

LAVALLEE CONSTRUCTION INTENDS TO BUILD THE PROJECT OVER A MULTI-YEAR PERIOD. WORK WILL GENERALLY PROCEED FROM THE SOUTHWEST (LOWEST GROUND) TO THE NORTHEAST (HIGHEST GROUND). THE FOLLOWING IS THE WORK WHICH SHALL BE COMPLETED IN EACH PHASE PRIOR TO INITIATING BUILDING CONSTRUCTION ON SUBSEQUENT PHASES.

PHASE 1: 8 UNITS, BUILDINGS: A AND B  
DRIVEWAY: LOWER ROAD STATION 13+50 TO 15+50  
(INTERSECTION WITH AZUD ROAD)  
SEWER: 436" SEWER FROM RIVERSIDE DRIVE INCLUDING SMH 1, SMH 2, SMH 3, SMH 4  
WATER: WELL 1 - PRIVATE, SERVES 8 TWO BEDROOM UNITS X (3) = 24 PEOPLE  
DRAINAGE: REPLACE CULVERT UNDER AZUD ROAD, CONSTRUCT PHASE 1 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 2: 12 UNITS, BUILDINGS: C, D, AND E  
DRIVEWAY: LOWER ROAD STATION 10+50 TO 13+50  
SEWER: 186" SEWER INCLUDING SMH 5  
WATER: WELL 2 - ESTABLISH PUBLIC WATER SUPPLY - COORDINATE WITH CT DPH  
DRAINAGE: CONSTRUCT PHASE 2 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED. INSTALL CB 1, CB 2, CB 3, AND CB 4, CONSTRUCT GRASS SWALE ADJACENT TO AZUD ROAD PRIOR TO BUILDING EXCAVATION.  
FIRE PROTECTION: INSTALL 10,000 GALLON CISTERN AND PIPE NETWORK TO DRY HYDRANT AT DRIVEWAY INTERSECTION PRIOR TO CO'S BEING ISSUED.

PHASE 3: 16 UNITS, BUILDINGS: G, H, I, AND J  
DRIVEWAY: UPPER ROAD STATION 3+00 TO 6+80  
(INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50  
SEWER: 516 SEWER INCLUDING SMH 6 AND SMH 7  
WATER: COORDINATE WITH CT DPH FOR WELL 3 AND/OR WATER PUMP HOUSE IF NECESSARY  
DRAINAGE: CONSTRUCT GRASS SWALE ON THE EAST SIDE OF THE PROJECT AND PHASE 3 STORMWATER BASIN PRIOR TO BUILDING EXCAVATION.

PHASE 4: 12 UNITS, BUILDINGS: K, L, AND M  
DRIVEWAY: UPPER ROAD STATION 1+00 TO 3+00  
(INTERSECTION WITH AZUD ROAD)  
SEWER: 306" SEWER INCLUDING SMH 8  
WATER: EXTEND PUBLIC WATER TO UNITS  
DRAINAGE: CB 5, CB 6, CB 7, DMH 8, CONSTRUCT PHASE 4 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 5: BUILDINGS: N, O, AND P  
DRIVEWAY: STATION 0+00 TO 6+80 (INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50  
SEWER: INSTALL SEWER LATERALS TO MAIN  
WATER: EXTEND PUBLIC WATER TO UNITS  
DRAINAGE: NONE

SEQUENCE OF CONSTRUCTION :

SEE PHASING NARRATIVE FOR FEATURES TO BE CONSTRUCTED IN EACH PHASE. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH PHASE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE BUILDING CONSTRUCTION FOR ANY FOLLOWING PHASE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- EXCAVATING CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AS REQUIRED, AND IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL BURIED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- FIELD STAKE THE BUILDINGS, DRIVEWAYS AND UTILITY STRUCTURES. THROUGHOUT THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT DOWNSTREAM WETLANDS FROM SEDIMENTATION.
- INSTALL COMPOST FILTER SOCK ALONG THE DOWNSLOPE SIDE OF CONSTRUCTION ACTIVITIES AS SHOWN ON THE DRAWINGS.
- STRIP TOPSOIL FROM SITE. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER. INSTALL FILTER SOCK BELOW TOPSOIL AND EXCESS MATERIAL STOCKPILES. STOCKPILES IN PLACE MORE THAN 30 DAYS SHALL BE SEEDED OR COVERED.
- UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL THE PERMANENT STABILIZATION IS COMPLETED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH ONE OF THE FOLLOWING: (1) A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION, (2) AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- IN THE EVENT THAT CONSTRUCTION OF ANY STRUCTURES IS DELAYED, EITHER-DO NOT BEGIN EARTHWORK IN THE AREA OF FEATURES THAT WILL NOT BE CONSTRUCTED IMMEDIATELY, OR COMPLETE EARTHWORK, THEN PROVIDE STABILIZATION OF BUILDING PADS AND ALL ASSOCIATED DISTURBED AREAS WITH CLEAN STONE OR VEGETATION AS INDICATED IN THE PLAN.
- FINE GRADE AND RESPREAD TOPSOIL ALL AREAS AND IMMEDIATELY PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS. PROVIDE EROSION CONTROL BLANKET IN AREAS SHOWN AND AREAS STEEPER THAN 3:1 SLOPE.
- AFTER PERMANENT STABILIZATION OF SITE (I.E. A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION) HAS BEEN ACHIEVED, THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS SHALL BE RESTABILIZED. PERMANENT STORMWATER FEATURES SHOULD BE CLEANOUT OUT AS NEEDED UPON FINAL STABILIZATION OF THE SITE.

GENERAL SEEDING NOTES

- TEMPORARY SEEDING NOTES - SITE PREPARATION: APPLY 1-2 TON /ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS./ACRE AND WORK IN WHERE POSSIBLE. REFER TO FIGURE TS-2 IN THE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR APPROPRIATE SEEDING MIXES AND RATES. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- PERMANENT SEEDING NOTES - SITE PREPARATION: GRADE AS NECESSARY TO BRING THE SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE. PLACE TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.
- APPLY 4 TONS/ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS/AC OR AS PER SOIL TEST. LIMESTONE AND FERTILIZER MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS.
- FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR INCHES. THE ENTIRE SURFACE SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

AREA TO BE SEEDED	MIXTURE NUMBER	SPECIES	SEEDING RATES (LB/AC) PURE LIVE SEED
SLOPES, BANKS CHANNELS AND DIVERSIONS	2	CREeping RED FESCUE	20
		REDTOP	2
		TALL FESCUE OR SMOOTH BROMEGRASS	20
LAWN AND HIGH MAINTENANCE AREAS	1	KENTUCKY BLUEGRASS	20
		CREeping RED FESCUE	20
		PERENNIAL RYEGRASS	5

SEED MIXTURE NUMBERS REFER TO TO FIGURE PS-3, 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO MANUAL FOR POTENTIAL ALTERNATIVE MIXTURES.

PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A MULTI-FAMILY DEVELOPMENT. SITE WORK WILL INCLUDE CONSTRUCTION OF BUILDINGS, ACCESS DRIVES, PARKING AREAS, AND NECESSARY UTILITIES.

ATTENTION SHALL BE GIVEN TO THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES. EROSION CONTROL DEVICES SHALL CONSIST OF SILT SOCK BARRIERS OR WOODCHIP BERMS TO FACILITATE MOVMENT OF VERNAL POOLS AMPHIBIANS. SILT FENCE SHALL NOT BE USED ON THE PROJECT. NO ERODED SEDIMENTS SHALL BE PERMITTED TO FLOW OFF THE SITE. IF FIELD CONDITIONS WARRANT IT OR THE TOWN REQUESTS IT, ADDITIONAL E & S CONTROL MEASURES, BEYOND WHAT IS SHOWN ON THE PLAN, SHALL BE INSTALLED.

SEDIMENT AND EROSION CONTROL DEVICES WILL BE INSTALLED AS DETAILED ON THIS SHEET AND CHECKED REGULARLY FOR REPLACEMENT AND AFTER EVERY RAIN FOR REMOVAL OF DEPOSITED MATERIALS. RESPONSIBILITY FOR COMPLIANCE WITH THIS PLAN SHALL BELONG TO THE CONTRACTOR. THE CONTRACTOR SHALL BE THE DESIGNATED ON-SITE AGENT RESPONSIBLE FOR ENSURING TO THE TOWN THAT E & S CONTROL MEASURES ARE STRICTLY ENFORCED.

SEEDING DATES FOR PERMANENT VEGETATION ARE APRIL 1 - JUNE 15 AND AUGUST 15 - SEPTEMBER 15. SEEDING DATES FOR TEMPORARY VEGETATION ARE MARCH 1 - OCTOBER 15. OUTSIDE OF THESE DATES TEMPORARY MULCH CONSISTING OF STRAW OR HAY APPLIED AT THE RATE OF 95 LB/1000 SQUARE FEET SHALL BE USED. HYDROSEEDING WILL BE PERMITTED WHERE SLOPES ARE NO STEEPER THAN 2 TO 1 AND SEEDING RATES WILL BE INCREASED BY 10%.

OPERATIONS AND MAINTENANCE

- ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
- PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
- UPON FINAL GRADING, DISTURBED AREAS SHALL COVERED WITH A MINIMUM OF 6" LOAM AND SEEDED WITH PERENNIAL GRASSES AS SPECIFIED FOR THE PROJECT. IMMEDIATELY AFTER SEEDING, MULCH THE SEEDED AREA, NOT COVERED WITH EROSION CONTROL BLANKET, WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE. SEEDING DATES ARE TO BE BETWEEN APRIL 1 THRU JUNE 15 AND AUGUST 15 THRU OCTOBER 15.
- DAILY INSPECTIONS SHALL BE MADE OF EROSION AND SEDIMENT CONTROL MEASURES TO INSURE EFFECTIVENESS AND IMMEDIATE CORRECTIVE ACTION SHALL BE TAKEN IF FAILURE OCCURS. ADDITIONAL EROSION CONTROL MEASURES BEYOND WHAT IS SHOWN ON THE PLAN MAY BE NECESSARY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND VEGETATIVE COVER HAS BEEN ESTABLISHED, AT WHICH TIME THEY SHALL BE REMOVED.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THIS EROSION AND SEDIMENT CONTROL PLAN.

MINIMIZE DISTURBED AREAS

- KEEP LAND DISTURBANCE TO A MINIMUM - THE MORE LAND THAT IS IN VEGETATIVE COVER, THE MORE SURFACE WATER WILL INFILTRATE INTO THE SOIL, THUS MINIMIZING STORMWATER RUNOFF AND POTENTIAL EROSION. KEEPING LAND DISTURBANCE TO A MINIMUM NOT ONLY INVOLVES MINIMIZING THE EXTENT OF EXPOSURE AT AN ONE TIME, BUT ALSO THE DURATION OF EXPOSURE.
- PHASE CONSTRUCTION SO THAT AREAS WHICH ARE ACTIVELY BEING DEVELOPED AT ANY ONE TIME ARE MINIMIZED AND ONLY THAT AREA UNDER CONSTRUCTION IS EXPOSED. CLEAR ONLY THOSE AREAS ESSENTIAL FOR CONSTRUCTION.
- SEQUENCE THE CONSTRUCTION OF STORM DRAINAGE SYSTEMS SO THAT THEY ARE OPERATIONAL AS SOON AS POSSIBLE DURING CONSTRUCTION. ENSURE ALL OUTLETS ARE STABLE BEFORE OUTLETTING STORM DRAINAGE FLOW INTO THEM.
- SCHEDULE CONSTRUCTION SO THAT FINAL GRADING AND STABILIZATION IS COMPLETED AS SOON AS POSSIBLE.

MANAGING RUNOFF

- USE DIVERSIONS, STONE DIKES, SILT FENCES AND SIMILAR MEASURES TO BREAK FLOW LINES AND DISSIPATE STORM WATER ENERGY.
- AVOID DIVERTING ONE DRAINAGE SYSTEM INTO ANOTHER WITHOUT CALCULATING THE POTENTIAL FOR DOWNSTREAM FLOODING OR EROSION.
- CLEAN RUNOFF SHOULD BE KEPT SEPARATED FROM SEDIMENT LADEN WATER AND SHOULD NOT BE DIRECTED OVER DISTURBED AREAS WITHOUT ADDITIONAL CONTROLS. ADDITIONALLY, PREVENT THE MIXING OF CLEAN OFF-SITE GENERATED RUNOFF WITH SEDIMENT LADEN RUNOFF GENERATED ON-SITE UNTIL AFTER ADEQUATE INFILTRATION OF ON-SITE WATERS HAS OCCURRED.

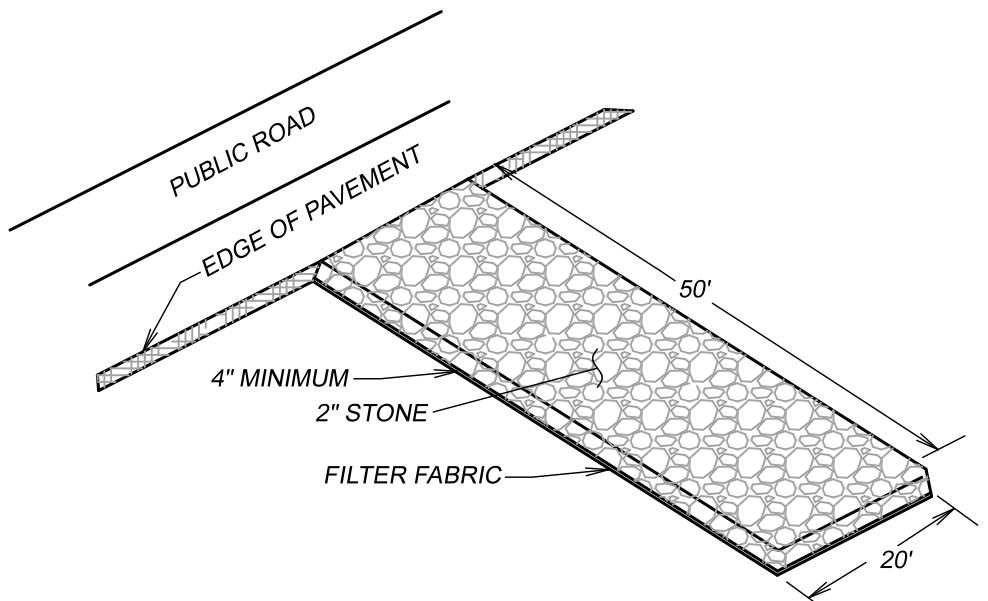
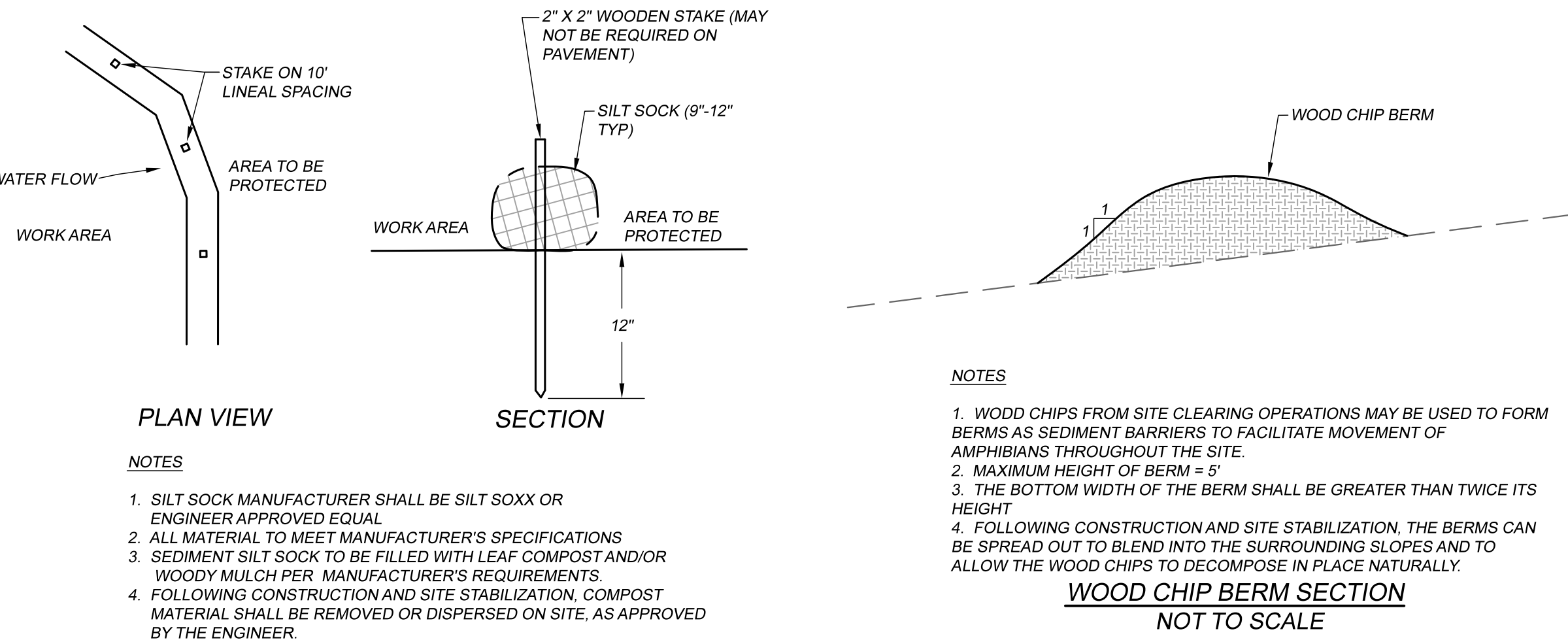
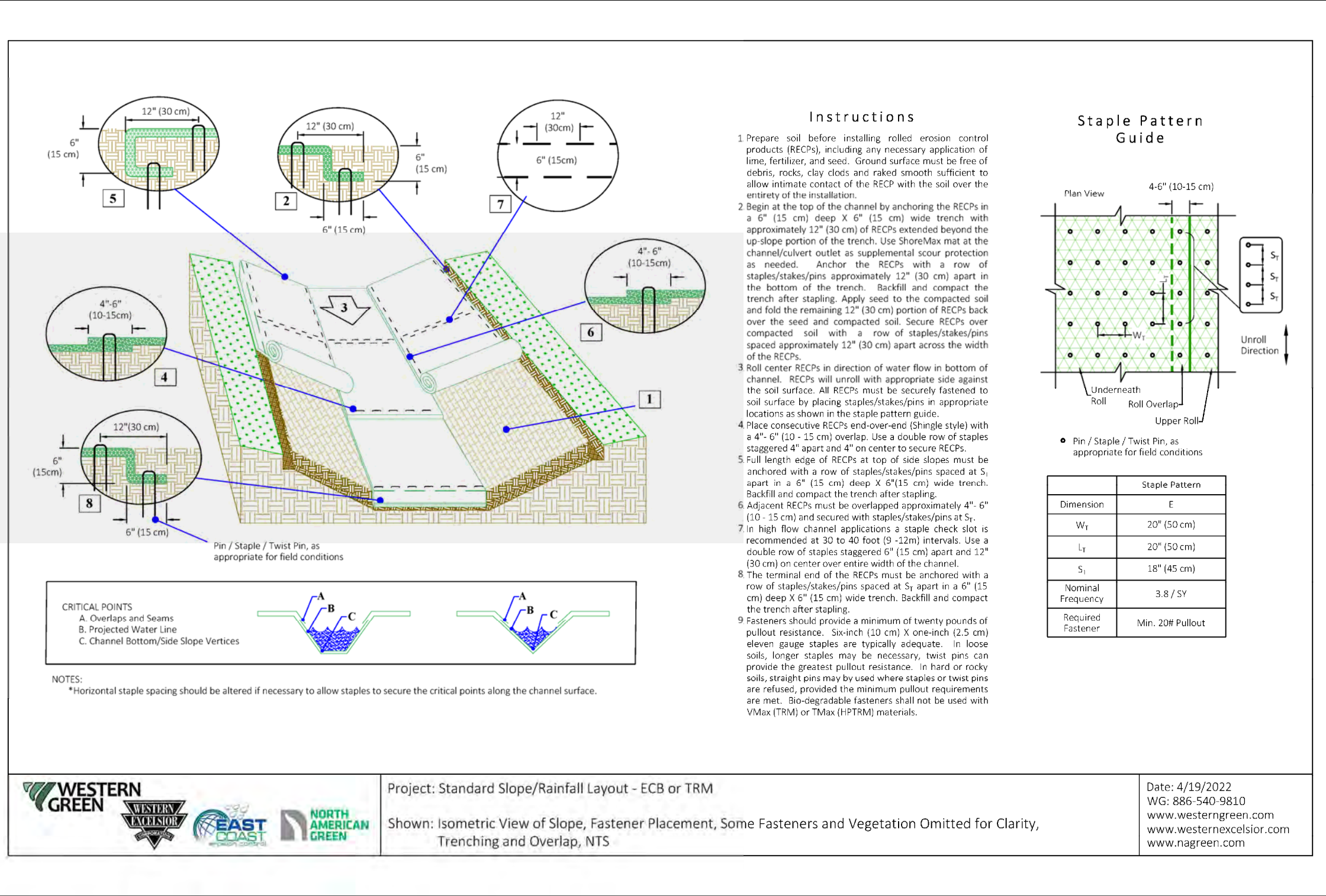
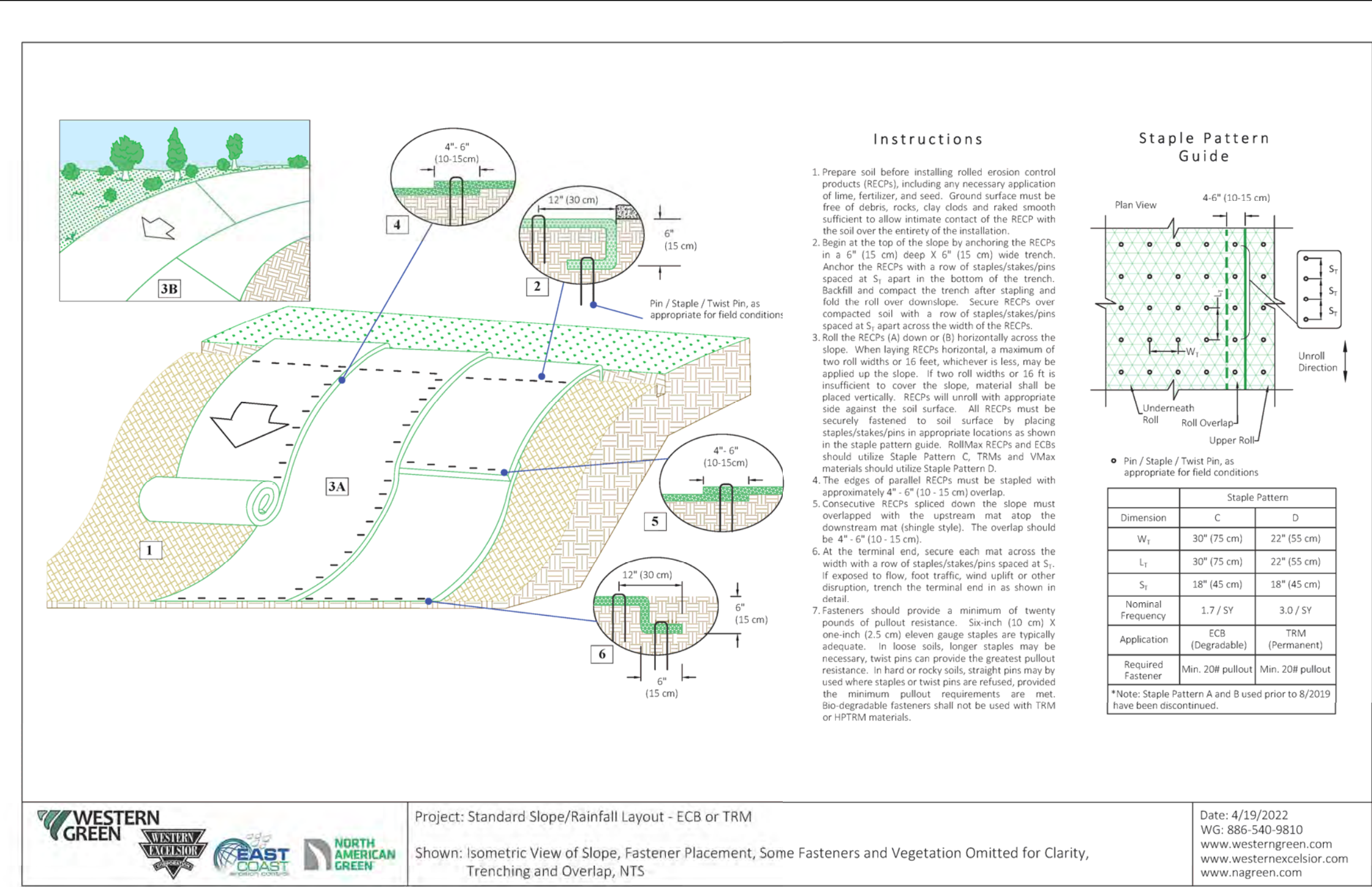
INTERNAL EROSION CONTROLS

- DO NOT RELY EXCLUSIVELY ON PERIMETER EROSION CONTROL DEVICES.
- CONTROL EROSION AND SEDIMENTATION BY INSTALLING INTERNAL EROSION CONTROL IN THE SMALLEST DRAINAGE AREA POSSIBLE.
- DIRECT RUNOFF FROM SMALL DISTURBED AREAS TO ADJOINING UNDISTURBED VEGETATED AREAS.
- CONCENTRATED RUNOFF SHOULD BE CONVEYED TO SEDIMENT TRAPS OR BASINS AND STABLE OUTLETS USING RIP RAPPED CHANNELS, STORM DRAINS OR SIMILAR MEASURES.

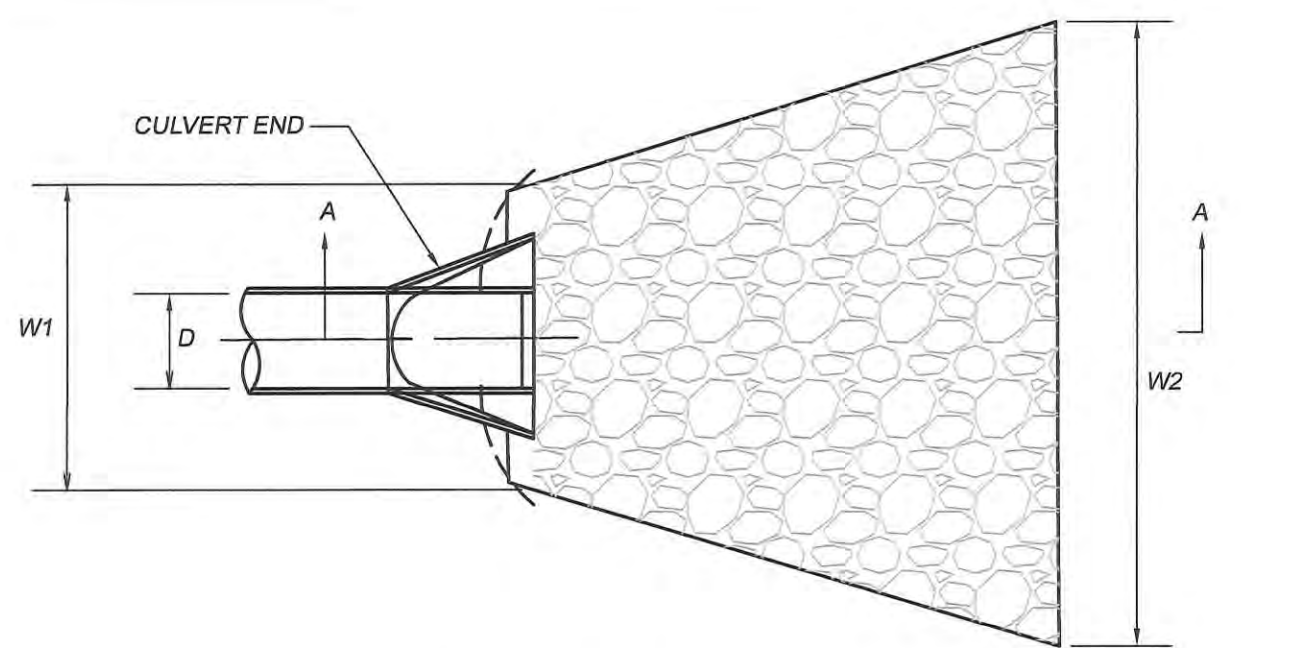
CONSTRUCTION DETAILS  
EROSION AND SEDIMENT CONTROL  
FOR  
HILLSIDE TOWNHOMES  
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

**J&D** CIVIL  
ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

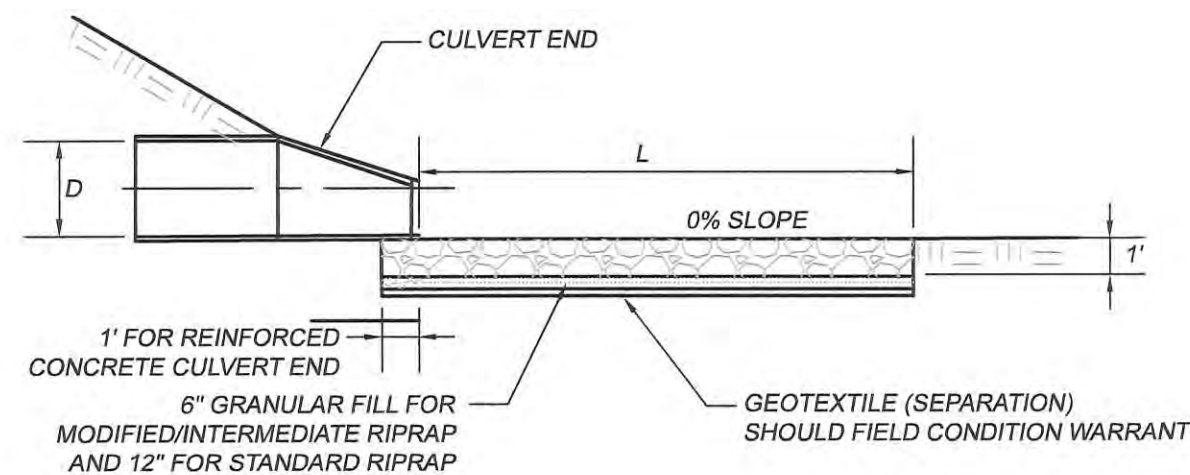
DESIGNED: JJB CHECKED: DRB	REVISIONS: 3-2-23, 3-28-23, 4-10-23, 5-1-23
JOB NO: 22203 SCALE: AS NOTED	DATE: JANUARY 31, 2023 SHEET: 10







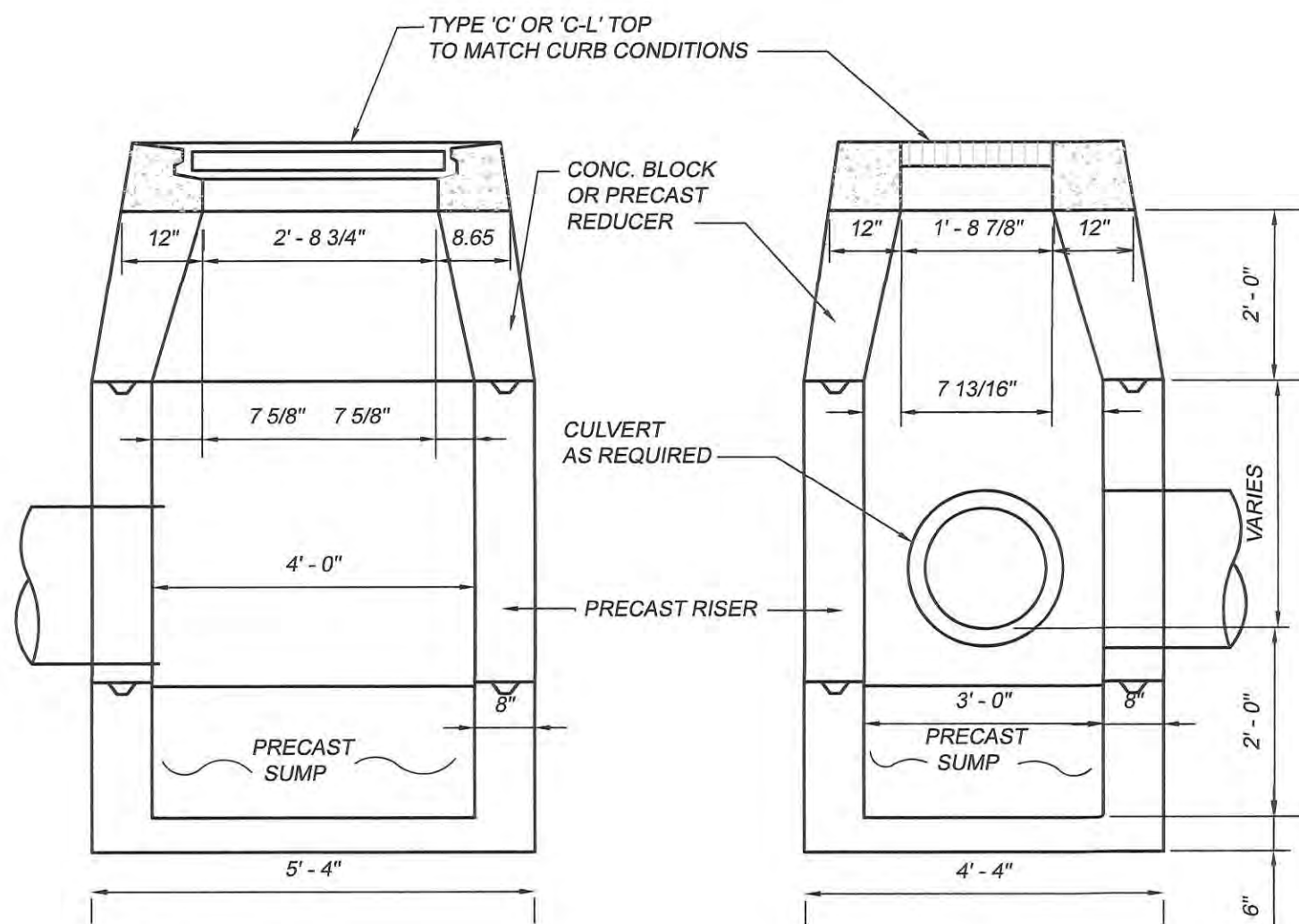
PLAN VIEW



SECTION A-A

APRON #	W1	W2	L
1	3'	10'	10'
2	3'	10'	10'
3	4'	11'	10'
4	8'	12'	16'

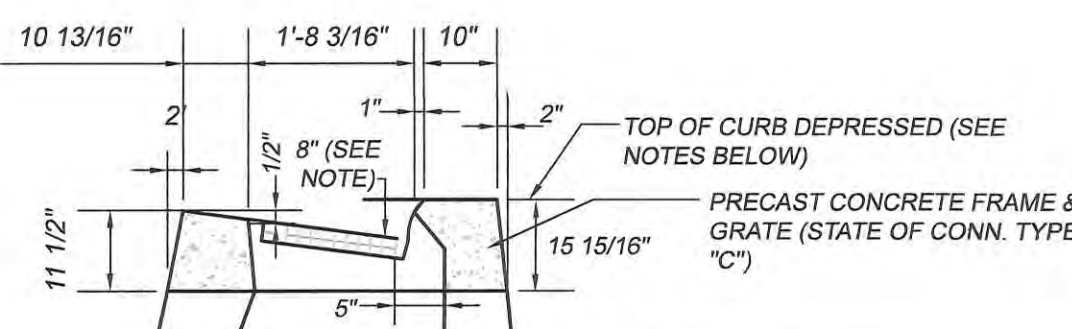
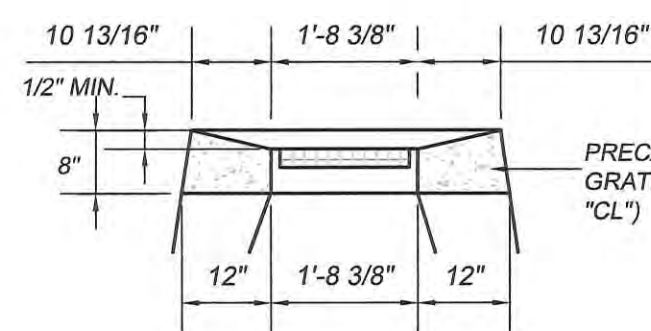
MODIFIED RIPRAP APRON - TYPE A  
NOT TO SCALE



NOTE: CATCHBASIN TO BE FITTED WITH "SNOUT" HOOD WHERE INDICATED ON PLANS. HOODED BASINS SHALL HAVE 4' SUMPS.

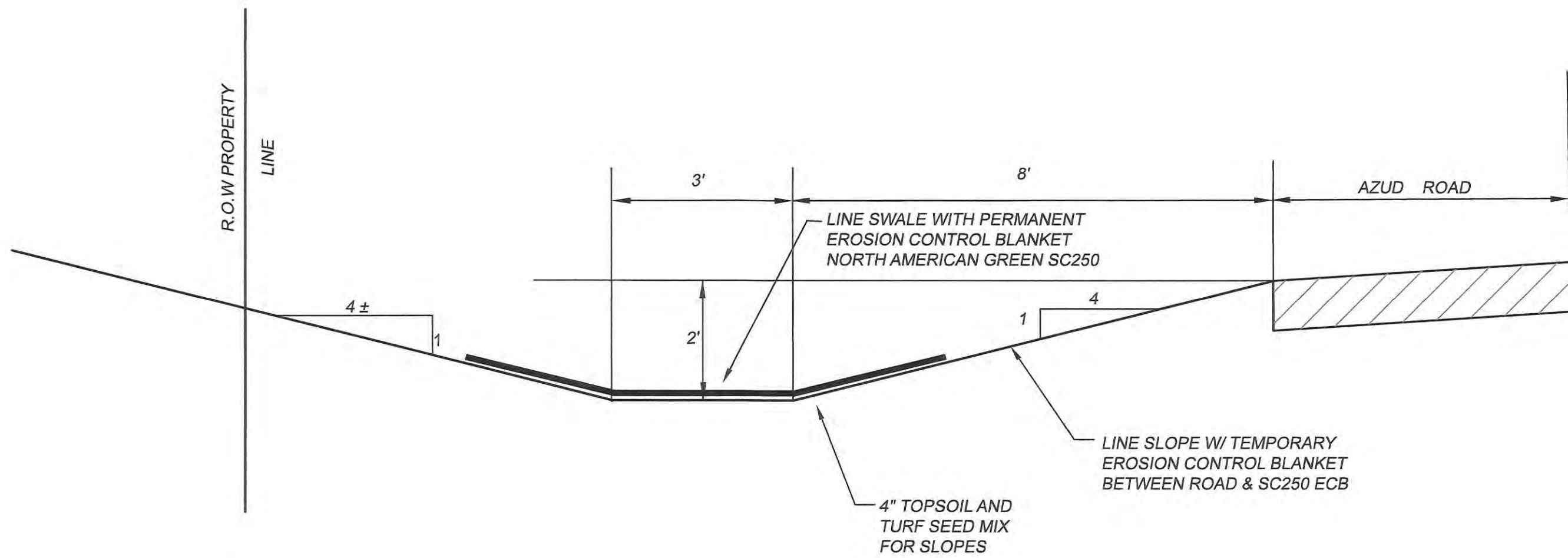
TYPE "C" OR "C-L" CATCH BASIN WITH SUMP  
NOT TO SCALE

NOTE: FRAME EL. SHOWN ON PLAN IS CUTTER GRADE AT CENTER OF CATCHBASIN



NOTES: 1. 8" HEIGHT IS FOR BITUMINOUS CONCRETE LIP CURB  
2. 7" HEIGHT WILL BE USED FOR CONCRETE CURB.  
3. TRANSITION ELEVATION OF TOP OF CURB TO MATCH STANDARD GRADE 5' EACH SIDE OF CATCH BASIN.

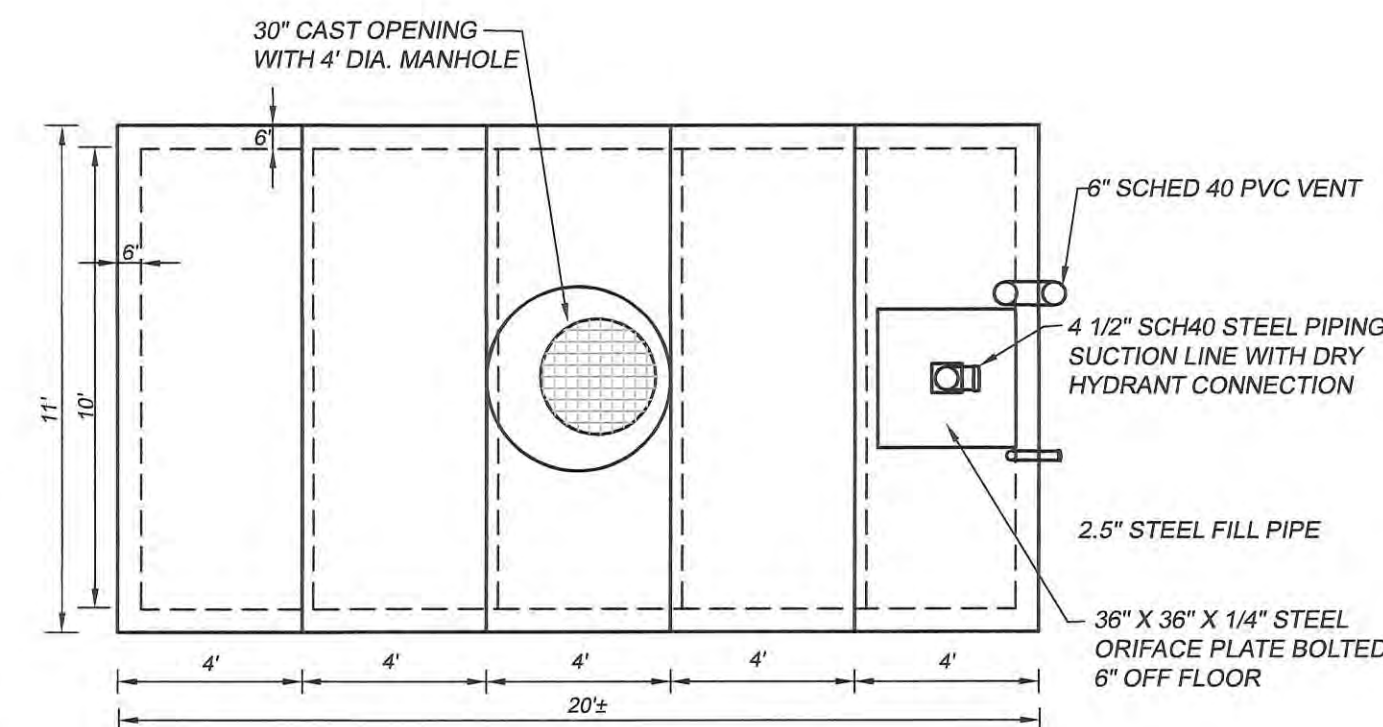
FRAME AND GRATE FOR  
TYPE "C" OR "CL" CATCH BASIN  
NOT TO SCALE



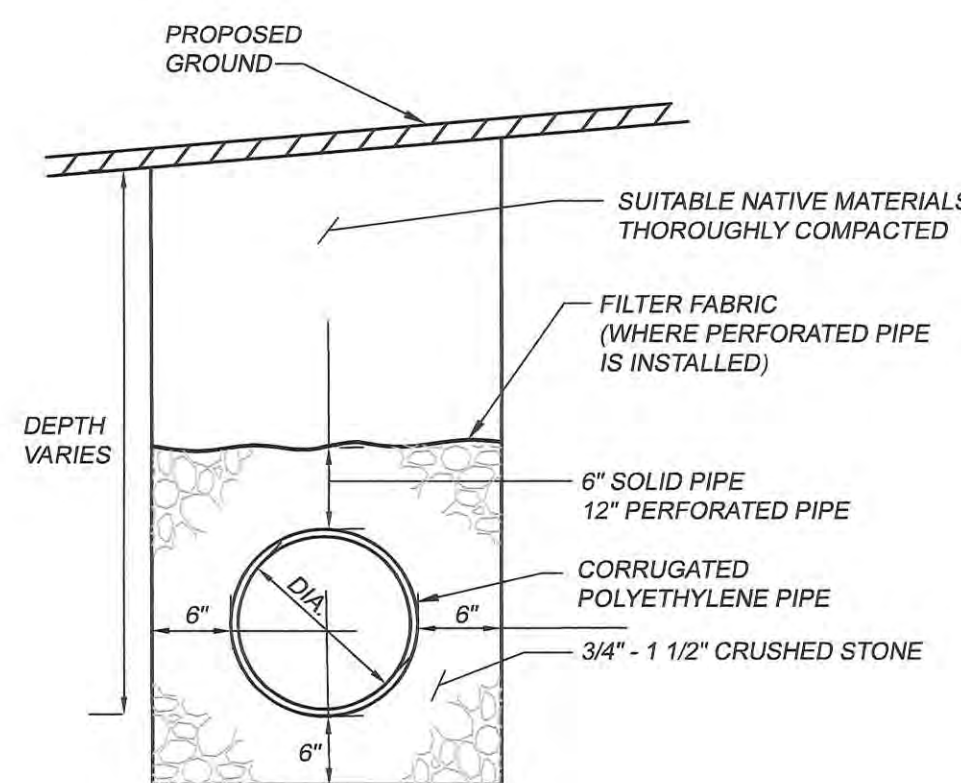
AZUD ROAD DRAINAGE SWALE SECTION  
1" = 2'

CISTERN NOTES:

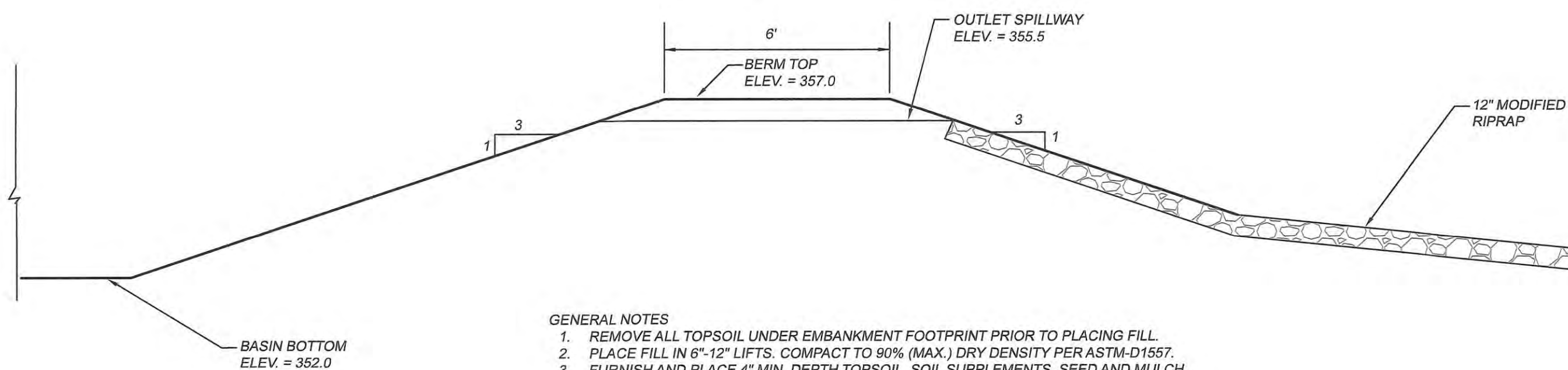
- CONCRETE TANKS SHALL MEET THE REQUIREMENTS FOR RESISTING EARTHQUAKE DAMAGE BY COMPLYING WITH THE EARTHQUAKE PROVISIONS OF ACI 350.
- CONCRETE TANK WALLS SHALL BE MADE IMPERMEABLE BY MEANS OF AN IMPERVIOUS MEMBRANE OR COATING APPLIED TO THE INTERIOR SURFACE OF THE TANK TO PREVENT VISIBLE LEAKAGE OR SEEPAGE THROUGH THE TANK WALL.
- LEAKAGE TESTING  
A) PREPARATION- THE TANK SHALL BE FILLED WITH WATER TO THE MAXIMUM LEVEL AND LEFT TO STAND FOR AT LEAST 24 HOURS  
B) MEASUREMENT- THE DROP IN LIQUID LEVEL SHALL BE MEASURED OVER THE NEXT 72-HOUR PERIOD TO DETERMINE THE LIQUID VOLUME LOSS. EVAPORATIVE LOSSES SHALL BE MEASURED OR CALCULATED AND SHALL BE DEDUCTED FROM THE MEASURED LOSS TO DETERMINE WHETHER THERE IS NET LEAKAGE.  
C) THERE SHALL BE NO MEASURABLE LEAKAGE AFTER THE TANK IS PLACED IN SERVICE.
- CAST-IN-PLACE CONCRETE MUST ACHIEVE A 28-DAY STRENGTH OF A GAUGE PRESSURE OF 3000 PSI. IT MUST BE PLACED WITHIN A MINIMUM IF 4IN. SLUMP AND VIBRATED IN A PROFESSIONAL MANNER.
- ALL SUCTION AND FILL PIPING MUST BE ASTM INTERNATIONAL SCHEDULE 40 STEEL. ALL VENT PIPING MUST BE ASTM SCHEDULE 40 PVC.
- ALL PVC PIPING MUST HAVE GLUED JOINTS.
- THE FINAL SUCTION CONNECTION MUST BE 4 1/2 IN. MALE NATIONAL STANDARD HOSE THREAD AND MUST BE CAPPED.
- THE FILLER PIPE SIAMSESE MUST HAVE 2 1/2 IN. FEMALE NATIONAL STANDARD THREADS WITH PLASTIC CAPS.
- ALL BACKFILL MATERIAL MUST BE SCREENED GRAVEL WITH NO STONES LARGER THEN 1 1/4IN. AND MUST BE COMPACTED TO 95 PERCENT IN ACCORDANCE WITH ASTM D1557.
- BEDDING FOR THE CISTERN MUST CONSIST OF A MINIMUM OF 12 IN. OF 3/4 IN TO 1 1/2 IN CRUSHED, WASHED STONE, COMPACTED.



10,000 GALLON FIRE PROTECTION CISTERN  
NOT TO SCALE

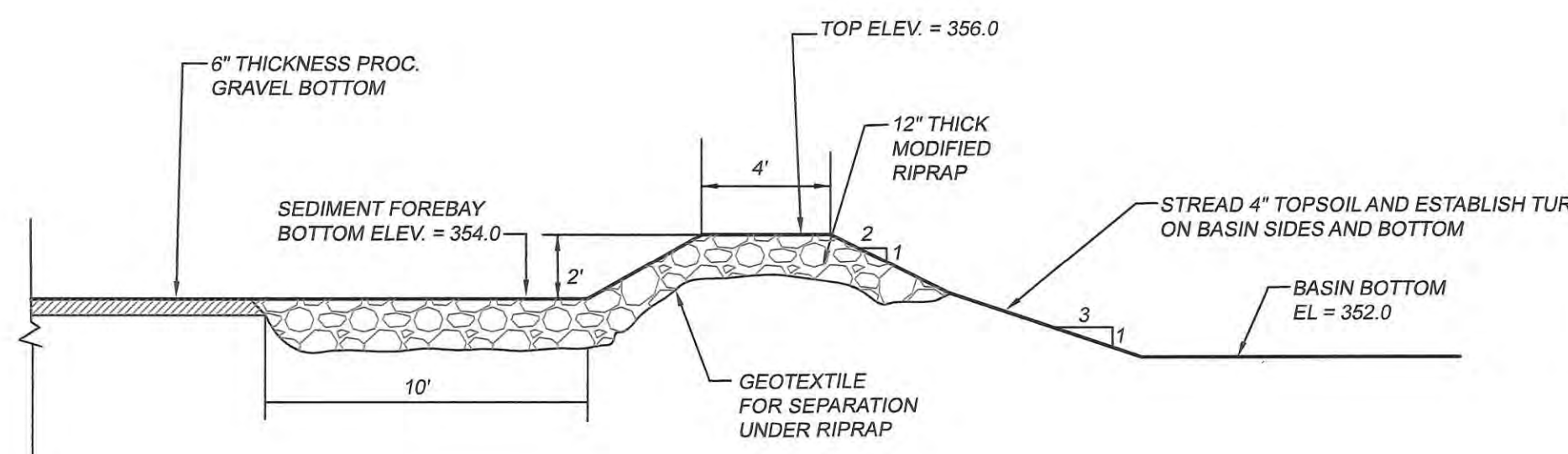


CPP DRAINAGE PIPE  
INSTALLATION DETAIL  
NOT TO SCALE



GENERAL NOTES  
1. REMOVE ALL TOPSOIL UNDER EMBANKMENT FOOTPRINT PRIOR TO PLACING FILL.  
2. PLACE FILL IN 6"-12" LIFTS. COMPACT TO 90% (MAX.) DRY DENSITY PER ASTM-D1557.  
3. FURNISH AND PLACE 4" MIN. DEPTH TOPSOIL, SOIL SUPPLEMENTS, SEED AND MULCH.

PHASE 2 STORMWATER BASIN  
TYPICAL SECTION  
N.T.S.



PHASE 2 STORMWATER BASIN  
CROSS SECTION THROUGH SEDIMENT FOREBAY  
1" = 5'

Received

APR 10 2023

Thompson Wetlands Office

**CONSTRUCTION DETAILS  
DRAINAGE  
FOR  
HILLSIDE TOWNHOMES  
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT**

**J&D CIVIL  
ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: JJB  
CHECKED: DRB

REVISIONS:  
3-2-23

JOB NO: 22203  
SCALE: AS NOTED

DATE: JANUARY 31, 2023  
SHEET: 11





## Agenda Item E.b) 1. New Applications

DEC23009, Francesca Morano, 279 Lowell Davis Road, (Assessor's Map 99, block 29, lot 24), 2-lot subdivision with no work in wetlands or water courses, submitted to meet requirements of Section 8-26(e) of the Connecticut General Statutes, stamped received 4/20/23.





*Town of Thompson*  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

For Commission Use Only  
Application #: DEC23009

Received

APR 14 2023

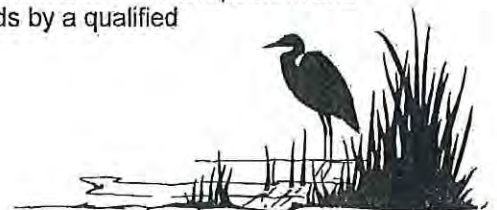
Thompson Wetlands Office

**APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE**

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

**Part I Request for Use Permitted as of Right or Non-Regulation Use** (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
  - a. ☐ Grazing, farming, nurseries, gardening and harvesting of crops.
  - b. ☐ Farm pond three (3) acres or less essential to the farming operation.
  - c. ☐ Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
  - d. ☐ Boat anchorage or mooring.
  - e. ☐ Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
  - f. ☐ Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
  - g. ☐ Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
  - a. ☐ Conservation of soil, vegetation, water, fish or wildlife.
  - b. ☐ Outdoor recreation
  - c. ☐ Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
  - a. ☐ The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
  - b. ☐ The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
  - c. ☒ The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)





**Part II Contact Information**

1) Applicant Contact Information

a) Applicant Name: Francesca Morano

b) Mailing Address: PO Box 23  
(include town state zip) Thompson, CT 06277

c) Daytime Phone #: \_\_\_\_\_

d) Evening Phone #: \_\_\_\_\_

e) Cell Phone # (optional): (860) 778-5890

f) Email Address (optional): fmorano44@gmail.com

2) Applicant's Interest in Property (check one only)

☒ property owner ☐ lessee ☐ easement holder

3) Owner Contact Information (required if applicant is not property owner)

a) Name: \_\_\_\_\_

b) Mailing Address: \_\_\_\_\_  
(include town state zip) \_\_\_\_\_

c) Daytime Phone #: \_\_\_\_\_

d) Evening Phone #: \_\_\_\_\_

e) Cell Phone # (optional): \_\_\_\_\_

f) Email Address (optional): \_\_\_\_\_

**Part III Site Information**

1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot
<u>279 Lowell Davis Rd</u>	<u>99</u>	<u>29</u>	<u>24</u>

2) Attach an 8 1/2 inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable – see <https://thompsonct.mapgeo.io> )

3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

a) Wetlands: 0 (in square feet)

b) Open Water Body: 0 (in square feet)

c) Stream: 0 (in linear feet)

4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see [http://thompsonct.org/images/stories/Inland\\_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf](http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf) - check one) ☒ No ☐ Yes (If Yes, then upland review area = 200 ft.)

5) Upland Review Area altered: \_\_\_\_\_ (in square feet)

For 6 & 7 below see [http://thompsonct.org/images/stories/Planning\\_Development/Inland\\_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf](http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf)

6) U.S.G.S. Topographic Quadrangle (check all involved)

☐ #13 Webster MA

☐ #14 Oxford MA

☐ #28 Putnam

☒ #29 Thompson

7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

French River ☐ 3300 ☐ 3301

Quinebaug River ☐ 3700 ☐ 3708

Five Mile River ☒ 3400 ☐ 3401 ☐ 3402



**Part IV Description of Activity Proposed**

1. Detailed project description and purpose: \_\_\_\_\_

subdivide property into two parcels  
wetlands delineated by soil scientist

Margaret Washburn

no proposed work in wetlands or watercourses  
or upland review area

review required pursuant to subdivision statutes

2. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

**Part V Application Permissions & Certifications****1) Owner's Permission<sup>1</sup>**

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposes of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

Francesca S. Nunez  
(Signature of property owner)

4/17/2023  
Date

Francesca S. Nunez

4/17/2023

For all persons excluding individuals print name and title of signatory above

**2) Applicant's Certification<sup>1</sup>**

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

\_\_\_\_\_  
(Signature of applicant)

\_\_\_\_\_  
Date

For all persons excluding individuals print name and title of signatory above

**\*\*\* For Commission Use Only \*\*\***

Agency Response:

IWC Chair Signature:

Date:

<sup>1</sup> If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.



# **WASHBURN WETLAND CONSULTING LLC**

19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022

Telephone (860) 428-8424 • washburnwetland@yahoo.com

DRAFT pending confirmation of southern property line by J&D

Fran Morano

December 27, 2015

279 Lowell Davis Road

PO Box 23

Thompson, CT 06277

Dear Fran,

On December 19 and 23, 2015, at your request, I conducted a site investigation on a portion of your property at 279 Lowell Davis Road in Thompson, CT. The purpose of the site investigation was to delineate the wetlands in two areas you indicated, near the southeast corner and near the northwest corner of the subject property. At your request, I did not check the entire property for wetlands.

The subject property is located on an area of nearly level to steeply sloping soils formed in glacial till. References used in the soil identification process included the *Soil Survey of Windham County Connecticut* (USDA Soil Conservation Service, December 1981), and a surveyor's map J&D Civil Engineers provided. The wetlands were delineated using consecutively numbered lengths of blue surveyors' ribbon. There are three series of wetland flags (WF), numbered WF1- WF12, WF 13- WF32, and WF 33- WF35. Please refer to the attached site sketch for further details.

The headwater wetland near the southeast corner of the subject property consists of a wooded shrub swamp. According to the *Soil Survey*, the water from this wetland eventually drains under the Airline Trail to the south. The wetland near the northeast property corner consists of a wooded shrub swamp that borders on Sunset Hill Brook.

According to Map 9 of the *Soil Survey of Windham County Connecticut*, in the areas of the wetlands delineations, the upland soils consist of a complex of Charlton-Hollis very rocky fine sandy loams. The wetlands soils on the subject property consist of a complex of Ridgebury, Leicester, and Whitman extremely stony fine sandy loams. The site investigation confirmed the mapping in the soil survey.

It has been a pleasure working for you on this site. Please feel free to call me if I may be of further assistance.

Sincerely,

*Margaret Washburn, M.S.*

Margaret Washburn, M.S.

Registered Professional Soil Scientist

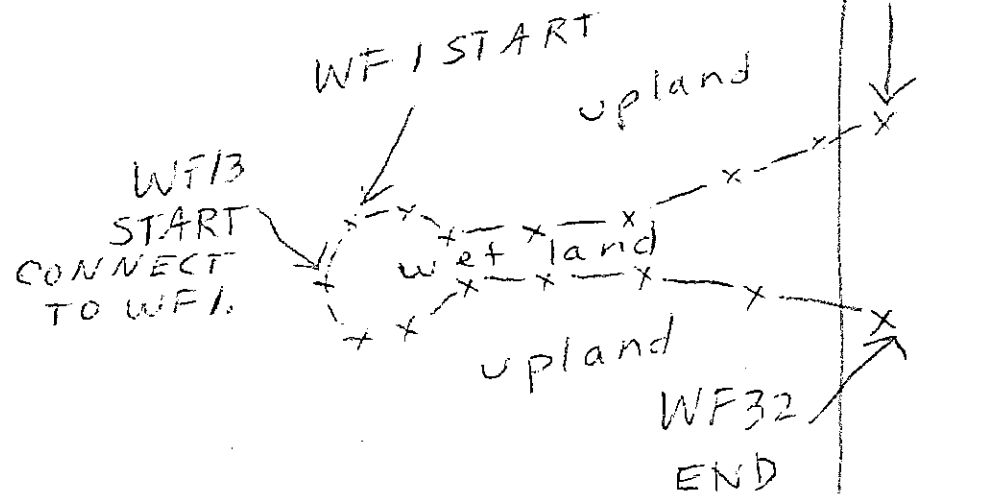
**Received**

**APR 20 2023**

**Thompson Wetlands Office**

N ←

Please note:  
Site sketch is  
not to scale.



WF33 START

WF35 END

Lowell Davis Road

culvert under road



MORANO 2 LOT SUBDIVISION

MAP 99 BLOCK 29 LOT 24  
279 LOWELL DAVIS RD, THOMPSON, CT 06255

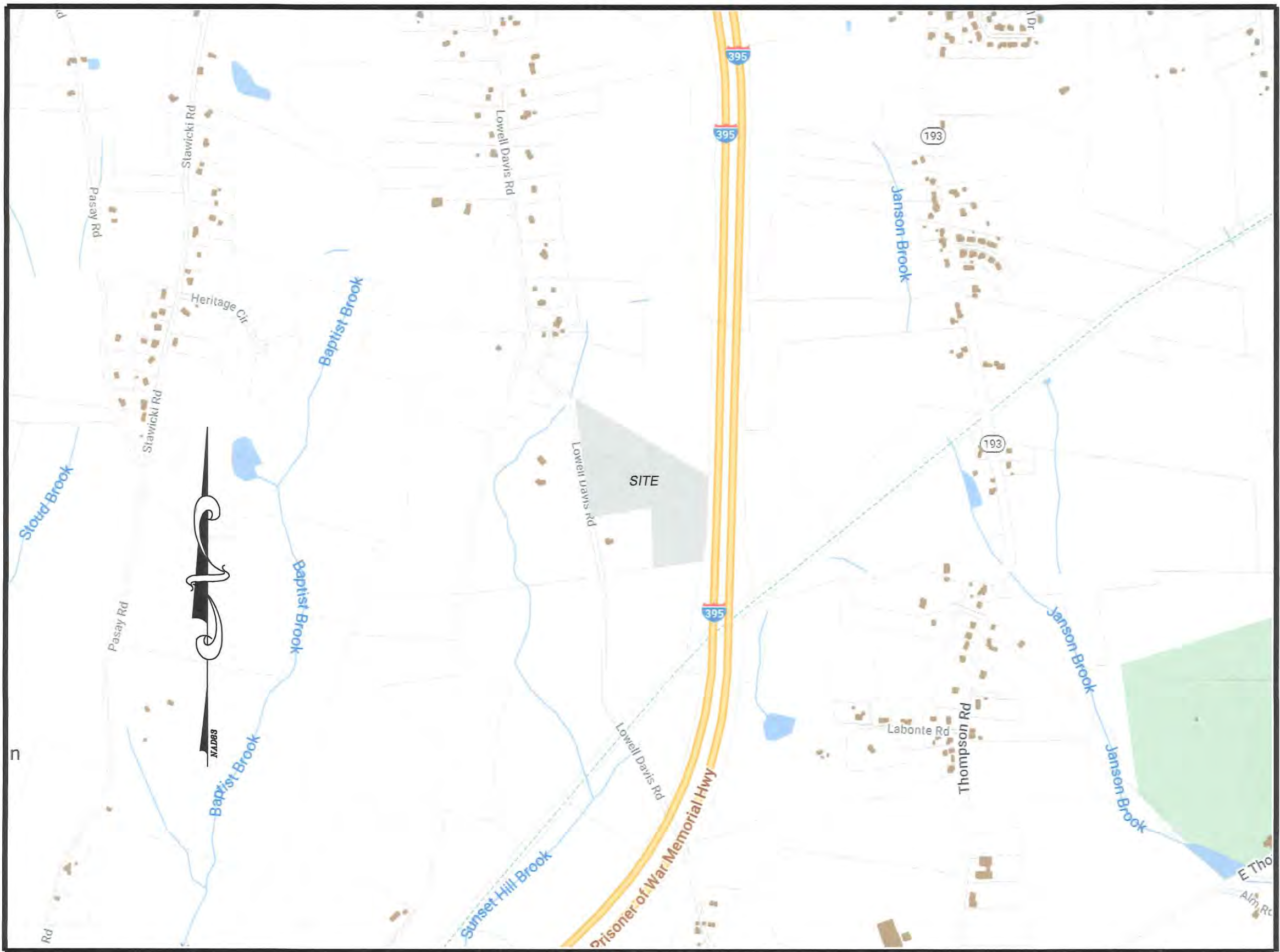
DATED: APRIL 6, 2023

OWNER AND APPLICANT:

FRANCESCA MORANO  
P.O. BOX 23  
THOMPSON, CT 06277

INDEX OF DRAWINGS

- 1 COVER
- 2 PROPERTY SURVEY
- 3 SITE DEVELOPMENT PLAN
- 4 DETAILS AND SEPTIC SYSTEM DATA



LOCATION MAP  
1" = 1000'

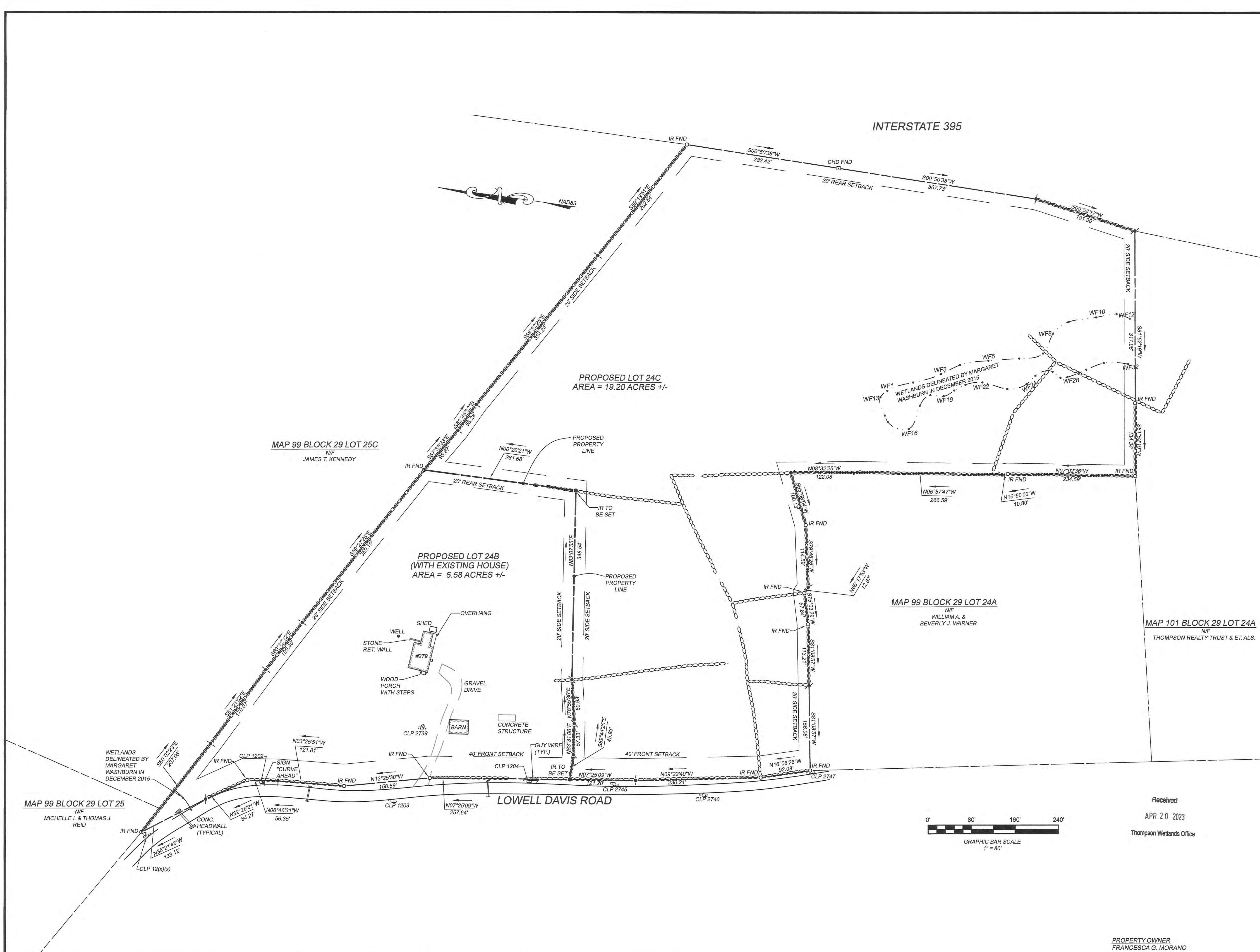
ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT (RRAD)  
USE: RESIDENTIAL

ITEM	REQUIRED	LOT 24B	LOT 24C
FRONTAGE	150'	811.78'	443.49'
LOT COVERAGE	<50%	< 3%	< 1%
FRONT SETBACK	40'	79'± (BARN)	
	385'±		
SIDE SETBACK	20'	184'±	82'±
REAR SETBACK	20'	283'±	740'±
LOT SIZE	40,000 SF	286,565 SF	836,172 SF
NET BUILDABLE AREA	15,000 SF	> 15,000 SF	>15,000 SF

Received  
APR 20 2023  
Thompson Wetlands Office

J & D CIVIL ENGINEERS, LLC  
401 RAVENELLE ROAD  
THOMPSON, CT 06255  
JDCIVILENGINEERS.COM  
860-923-2920





**SURVEY NOTES**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: SUBDIVISION PLAN

BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY / ORIGINAL SURVEY

HORIZONTAL ACCURACY: A2

PURPOSE: TO SUBDIVIDE LOT 24B

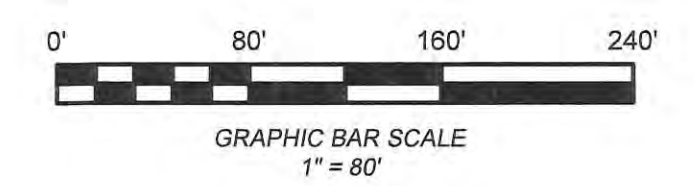
2. REFERENCE PLANS:  
(A) PLAN OF LAND, OWNED BY MICHELE ELAINE RILEY, LOWELL DAVIS ROAD, THOMPSON, CONNECTICUT, PREPARED BY ALBERT L. FITZBACK, R.L.S. PREPARED ON JUNE 1983, SCALED 1" = 80'. ON FILE AS MAP NUMBER 881.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Dennis R. Blanchette* 7/25/22 12107  
DENNIS R. BLANCHETTE DATE LICENSE #

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE  
© 2023 J&D CIVIL ENGINEERS, LLC

- LEGEND**
- IRON ROD OR DRILL HOLE TO BE SET
  - ANGLE POINT
  - EXISTING IRON ROD OR DRILL HOLE
  - EXISTING PROPERTY LINE
  - ABUTTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - BUILDING SETBACK
  - EDGE OF EASEMENT
  - STONE WALL
  - WETLANDS



Received  
APR 20 2023  
Thompson Wetlands Office

<b>SUBDIVISION PLAN</b> <b>PREPARED FOR</b> <b>FRANCESCA MORANO</b> 279 LOWELL DAVIS RD - THOMPSON, CT MAP 99 BLOCK 29 LOT 24	
<b>J&amp;D CIVIL ENGINEERS, LLC</b> 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 860-923-2920	
<b>DESIGNED: APS</b> <b>CHECKED: JAB</b>	<b>REVISIONS:</b>
<b>JOB NO: 21223</b>	<b>DATE: APRIL 6, 2023</b>
<b>SCALE: 1" = 80'</b>	<b>SHEET: 2 OF 4</b>

<b>TOWN OF THOMPSON</b> RECEIVED FOR RECORDING	<b>APPROVED</b> PLANNING AND ZONING COMMISSION	<b>APPROVED</b> INLAND WETLANDS COMMISSION
TOWN CLERK      DATE      TIME      MAP #	CHAIRMAN      DATE	CHAIRMAN      DATE

**ZONING INFORMATION:**  
ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT  
MINIMUM LOT AREA: 40,000 S.F.  
MINIMUM FRONTAGE: 150'  
MINIMUM FRONT YARD: 40'  
MINIMUM SIDE YARD: 20'  
MINIMUM REAR YARD: 20'

PROPERTY OWNER  
FRANCESCA G. MORANO

REFERENCE DEED  
THOMPSON LAND RECORDS  
VOL. 263 PG. 116

ASSESSORS REFERENCE  
MAP 99 BLOCK 29 LOT 24





**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN FEBRUARY 2023, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: PLAN OF LAND, OWNED BY MICHELE ELAINE RILEY, LOWELL DAVIS ROAD, THOMPSON, CONNECTICUT, PREPARED BY ALBERT L. FITZBACK, R.L.S. PREPARED ON JUNE 1983. SCALED 1" = 80'. ON FILE AS MAP NUMBER 881.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*Dennis R. Blanchette* 4/20/23 12107  
DENNIS R. BLANCHETTE DATE LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE  
© 2023 J&D CIVIL ENGINEERS, LLC

Received  
APR 20 2023  
Thompson Wetlands Office

- LEGEND**
- BUILDING SETBACK LINE
  - PROPERTY LINE
  - EXISTING CONTOUR LINE
  - PROPOSED CONTOUR LINE
  - STONEMALL
  - UTILITIES
  - EROSION CONTROL DEVICES
  - TEST PIT

**CONCEPTUAL SITE DEVELOPMENT PLAN**  
PREPARED FOR  
**FRANCESCA MORANO**  
279 LOWELL DAVIS RD - THOMPSON, CT  
MAP 99 BLOCK 29 LOT 24C

**J&D** CIVIL ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920



DESIGNED: JJB CHECKED: DRB	REVISIONS:
JOB NO: 21223 SCALE: 1" = 40'	DATE: APRIL 6, 2023 SHEET: 3 OF 4



MLSS CALCULATIONS

EXISTING HOUSE #279 - 3 BEDROOMS - ENGINEERED

TP 3  
PERC RATE B = 19.2 MIN. / IN.  
675 S.F. LEACHING AREA  
RL = 32"  
S = 8.1% - 10.0%  
MLSS = 45' (HF = 24, PF = 1.25, FF = 1.5)  
LSS PROVIDED = 75'

PROPOSED HOUSE - 3 BEDROOMS - ENGINEERED

TP 1 & 2  
PERC RATE A = 13.3 MIN. / IN.  
675 S.F. LEACHING AREA  
RL = 27" - 30"  
S = 3.1% - 4.0%  
MLSS = 64' (HF = 34, PF = 1.25, FF = 1.5)  
LSS PROVIDED = 75'

PERC. TEST RESULTS

OBSERVED BY: MAUREEM MARCOUX  
DATE: JANUARY 10, 2023

HOLE A - NEAR TP 1 & 2

TIME	READING
10:50	3.0"
11:06	5.5"
11:30	8.0"
11:40	8.75"

DEPTH: 34"  
RATE: 13.3 MIN/IN

HOLE B - NEAR TP 3

TIME	READING
11:49	7.375"
12:00	8.875"
12:15	10.375"
12:32	11.375"
12:44	12.00"

DEPTH: 32"  
RATE: 19.2 MIN/IN

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX  
DATE: JANUARY 10, 2023  
FILE #10000305

PIT NO. 1

0" - 6" TOPSOIL - MANY ROOTS  
8" - 18" FINE SANDY LOAM - ROOTS  
18" - 38" SILTY, LOAMY VERY FINE SAND, FEW ROOTS  
38" - 74" COMPACT PAN  
74" - 85" GROUNDWATER

MOTTLING: 27"  
GROUND WATER: 74", SEEPS 55"  
LEDGE: N/A  
RESTRICTIVE: 27"

PIT NO. 2

0" - 10" TOPSOIL - ROOTS  
10" - 30" SILTY LOAMY VERY FINE SAND, FEW ROOTS  
30" - 68" WET MOTTLED SILTY LOAMY VERY FINE SAND  
68" - 84" GROUNDWATER

MOTTLING: 30"  
GROUND WATER: 68", SEEPS 36"  
LEDGE: N/A  
RESTRICTIVE: 30"

PIT NO. 3

0" - 4" ORGANICS, TOPSOIL  
4" - 12" LOAMY FINE SAND, SOME STONE  
12" - 32" LOAMY FINE SAND  
32" - 70" MOD. COMPACT SANDY PAN  
70" - 80" GROUNDWATER

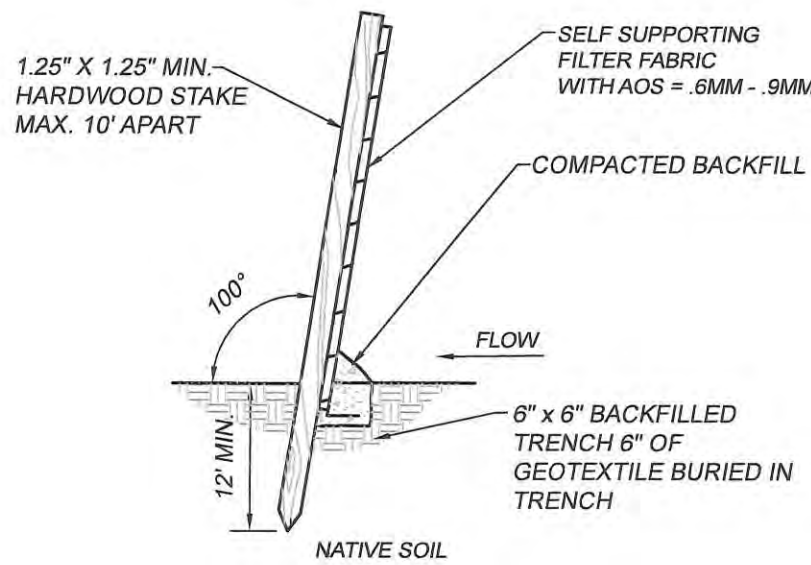
MOTTLING: 32"  
GROUND WATER: 70", SEEPS 49"  
LEDGE: N/A  
RESTRICTIVE: 32"

- EROSION AND SEDIMENT CONTROL NOTES:
1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
  2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
  3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
  4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

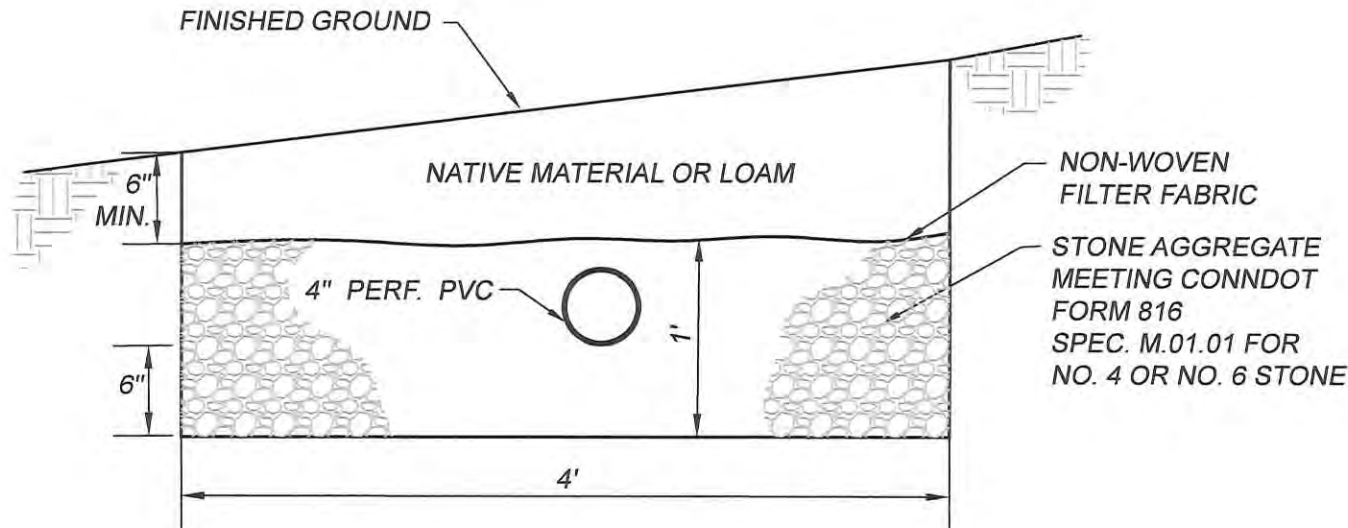
Received

APR 20 2023

Thompson Wetlands Office



SILT FENCE INSTALLATION  
NOT TO SCALE



LEACHING TRENCH DETAIL  
N.T.S.

DETAILS AND SEPTIC SYSTEM DATA  
PREPARED FOR  
**FRANCESCA MORANO**  
279 LOWELL DAVIS RD - THOMPSON, CT  
MAP 99 BLOCK 29 LOT 24

**J&D** CIVIL  
ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920



DESIGNED: JJB  
CHECKED: DRB

REVISIONS:

JOB NO: 21223

SCALE: 1" = 40'

DATE: APRIL 6, 2023

SHEET: 4 OF 4



## Agenda Item E.b) 2 New Applications

IWA23010, Thompson Business Park LLC, 0 & 0 Reardon Road, (Assessor's Map 65, block 100, lot 40 & 40G), self-storage facilities with grading and stormwater discharges in 100-foot upland review area, stamped received 5/2/23, to be statutorily received 5/9/23.

for commission use:	rev 1/11
application #	<u>IWA23010</u>
date received	<u>May 2, 2023</u>

**PERMIT APPLICATION**  
TO CONDUCT A REGULATED ACTIVITY

## Town of Thompson

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

**Instructions:**

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

---

**WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:**

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
  - \*Pole Number    \*Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site  
(These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

---

**FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION**

---

**FEE SCHEDULE:**

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee.....Applicants will be billed for professional review as needed,  
see regulations booklet Section 18.5

**For:            Conceptual Approval of Subdivisions use "Subdivision Review Application"**

---

Please complete the following application information.

**Received**

**MAY 02 2023**



Date 4/25/2023

1) Name of Applicant THOMPSON BUSINESS PARK, LLC  
Home Address 101 MACKIN DRIVE, GRISWOLD, CT 06351  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs 860-888-3129  
Business Address SAME

2) Applicant's interest in the Property: ☒ Owner \_\_\_\_\_ Other \_\_\_\_\_  
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.  
No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) SAME  
Home Address \_\_\_\_\_  
Business Address \_\_\_\_\_  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location SNET 141  
Street or Road Location REARDON ROAD  
Tax Assessor's Map # 65  
Block # 100  
Lot # that appears on site plan 40 & 40G  
Deed Info : Volume # \_\_\_\_\_  
Page # \_\_\_\_\_

5) The property to be affected by the proposed activity contains:

Soil Types \_\_\_\_\_  
Wetland Soils ☒ (Swamp ☒ Marsh ☒ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)  
Watercourses N/A (Lake or Pond \_\_\_\_\_ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)  
Floodplain - Yes/No

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity SITE DEVELOPMENT FOR A  
PROPOSED SELF STORAGE FACILITY WITH ACTIVITY IN THE  
UPLAND REGION

If the above activity involves deposition or removal of material, what is the quantity? NONE IN WETLANDS

b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation with base flood elevations.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☐ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) SILT FENCE WILL BE INSTALLED FOR CONSTRUCTION

ACTIVITIES.. POST CONSTRUCTION STORMWATER MANAGEMENT  
WILL INCLUDE CRUSHED STONE WATER QUALITY TRENCHES,  
STORMWATER BASINS & RIPRAP OUTLET PROTECTION FROM BASINS.

d. Have any alternatives been considered? NO WETLANDS DISTURBANCE

If yes, explain why this proposal was chosen \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? No

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? \_\_\_\_\_ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See ATTACHED  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

11) Estimated start date July 2023

Estimated date of completion (all disturbed areas are stabilized) +

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.  
I understand that the commission is unable to act upon an incomplete application.

Shane J Pollock, 4-27-23  
Signature of Applicant member Date

\_\_\_\_\_  
Consent of Landowner if other than applicant Date

**Please attach a written consent by the owner if applicant is not the property owner.**





## JOSEPH R. THEROUX

~ CERTIFIED FORESTER/ SOIL SCIENTIST ~  
PHONE 860-428-7992 ~ FAX 860-376-6842  
P.O. Box 32, VOLUNTOWN, CT. 06384

FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENTS  
WETLAND DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING  
WETLAND FUNCTION AND VALUE ASSESSMENTS

8/2/2022

KILLINGLY ENGINEERING ASSOCIATES  
P.O. Box 421  
DAYVILLE, CT. 06241

RE: WETLAND DELINEATION, THOMPSON BUSINESS PARK LLC PROPERTY,  
REARDON RD. THOMPSON, CT.

DEAR MR. GLAUDE,

AT YOUR REQUEST I HAVE DELINEATED THE INLAND WETLANDS AND  
WATERCOURSES ON/ADJACENT TO LOTS 40, 40-1, 40-3 AND 40-4 ON THE  
ABOVE REFERENCED PROPERTY.

THESE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE  
STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY AND THE DEFINITIONS  
OF WETLANDS AS FOUND IN THE CONNECTICUT STATUTES, CHAPTER 440,  
SECTIONS 22A-38.

FLUORESCENT PINK FLAGS WITH A CORRESPONDING LOCATION NUMBER  
DELINEATE THE BOUNDARY BETWEEN THE UPLAND SOILS AND THE INLAND  
WETLANDS THAT WERE FOUND.

FLAG NUMBERS WF-1 THROUGH WF-8 DELINEATE THE SOUTHERN BOUNDARY OF  
A PALUSTRINE FORESTED WETLAND FOUND TO THE NORTH OF LOT 40-4.

FLAG NUMBERS WF-1A THROUGH WF-105A DELINEATE A PALUSTRINE FORESTED  
WETLAND COMPLEX THAT EXTENDS ALONG THE WESTERN PORTION OF LOTS 40-3  
AND 40-4. IT THEN EXTENDS TO THE SOUTH AND RUNS ALONG THE NORTHERN  
PROPERTY LINE TO LOTS 40 AND 40-1.

TWO SEPARATE INTERMITTENT WATERCOURSES WERE FOUND WITHIN THIS  
WETLAND, THE FIRST FLOWS ONTO THE PROPERTY JUST TO THE NORTH OF LOT  
40, DOWNSLOPE INTO THE WETLANDS BETWEEN LOT 40-1 AND 40-3.  
THE SECOND WATERCOURSE FLOWS FROM THE WETLANDS ALONG THE WESTERN  
PORTION OF LOTS 40-3 AND 40-4, TO THE SOUTH AND UNDER REARDON ROAD.

ON THE DATE OF THE DELINEATION, (8/1/2022), NO FLOWS WERE NOTED IN  
EITHER WATERCOURSE.



THESE WETLAND SOILS HAVE FORMED FROM THE PERSISTENT WETNESS ASSOCIATED WITH THE SEASONALLY HIGH AND/OR PERCHED WATER TABLES AND GROUNDWATER BREAKOUT.

THEY ARE CHARACTERIZED BY ORGANIC "A" HORIZONS, SHALLOW REDOXIMORPHIC FEATURES AND LOW CHROMA COLORS WITHIN 20 INCHES OF THE SOIL SURFACE.

IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE DELINEATION OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

*Joseph R. Theroux*

JOSEPH R. THEROUX  
CERTIFIED SOIL SCIENTIST  
MEMBER SSSSNE, NSCSS, SSSA.



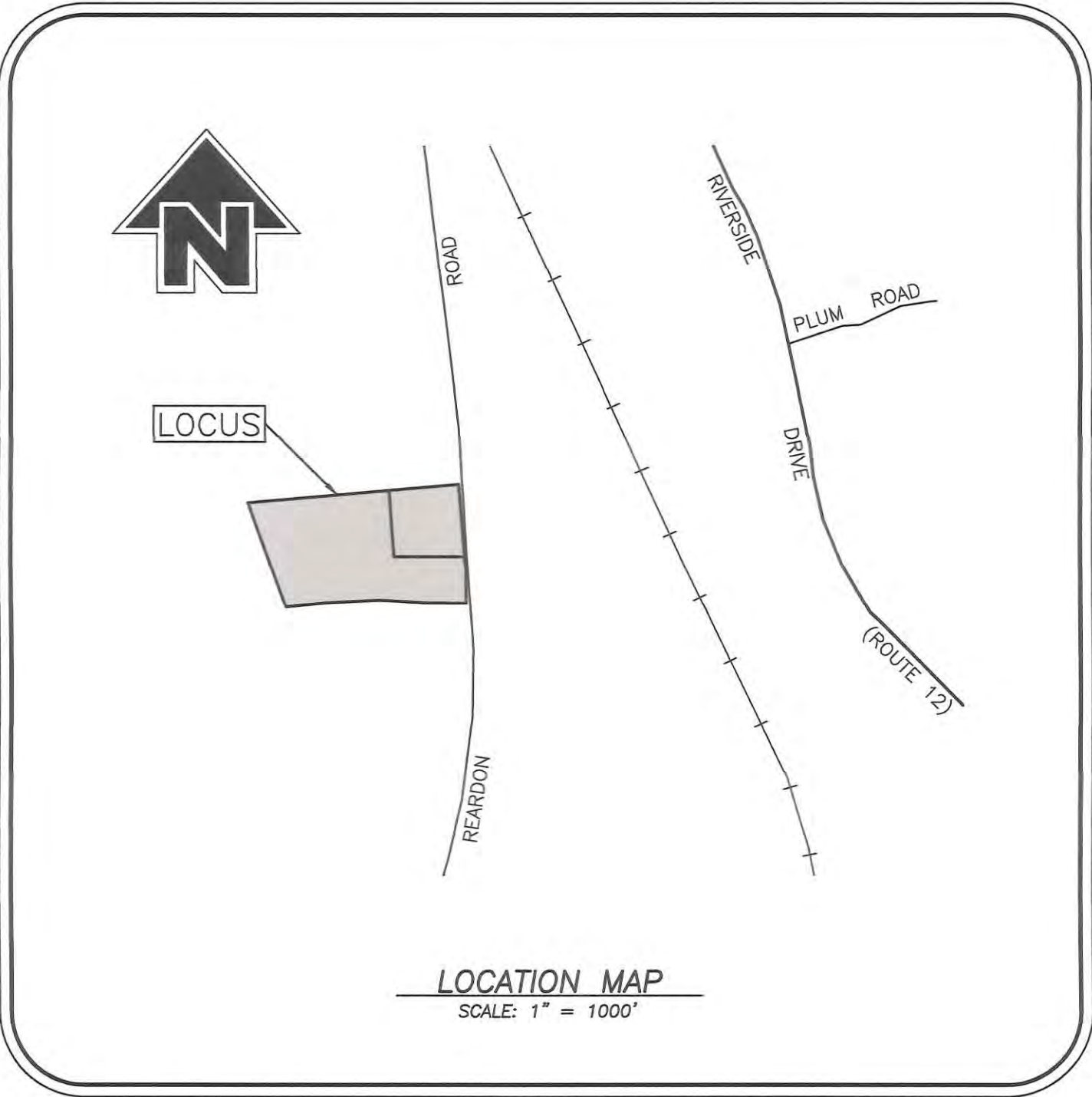
# PROPOSED SELF STORAGE FACILITY

REARDON ROAD  
THOMPSON, CONNECTICUT

PREPARED FOR:  
THOMPSON BUSINESS PARK, LLC

LEGEND

○	IRON PIN FOUND
●	IRON PIN TO BE SET
+	SIGN
⊕	UTILITY POLE
⊙	PERCOLATION TEST HOLE
⊠	TEST HOLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	INLAND WETLANDS FLAG
---	STONE WALL



## INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 6
PROPERTY SURVEY	2 OF 6
GRADING PLAN	3 OF 6
SEPTIC SYSTEM DESIGN PLAN	4 OF 6
LAYOUT & LIGHTING PLAN	5 OF 6
DETAIL SHEET	6 OF 6

## CONSTRUCTION NOTES

- All Materials and methods of construction shall conform to "State of Connecticut, Department of Transportation, Standard Specifications for Roads, Bridges and Incidental Construction, Form 817", and supplements thereto.
- In the event that ground water or evidence thereof is encountered, sufficient dewatering equipment, shall be installed and maintained to accommodate same.
- All existing site features not scheduled to remain shall be removed and disposed of in a proper manner, by the contractor.
- All reinforced concrete storm drainage pipes shall have gasketed rubber joints.
- All disturbed areas not scheduled for pavement, walks, etc. shall be permanently established as turf.
- The location of existing utilities is shown for informational purposes only. It is the responsibility of the contractor to verify the location and elevation of all utilities. Contact "CALL BEFORE YOU DIG" at 1-800-922-4455, and obtain all applicable permits, prior to any excavation around utilities.

**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

PREPARED BY:

REVISIONS	
DATE	DESCRIPTION

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

Received  
MAY 02 2023  
Thompson Wetlands Office

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS & WATERCOURSES AGENCY

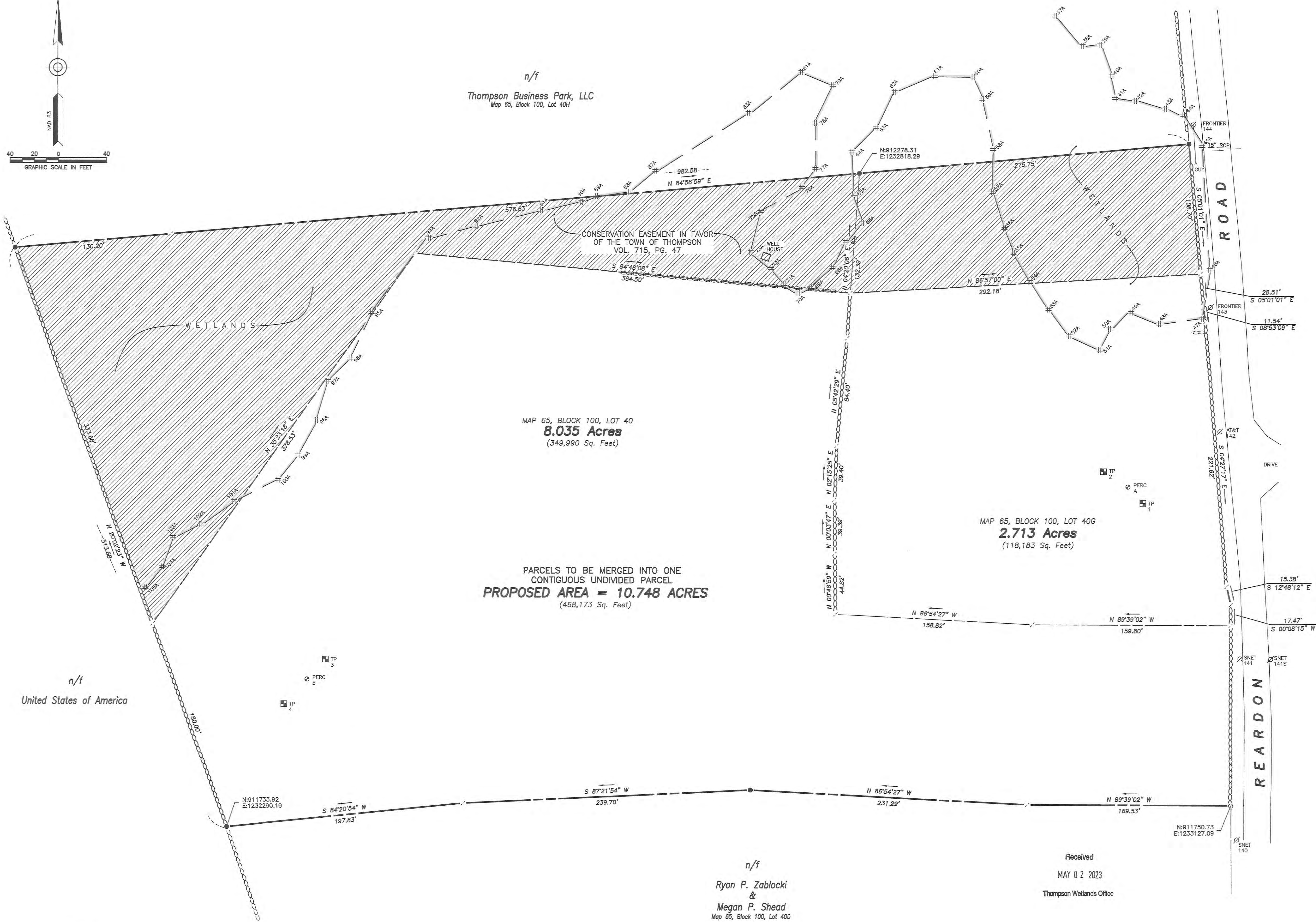
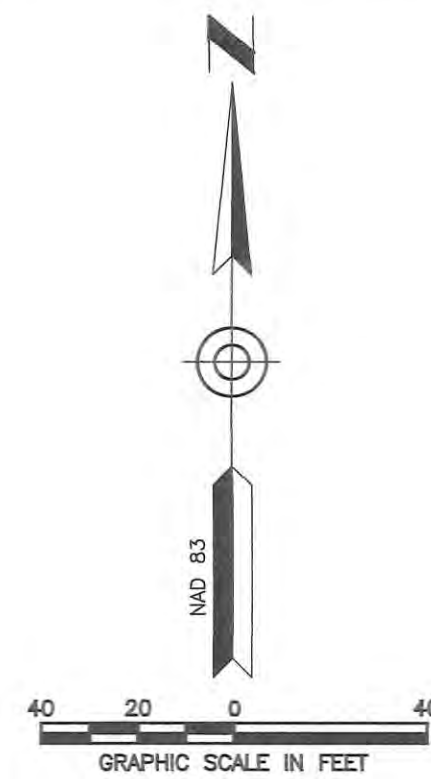
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

March 2023



NORMAND THIBAUT, JR., P.E. / No. 22834 DATE 5/1/2023





- NOTES:**
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
    - This survey conforms to a Class "A-2" horizontal accuracy.
    - Survey Type: Property Survey.
    - Boundary Determination Category: Resurvey
  - Zone = BDD (Business Development District).
  - Owner of record: Thompson Business Park, LLC, 101 Mackin Drive, Griswold, CT 06351 See Volume 1022, Page 71
  - Parcel lies within Flood Hazard Zone "C" (areas of minimal flooding) as shown on FIRM Map # 090117 Panel 0012B Effective Date: 11/01/1984.
  - Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 8/02/2022.
  - The intent of this map is to show the consolidation of Lot 40G into one contiguous undivided parcel.

- MAP REFERENCE:**
- "Subdivision Plan - Prepared for - Thompson Rail Park, LLC - Thompson, Connecticut - Scale: 1" = 100' - Date: 3/25/2008 - Sheet 1 of 6 - Prepared by: KWP Associates".

DATE	DESCRIPTION

PROPERTY SURVEY  
SHOWING PARCEL MERGER  
PREPARED FOR  
**THOMPSON  
BUSINESS PARK, LLC**  
REARDON ROAD  
THOMPSON, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 03/10/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: ---
SHEET: 2 OF 6	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 22062

**LEGEND**

- IRON PIN TO BE SET
- IRON PIN FOUND
- ⊗ UTILITY POLE
- EXISTING CONTOURS
- INLAND WETLANDS FLAG
- STONE WALL

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN DATE

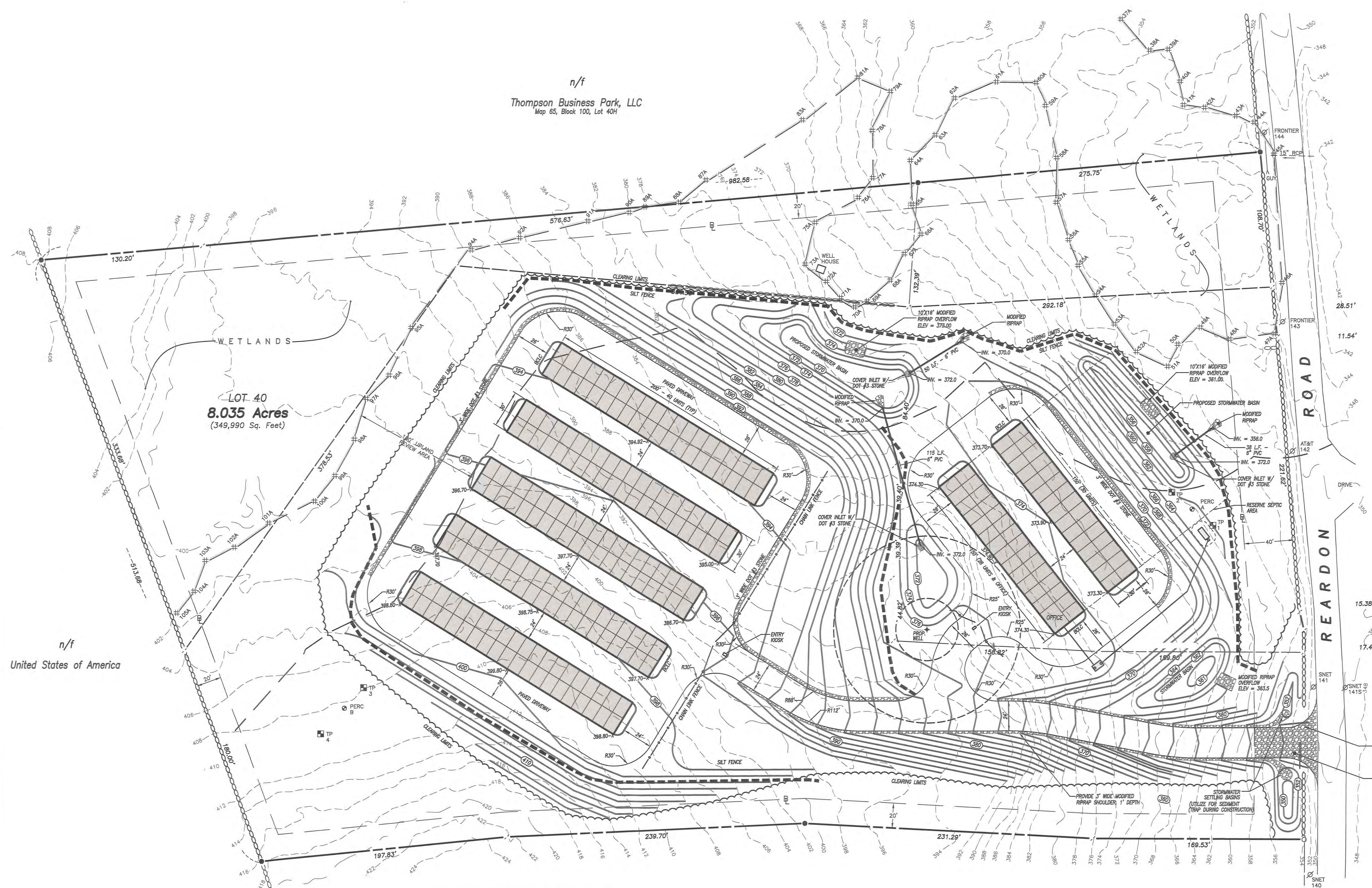
n/f  
Ryan P. Zablocki  
&  
Megan P. Shead  
Map 65, Block 100, Lot 40G

Received  
MAY 02 2023  
Thompson Wetlands Office

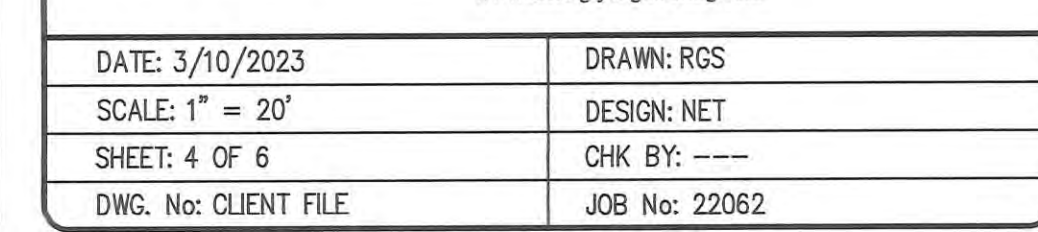
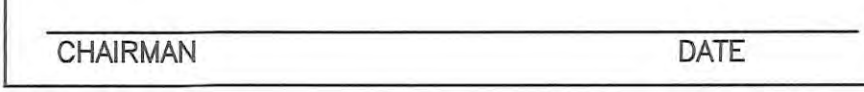
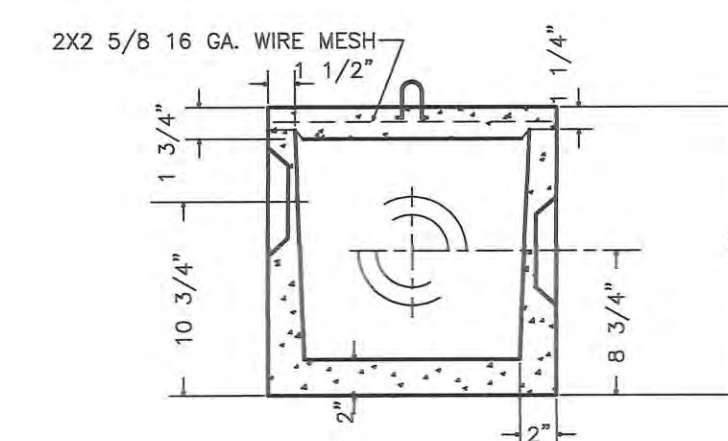
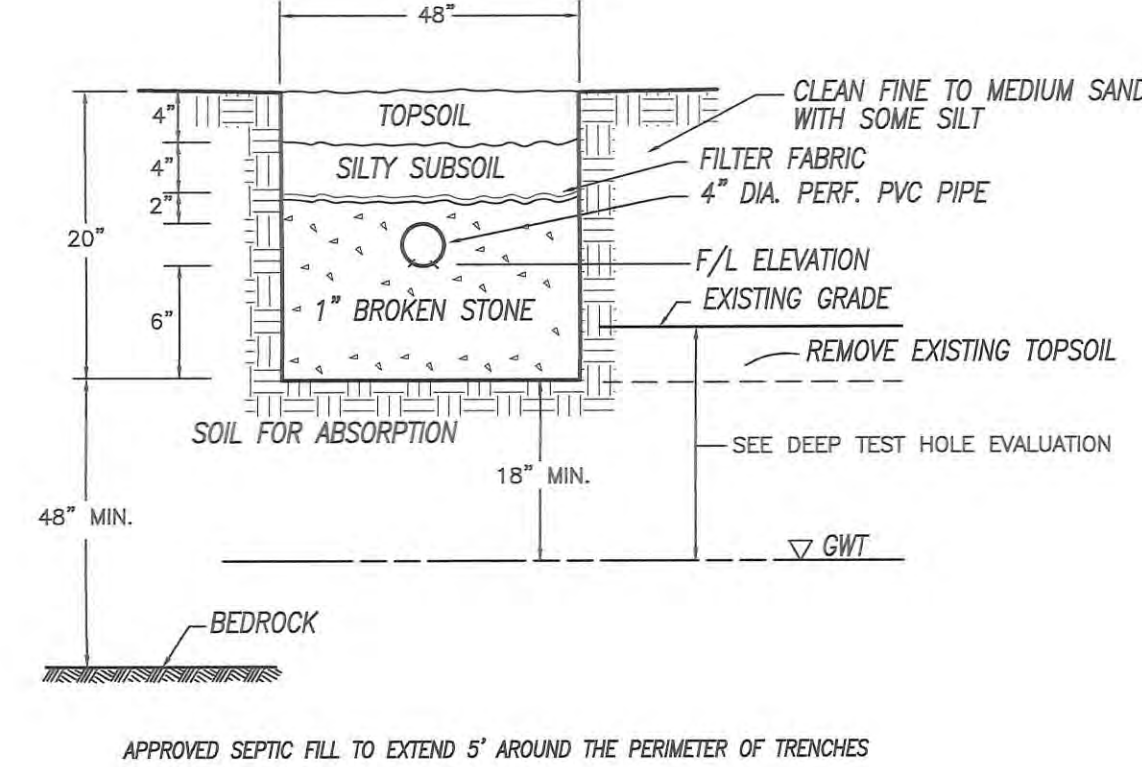
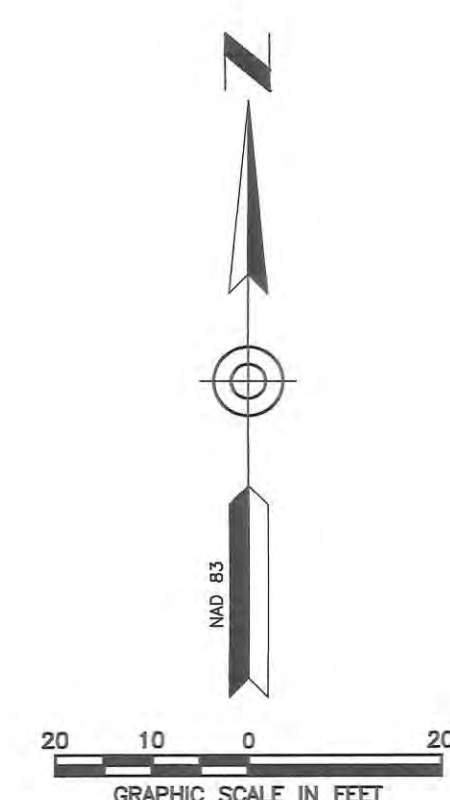


TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON.  
GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE 5/11/2023  
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.









K:\22062\Drawings\2022-SELF STORAGE\04-SSD PLAN SELF STORAGE.dwg May 01, 2023 - 10:05 AM







EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

SEPTIC SYSTEM CONSTRUCTION NOTES

- The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
- Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
  - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

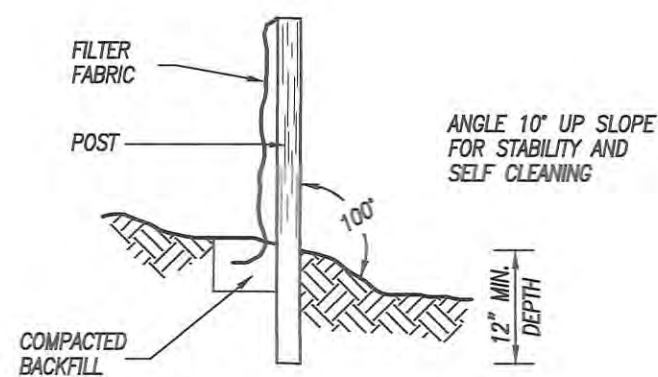
GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 20%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of five feet (5') around the perimeter of the system. Common fill shall extend an additional five feet (5') down gradient of the system (10' total) before tapering off at a maximum slope of 2H:1V.

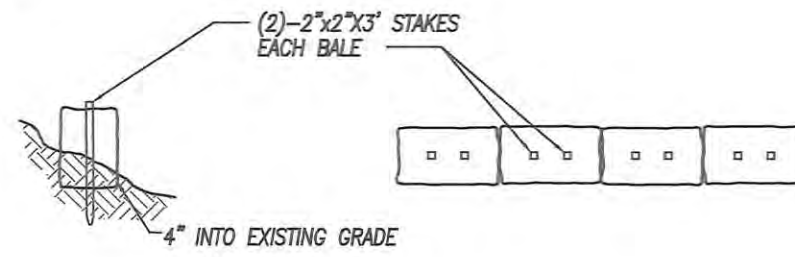
- Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.
- Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.
- All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.
- Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasket joints. It shall be laid true to the lines and grades shown on the plans and in no case shall have a slope less than 0.125 inches per foot.
- Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 or ASTM F1760 for SDR 35, or ASTM F810 for SDR 38.
- Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.
- Solid footing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Footing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.
- Septic sand shall meet the requirements of ASTM C-33 with less than 10% passing a 100 sieve and less than 5% passing a 200 sieve

SIEVE SIZE	% PASSING
0.375	100
#4	95-100
#8	80-100
#16	60-85
#30	25-60
#50	10-30
#100	<10
#200	<5



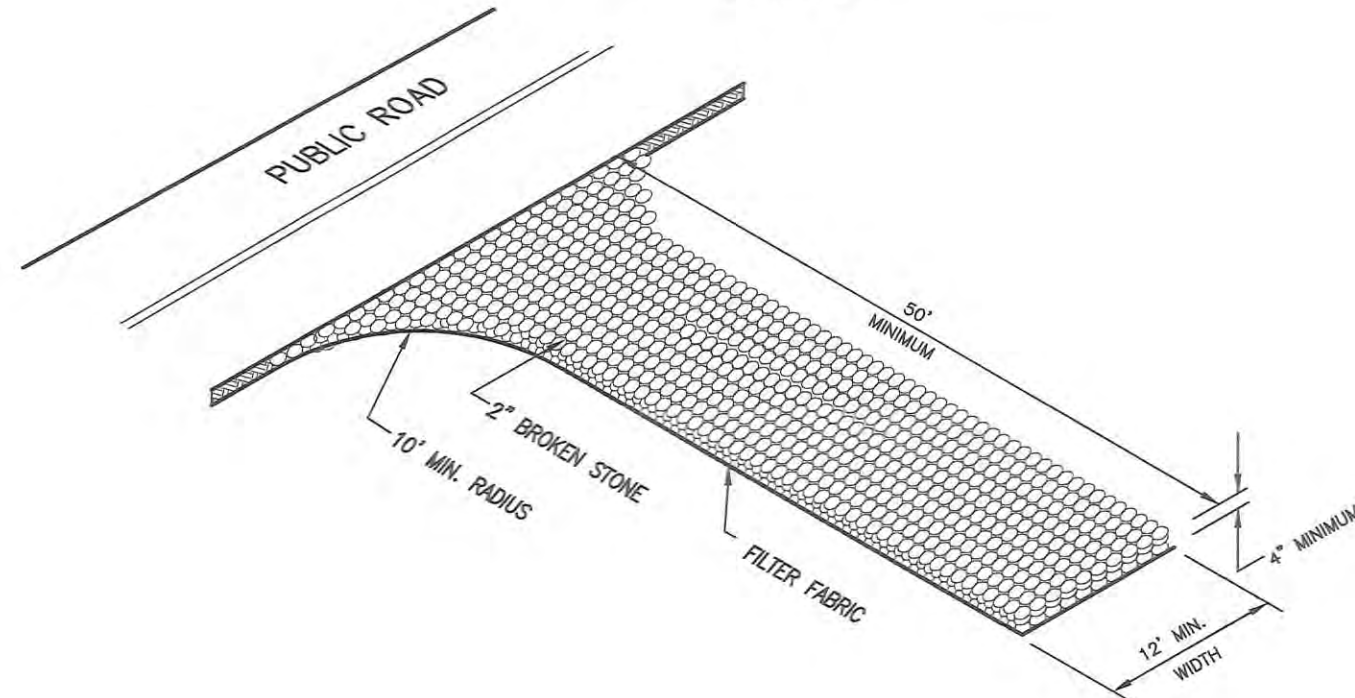
SILT FENCE

NOT TO SCALE



HAYBALE BARRIER

NOT TO SCALE



ANTI-TRACKING PAD

NOT TO SCALE

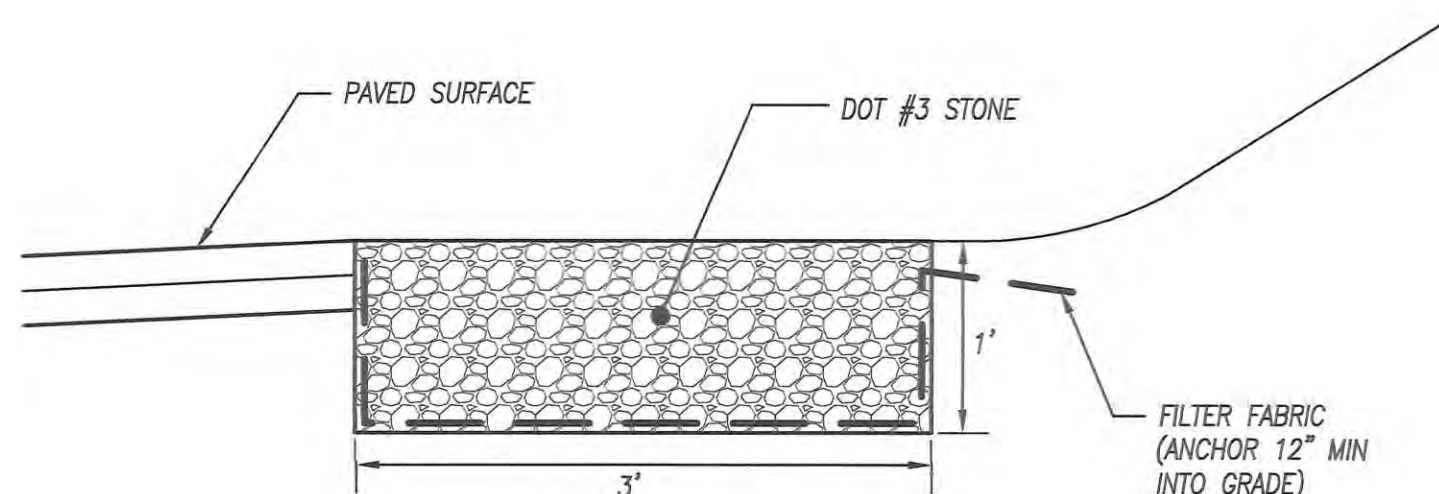
New England Erosion Control/Restoration Mix For Detention Basins

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation.

This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended.

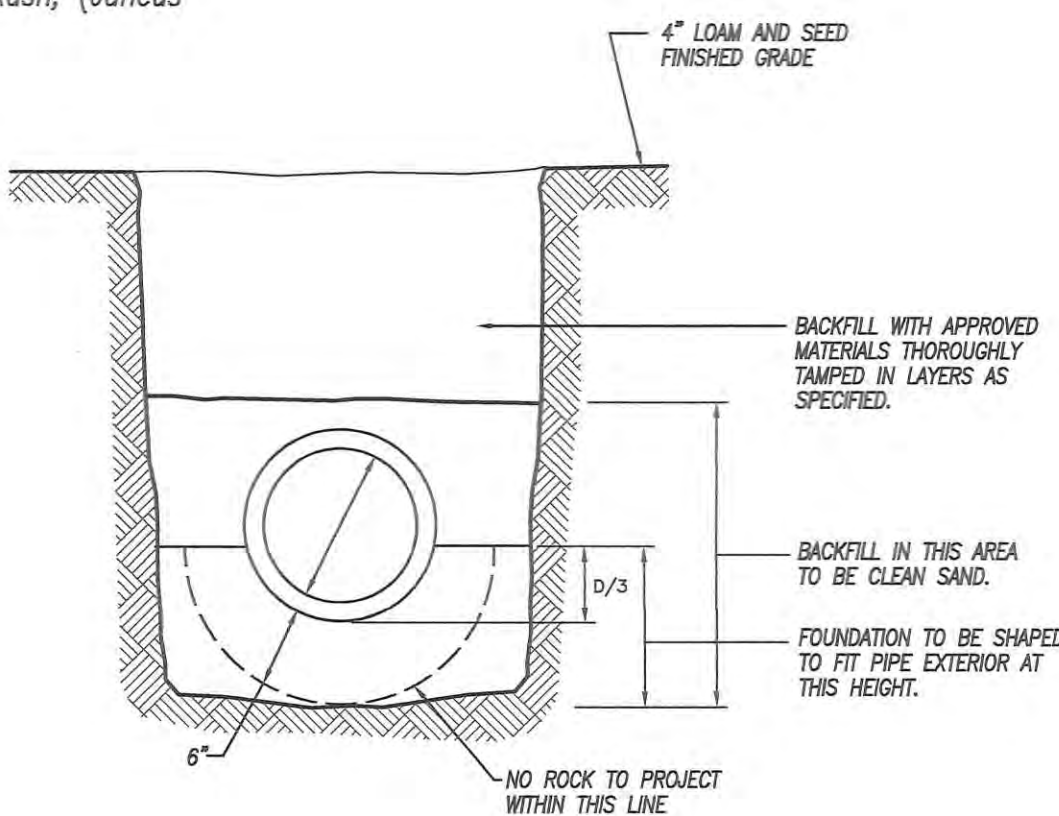
APPLICATION RATE: 35 lbs/acre | 1250 sq ft/lb  
PRICE: \$34.00/bulk pound  
Minimum Order: 3 lbs

SPECIES: Virginia Wild Rye, (*Elymus virginicus*), Creeping Red Fescue, (*Festuca rubra*), Little Bluestem, (*Schizachyrium scoparium*), Big Bluestem, (*Andropogon gerardii*), Fox Sedge, (*Carex vulpinoidea*), Switch Grass, (*Panicum virgatum*), Rough Bentgrass, (*Agrostis scabra*), New England Aster, (*Aster novae-angliae*), Boneset, (*Eupatorium perfoliatum*), Grass Leaved Goldenrod, (*Euthamia graminifolia*), Green Bulrush, (*Scirpus atrovirens*), Blue Vervain, (*Verbena hastata*), Soft Rush, (*Juncus effusus*), Wool Grass, (*Scirpus cyperinus*).



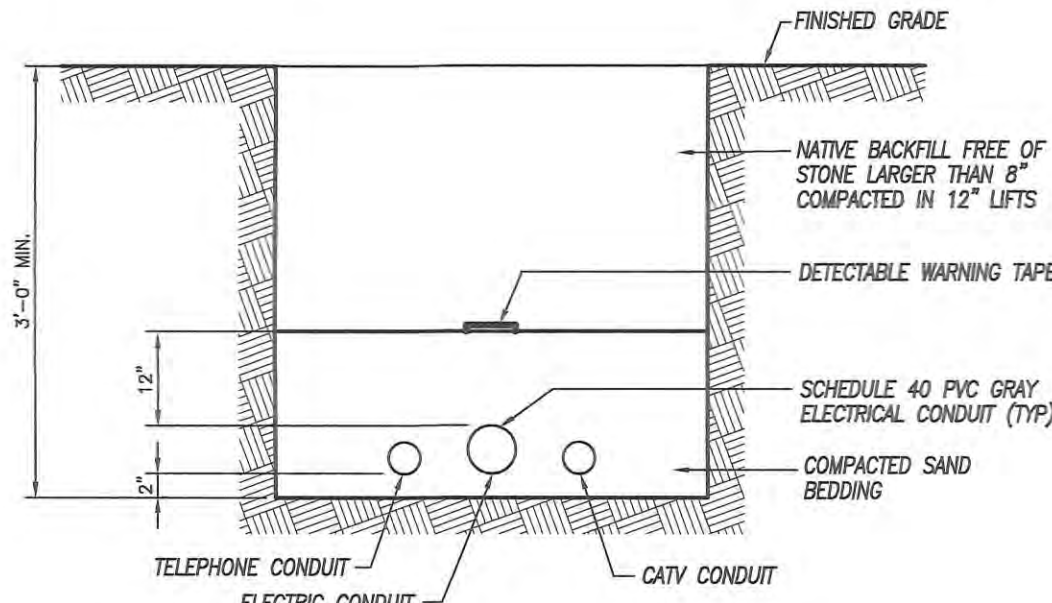
DOT #3 STONE SHOULDER DETAIL

NOT TO SCALE



SANITARY SEWER / STORM DRAIN PIPE IN TRENCH DETAIL

NOT TO SCALE



NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

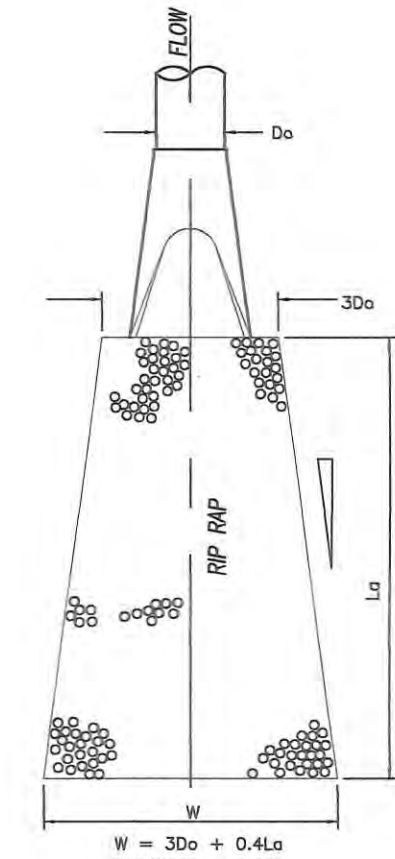
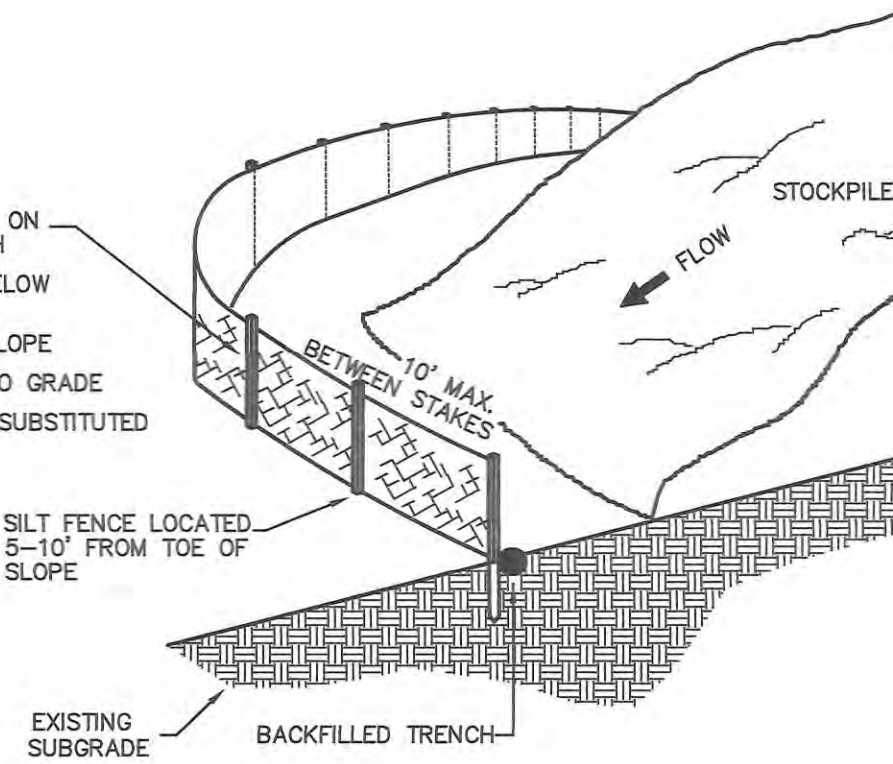
UNDERGROUND UTILITY TRENCH

NOT TO SCALE

1.5"x1.5"x42" STAKE DRIVEN ON DOWNSLOPE SIDE OF TRENCH  
EXTEND 8" OF SILTFENCE BELOW  
ANGLE STAKE 2' - 20' UPSLOPE  
SET STAKE 12" MINIMUM INTO GRADE  
STAKED HAYBALES MAY BE SUBSTITUTED FOR SILT FENCE

SILT FENCE @ TOE OF SLOPE APPLICATION

NOT TO SCALE

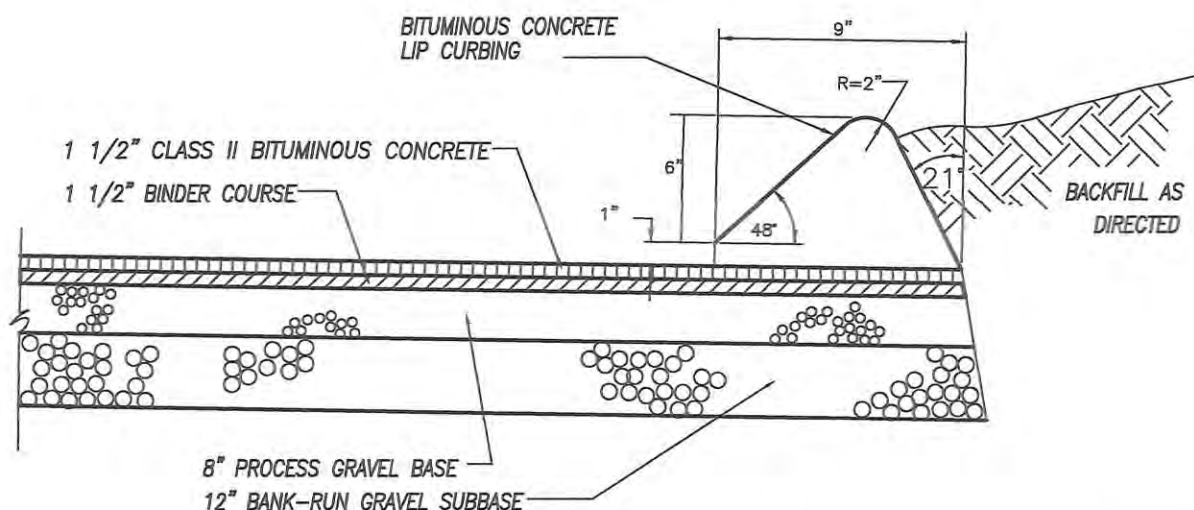


PLAN

SECTION

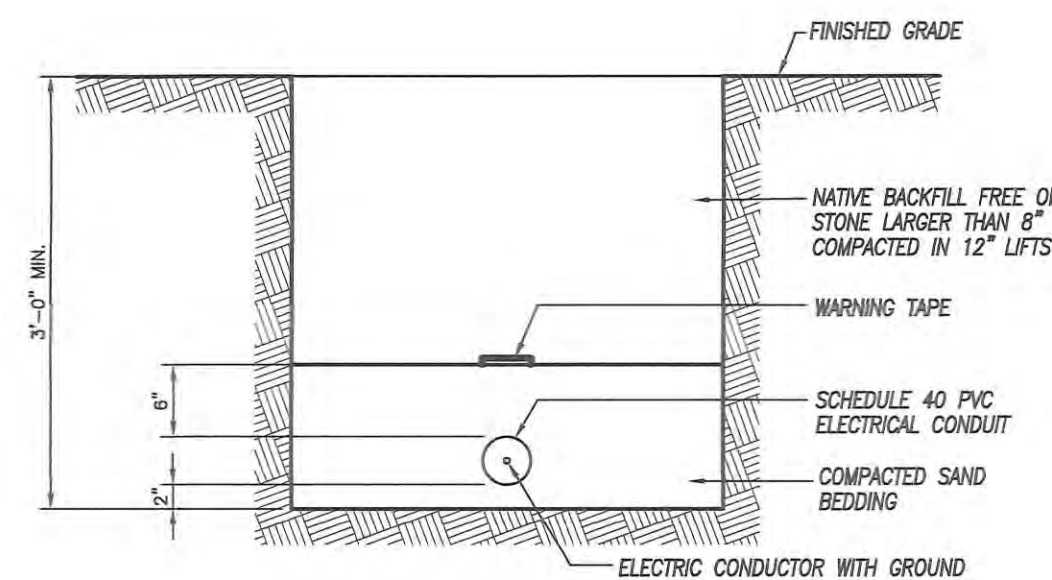
RIP RAP OUTFALL

NOT TO SCALE



BITUMINOUS CONCRETE LIP CURBING

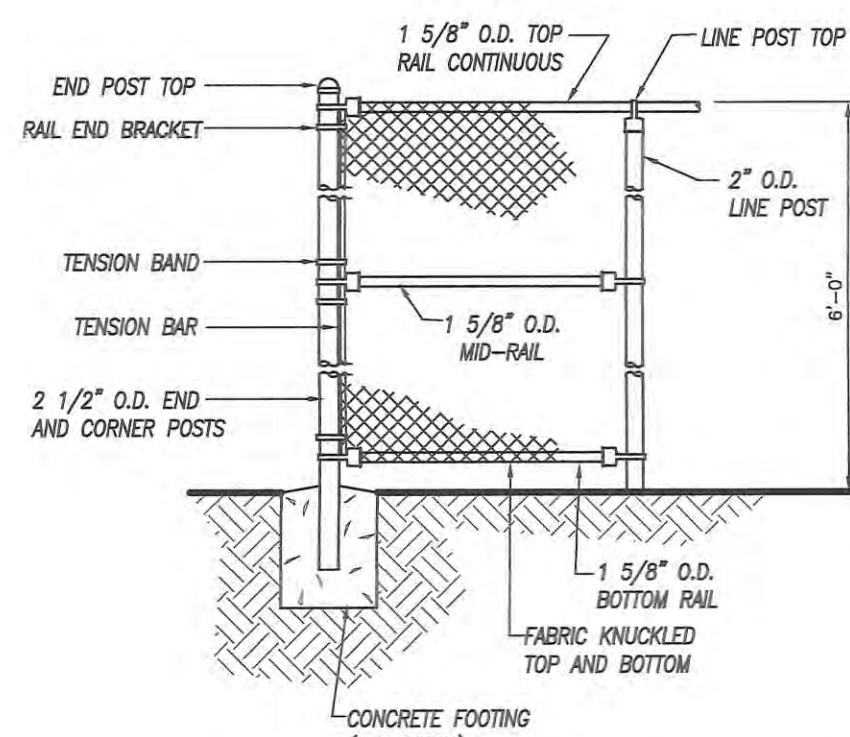
NOT TO SCALE



NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

ELECTRICAL CONDUIT IN TRENCH

NOT TO SCALE



CHAIN LINK FENCE DETAIL

NOT TO SCALE

DATE	DESCRIPTION
	REVISIONS

DETAIL SHEET

PREPARED FOR

THOMPSON BUSINESS PARK, LLC

REARDON ROAD  
THOMPSON, CONNECTICUT

Killingly Engineering Associates  
Civil Engineering & Surveying



114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 775-7299  
www.killinglyengineering.com

DATE: 3/10/2023	DRAWN: RGS
SCALE: NOT TO SCALE	DESIGN: NET
SHEET: 6 OF 6	CHK BY: ---
DWG. No: CLIENT FILE	JOB No: 22062

Received  
MAY 02 2023

Thompson Wetlands Office



Norman Thibault, Jr., P.E., No. 22834  
DATE



## Agenda Item E.b) 3 New Applications

IWA23011, Kevin Calabro, 117 New Road, (Assessor's Map 154, block 3, lot 2H), relocation of man-made watercourse, curtain drain, clearing and grading in 100-foot upland review area, stamped received 5/2/23, to be statutorily received 5/9/23.



for commission use:	rev 1/11
application #	<u>FWA23011</u>
date received	<u>May 2, 2023</u>

PERMIT APPLICATION  
TO CONDUCT A REGULATED ACTIVITY

## Town of Thompson

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

### Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

---

### WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
  - \*Pole Number    \*Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

---

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

### FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee.....Applicants will be billed for professional review as needed,  
see regulations booklet Section 18.5

For:            **Conceptual Approval of Subdivisions use "Subdivision Review Application"**

---

Received

Please complete the following application information.

MAY 02 2023



Date 4/25/2023

1) Name of Applicant KEVIN CHABRO

Home Address 117 New Road, THOMPSON, CT 06277

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs 401-215-4063

Business Address \_\_\_\_\_

2) Applicant's interest in the Property: ☒ Owner \_\_\_\_\_ Other \_\_\_\_\_

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) Same

Home Address \_\_\_\_\_

Business Address \_\_\_\_\_

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location SINLET 3355

Street or Road Location 117 New Road

Tax Assessor's Map # 154

Block # 3

Lot # that appears on site plan 2H

Deed Info : Volume # 968

Page # 160

5) The property to be affected by the proposed activity contains:

Soil Types HICKORY LAMM SANDS / SCARBORO MUCK / FILL

Wetland Soils ☒ (Swamp \_\_\_\_\_ Marsh ☒ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)

Watercourses \_\_\_\_\_ (Lake or Pond \_\_\_\_\_ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)

Floodplain - Yes/No

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity INSTALLATION OF A CURTAIN

DRAIN & CLEARING / GRADING WITHIN THE 100' UPLAND REVIEW

If the above activity involves deposition or removal of material, what is the quantity? N/A

Received

MAY 02 2023



b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation with base flood elevations. *N/A*
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred. *N/A*
- ☐ 8-Topographical contours, proposed and existing. ✓
- ☐ 9-Location and supporting data for proposed drainage. ✓
- ☐ 10-Date, scale (recommend 1"=40') and North arrow. ✓
- ☐ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet. *N/A*
- ☐ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible. *N/A*
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity. *N/A*
- ☐ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) NO IMPACTS ARE ANTICIPATED

d. Have any alternatives been considered? No  
If yes, explain why this proposal was chosen \_\_\_\_\_

Received

MAY 02 2023

Page 3 of 4



7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? NO

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? NO If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? NO If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

SEE ATTACHED

11) Estimated start date ASAP

Estimated date of completion (all disturbed areas are stabilized) LATE FALL 2023

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.  
I understand that the commission is unable to act upon an incomplete application.

[Signature]  
Signature of Applicant

5/2/23  
Date

\_\_\_\_\_  
Consent of Landowner if other than applicant

\_\_\_\_\_  
Date

**Please attach a written consent by the owner if applicant is not the property owner.**





**Property Information**

Property ID 104204  
 Location 117 NEW RD  
 Owner CALABRO KEVIN

**Received**

**MAY 02 2023**

**Thompson Wetlands Office**



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
 Data updated December 1, 2022

Print map scale is approximate.  
 Critical layout or measurement  
 activities should not be done using  
 this resource.

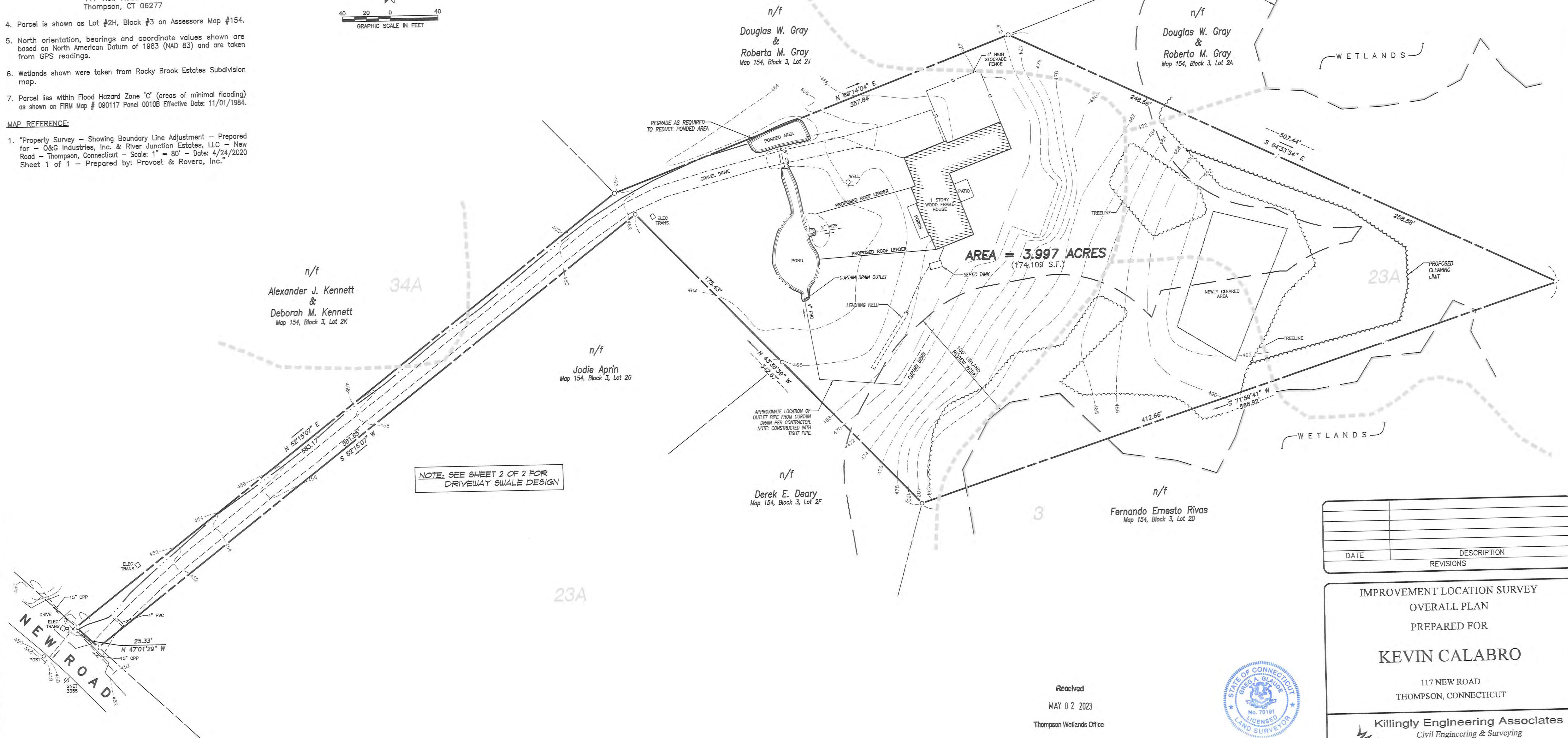
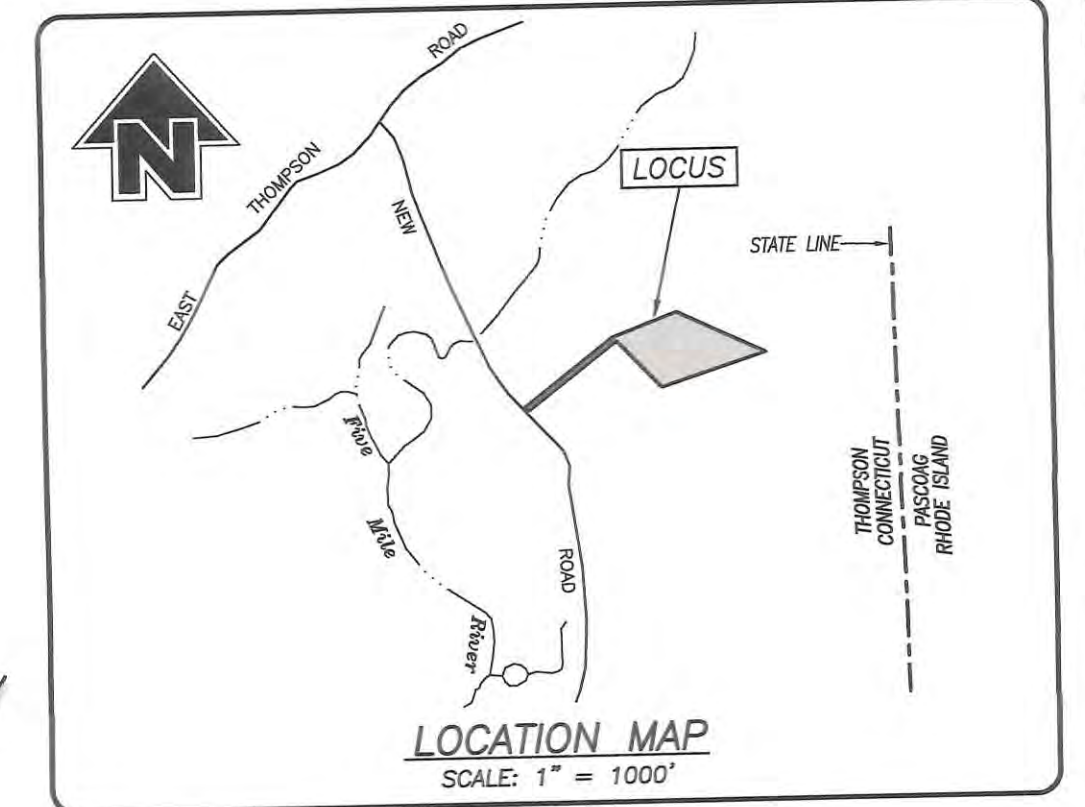
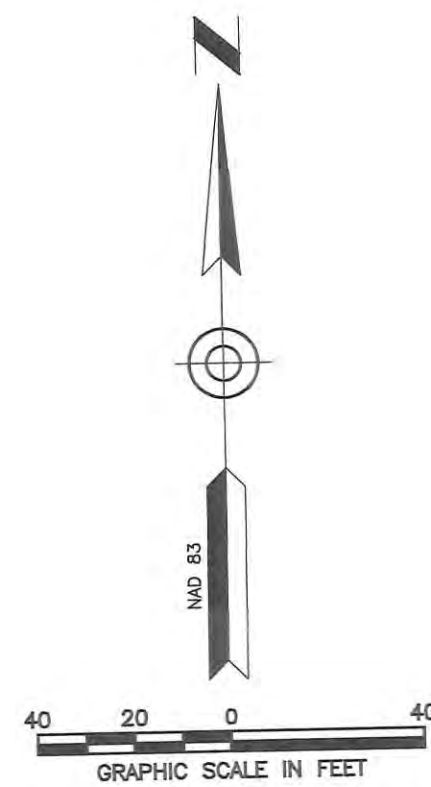


# NOTES:

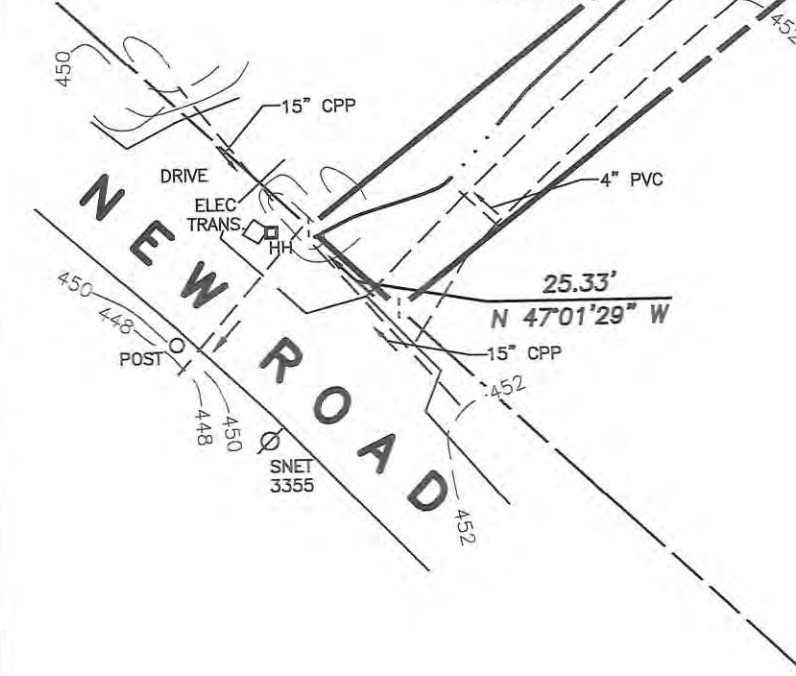
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category: Resurvey.
- Zone = RA-80.
- Owner of record: Kevin Calabro  
117 New Road  
Thompson, CT 06277
- Parcel is shown as Lot #2H, Block #3 on Assessors Map #154.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS readings.
- Wetlands shown were taken from Rocky Brook Estates Subdivision map.
- Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map # 090117 Panel 0010B Effective Date: 11/01/1984.

## MAP REFERENCE:

- "Property Survey - Showing Boundary Line Adjustment - Prepared for - O&G Industries, Inc. & River Junction Estates, LLC - New Road - Thompson, Connecticut - Scale: 1" = 80' - Date: 4/24/2020 Sheet 1 of 1 - Prepared by: Provost & Rovero, Inc."



NOTE: SEE SHEET 2 OF 2 FOR DRIVEWAY SWALE DESIGN



## LEGEND

- IRON PIN FOUND
- UTILITY POLE
- ELEC. HANDHOLE
- INLAND WETLANDS FLAG

**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
**DIAL 811 OR 1-800-922-4455**

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN

DATE

Received

MAY 02 2023

Thompson Wetlands Office



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON,

GREG A. GLAUDE, L.S.

LIC. NO. 70191

DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

DATE	DESCRIPTION
	REVISIONS

IMPROVEMENT LOCATION SURVEY  
OVERALL PLAN  
PREPARED FOR

**KEVIN CALABRO**

117 NEW ROAD  
THOMPSON, CONNECTICUT



**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 3/10/2023

SCALE: 1" = 40'

SHEET: 1 OF 2

DWG. No: CLIENT FILE

DRAWN: RGS

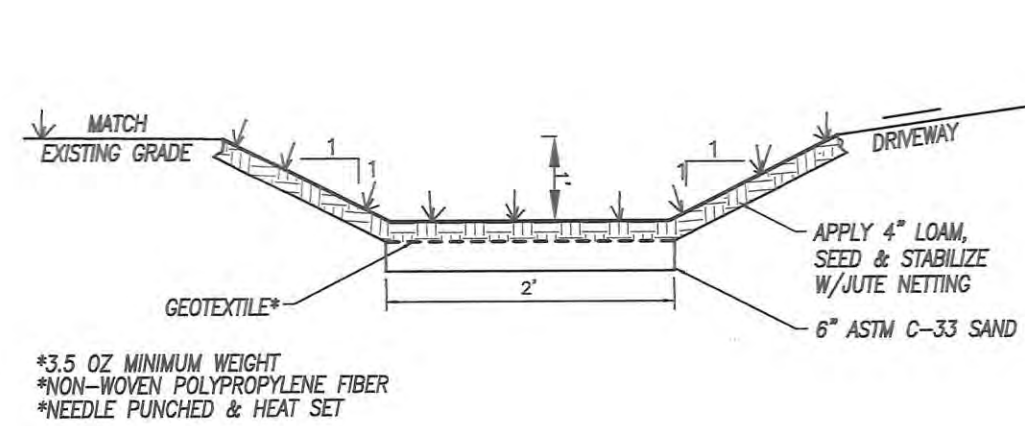
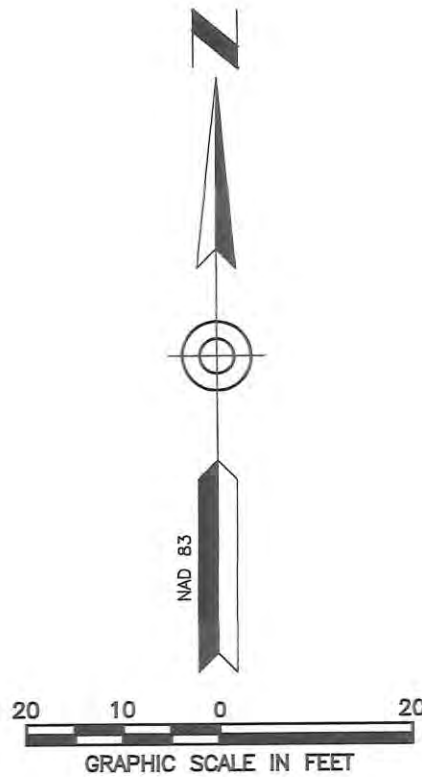
DESIGN: NET

CHK BY: GG

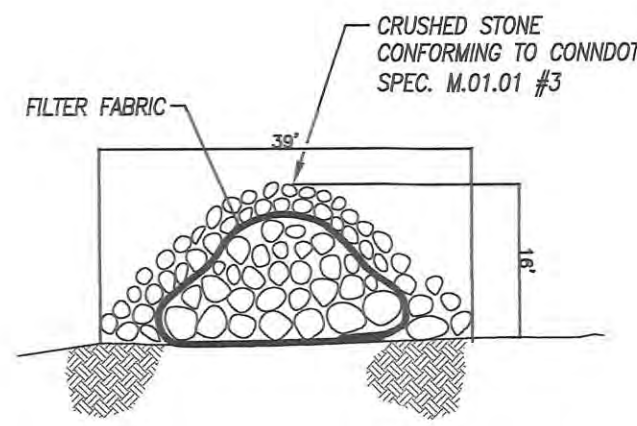
JOB No: 20112

Appl JWA23011 copy 1





GRASS LINED SWALE  
NOT TO SCALE



STONE CHECK DAM  
NOT TO SCALE

UPON ACHIEVEMENT OF FINAL GRADES, 4" OF TOPSOIL SHALL BE SPREAD AND SEEDED WITH FOLLOWING MIX:	
SEED	LBS./1000 S.F.
CREeping RED FESCUE	0.45
REDTOP	0.05
TALL FESCUE OR SMOOTH BROMEGRASS	0.35
TOTAL:	0.85

n/f  
Alexander J. Kennett  
&  
Deborah M. Kennett  
Map 154, Block 3, Lot 2K

n/f  
Jodie Aprin  
Map 154, Block 3, Lot 2G

SOIL TYPES:

3 Ridgebury, Leicester, and Whitman soils, extremely stony.

Included with this soil in mapping are areas of moderately well drained Sutton and Woodbridge soils that are slightly higher on the landscape. Sutton soils lack the dense substratum that Woodbridge soils have. Also included are a few non-stony surface soils, small areas of soils subject to flooding, small areas with steeper slopes, and areas with silt loam surface and subsoil textures. Minor components make up about 10 percent of the map unit.  
Slopes: nearly level to gently sloping  
Landscape: depressions on uplands, drainageways on uplands  
Surface cover: 3 to 14 percent stones  
Size of map unit: Areas commonly range from 3 to 150 acres.

23A—Sudbury sandy loam, 0 to 5 percent slopes

Included with this soil in mapping are areas of somewhat excessively drained Merrimac soils and well drained Agawam soils that are higher on the landscape. Also included are moderately well drained Ninigret and Tisbury soils in areas with a finer surface texture. Small areas of poorly drained Walpole soils are included in drainageways and shallow depressions. Minor components make up about 20 percent of this map unit.

34A—Merrimac sandy loam, 0 to 3 percent slopes

Included with this soil in mapping are areas of excessively drained Hinckley and Windsor soils that are higher on the landscape. Hinckley soils are sandy and gravelly and Windsor soils are sandy throughout. Also included are well drained Agawam soils that are loamy over sand and gravel. Moderately well drained Ninigret and Sudbury soils are included in slightly lower areas of the landscape. Ninigret soils are loamy over sand and gravel and Sudbury soils are sandy and gravelly. Small areas of poorly drained Walpole soils and very poorly drained Scarborough soils are included in depressions and drainageways. A few areas include soils with a fine sandy loam surface texture. Reddish brown soils are included in the southern part of the town of Woodbury, in Litchfield County. Minor components make up about 20 percent of this map unit.

701A—Ninigret fine sandy loam, 0 to 3 percent slopes

LEGEND

- IRON PIN FOUND
- UTILITY POLE
- ELECTRIC HANDHOLE
- INLAND WETLANDS FLAG

BEFORE YOU DIG  
CALL BEFORE YOU DIG  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN

DATE

Received

MAY 02 2023

Thompson Wetlands Office



Norman E. Thibault, Jr.  
NORMAN E. THIBAUT, JR., P.E.  
Lic #PEN 0022834

DATE	DESCRIPTION
	REVISIONS

DRIVEWAY DRAINAGE PLAN  
PREPARED FOR

KEVIN CALABRO

117 NEW ROAD  
THOMPSON, CONNECTICUT

Killingly Engineering Associates  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 3/10/2023	DRAWN: RGS
SCALE: 1" = 20'	DESIGN: NET
SHEET: 2 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 20112



Agenda Item E.c) Applications Received After Agenda  
was Published.

None



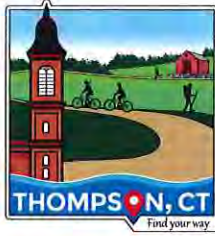
Agenda Item F) Permit Extensions / Changes - None



## Agenda Item G.a) Violations & Pending Enforcement Actions

**Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021 - status.





**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

April 18, 2023

Mark S. Baer  
344 Nevers Rd  
South Windsor, CT 06074

RE: **Status of Notice of Permit Violation VIOL21036, Permit IWA20022**  
1227 Thompson Road, Thompson  
Assessor's Map 116, Block 24, Lot 10

Dear Dr. Baer,

This is to confirm and in furtherance of my conversation with you today regarding the conditions at 1227 Thompson Road and the outstanding issues involving Inland Wetlands Permit IWA20022 as reference in my January 6, 2022 Notice of Permit Violation VIOL21036 issued to you.

You have hired Brian Meehan to construct the house and do some site work and have placed the property up for sale. I have been in contact with Mr. Meehan and your real estate agent Barbara Diaz at RE/MAC Bell Park and explained that site conditions are not as authorized by the Wetlands Permit. Mr. Meehan told me the retaining wall next to the garage could not be built until the roof drainage was installed. I advised you that Mr. Meehan was unclear as to the extent of the site work he was to perform and I suggested you discuss the matter with him.

I also advised you that I have sent a memo to the Thompson Building Inspector Terry Bellman, requesting he issue no Certificate of Occupancy for the home until he is notified by the Inland Wetlands Commission that it has received an acceptable as-built plan of the property showing all structures and grades (see Notice of Permit Violation for as-built plan requirements). Ms. Diaz has been notified of this.

Finally, I told you I had also contacted Daniel Blanchette of J&D Engineers LLC and apprised him of the situation. Mr. Blanchette advised me that depending on the height and function of the retaining wall used to support the driveway fill next to the garage, it might need a certification by a professional engineer. You stated that because you eliminated the third bay to the garage the height of the retaining wall may be less and previously needed.

Should Mr. Meehan be employed to finish the site work, please have him contact me to discuss the outstanding issues. Should he not be hired to complete the site work, please notify me by May 8, 2023, as to the name of the site contractor hired to complete the site grading work.





By copy of this letter, other parties are notified of the same.

Please contact me if you have any questions. I appreciate your cooperation in this matter.

Sincerely



Marla Butts  
Wetlands Agent

File: ltr Status of Notice of Permit Violation VIOL21036 for Permit IWA20022, 1227 Thompson Rd

cc via email: Brian Meehan, Meehan Builders, LLC  
Barbara Diaz, RE/MAX Bell Park  
Terry Bellman, Thompson Building Official  
Daniel Blanchette, J&D Civil Engineers, LLC  
Marc Baer



## Agenda Item G.b) Violations & Pending Enforcement Actions

**Notice of Violation VIOL22031**, Douglas and Roberta Gray, 0 New Road, (Assessors map 154, block 3, lot2J), watercourse alternative causing flooding, issued 11/23/22 - status.



## Agenda Item G.c) Violations & Pending Enforcement Actions

**Notice of Violation VIOL23007**, Kevin Calabro, 117  
New Road, (Assessor's map 154, block 3, lot 3H),  
earthmoving in 100-foot upland review area, issued  
3/24/23 - status.



## Agenda Item H.a) Other Business

IWC Regulations Revisions



#### New Definition

**Application** means a submission of documents that includes (1) a completed application form, such form provided by the Commission in accordance with these Regulations, (2) the requisite application fee as identified in section 19 (?) of these Regulations and (3) a scaled drawing illustrating the existing conditions and the propose conditions which warrant approval pursuant to these Regulations.

### SECTION 7 APPLICATION REQUIREMENTS

Any person wishing to undertake a regulated activity shall submit an application to the Inland Wetlands Commission consisting of (1) a completed application form available from the Wetlands Office or Thompson webpage entitled “??? Use new form name” that is applicable to the proposed regulated activity, (2) the required application fee as identified in section 19 (?) of these Regulation and (3) a scaled drawing illustrating the existing conditions and proposed conditions which authorization is required by these regulations. Any materials submitted that fail to include either the required application form, application fee and/or drawing may be summarily rejected and returned to the submitter with an explanation for its rejection as an application. Alternatively, the materials submitted may be accepted as an application for processing and the applicant requested to complete the application following its date of receipt. Failure to complete such application is grounds for denial of the application. ~~apply for a permit on a form entitled "Town of Thompson Inland Wetlands and Watercourses AgencyCommission Application for permitPermit" or "Application for Wetland Agent Approval."~~ An application shall include an application form and such information as prescribed by ~~Sectionsection~~ 7.5 and, in the case of a significant activity; by ~~Sectionsection~~ 7.6 of these regulations. ~~Application forms may be obtained in the office of the Thompson Town Clerk or the Inland Wetlands AgencyCommission~~

**Commented [mpb1]:** Does the Town Clerk have copies of the application forms?? While this language is in the model regulations the statute doe not require the forms to be in the Town Clerk's office and this requirement can be dropped.



*Town of Thompson*  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

For Commission Use Only  
Application #: \_\_\_\_\_

**BASE FORM FOR**  
**APPROVAL OF REGULATED ACTIVITY & DECLARATORY RULING**

All applications for approvals of regulated activities and declaratory rulings require the following information. Unless identified as "Optional" all information is mandatory. Failure to provide required information on this form will result in a rejection of the submitted materials and the form with any attachments will be returned to the applicant along with any fee submitted.

**Part I Application Type, Required Supplement Form and Fee (check one only):** Note: When a fee is required it must be in the form of a checks or money orders made out to the "Town of Thompson" with a notation "Wetlands Application" The appropriate fee must be submitted with the application.

<u>Request Type &amp; Attachment (check one)</u>	<u>Fee</u>
<input type="checkbox"/> Declaratory Ruling (all except for timber harvest) - Supplement Form A	????
<input type="checkbox"/> Declaratory Ruling (timber harvest only) - Supplement Form B	????
<input type="checkbox"/> Wetlands Agent Approval (work in upland review area only) - Supplement Form C	????
<input type="checkbox"/> Permit for Individual Lot - Supplement Form D	See Supplement Form D
<input type="checkbox"/> Permit for Subdivision (no road construction and/or public improvements) - Supplement Form E	See Supplement Form E
<input type="checkbox"/> Permit for Subdivision w/ Road Construction and/or Public Improvements - Supplement Form F	See Supplement Form F

**Part II Contact Information**

1) Applicant Contact Information:

- a) Applicant Name: \_\_\_\_\_
- b) Mailing Address: \_\_\_\_\_  
(include town state zip) \_\_\_\_\_
- c) Daytime Phone #: \_\_\_\_\_
- d) Evening Phone #: \_\_\_\_\_
- e) Cell Phone # (optional): \_\_\_\_\_
- f) Email Address (optional): \_\_\_\_\_

2) Applicant's Interest in Property (check one only)

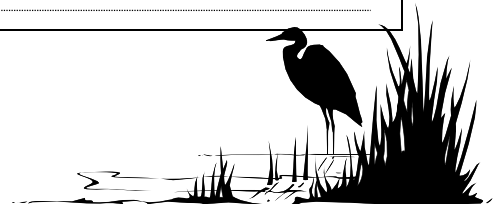
- ☐ property owner      ☐ option holder      ☐ lessee
- ☐ easement holder      ☐ other (please specify) \_\_\_\_\_

3) & 4) Other Contact Info

3) Owner Contact Information (required  
if applicant is not property owner)

4) Agent (optional)

- a) Name: \_\_\_\_\_
- b) Mailing Address: \_\_\_\_\_  
(include town state zip) \_\_\_\_\_
- c) Daytime Phone #: \_\_\_\_\_
- d) Evening Phone #: \_\_\_\_\_
- e) Cell Phone # (optional): \_\_\_\_\_
- f) Email Address (optional): \_\_\_\_\_





### Part III Site Information

- 1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot

- 2) Property located within 500 feet of Thompson town line? (check one) ☐ No ☐ Yes

- 3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

- a) Wetlands: \_\_\_\_\_ (in square feet)  
b) Open Water Body: \_\_\_\_\_ (in square feet)  
c) Stream: \_\_\_\_\_ (in linear feet)

- 4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980 (see currently inland wetlands and watercourses map)(check one)

☐ No ☐ Yes (If Yes, then upland review area = 200 feet)

- 5) Upland Review Area altered: \_\_\_\_\_ (in square feet)

- 6) U.S.G.S. Topographic Quadrangle (check all involved)

- ☐ #13 Webster MA  
☐ #14 Oxford MA  
☐ #28 Putnam  
☐ #29 Thompson

- 7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

French River ☐ 3300 ☐ 3301  
Quinnebaug River ☐ 3700 ☐ 3708  
Five Mile River ☐ 3400 ☐ 3401 ☐ 3402

### Part IV Fees Application Permissions & Certifications

#### 1) Owner's Permission<sup>1</sup>

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposed of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

\_\_\_\_\_  
(Signature of property owner)

Dated: \_\_\_\_\_

For all persons excluding individuals print name and title of signatory above

#### 2) Applicant's Certification<sup>1</sup>

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

\_\_\_\_\_  
(Signature of applicant)

Dated: \_\_\_\_\_

For all persons excluding individuals print name and title of signatory above

<sup>1</sup> If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.



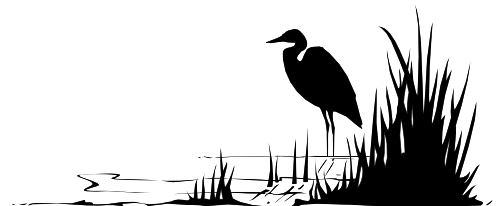
*Town of Thompson*  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255  
**SUPPLEMENT FORM A**

For Commission Use Only  
Application #: \_\_\_\_\_

**DECLARATORY RULING** (except for Timber Harvest)

To be included in applications for persons proposing to carry out a use permitted as of right as or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Supplement Form B). Unless identified as "Optional" all information is mandatory.

1. Applicant Name given on Base Form: \_\_\_\_\_
2. Attach an 8 ½ inch by 11 inch location map for the property
3. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.
4. Detailed project description and purpose: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
5. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
  - a. ☐ Grazing, farming, nurseries, gardening and harvesting of crops.
  - b. ☐ Farm pond three (3) acres or less essential to the farming operation.
  - c. ☐ Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
  - d. ☐ Boat anchorage or mooring.
  - e. ☐ Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of New Milford.
  - f. ☐ Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
  - g. ☐ Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
6. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
  - a. ☐ Conservation of soil, vegetation, water, fish or wildlife.





- b. ☐ Outdoor recreation
- c. ☐ Dry Hydrant installation by authority of the municipal fire department

7. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):

- a. ☐ The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
- b. ☐ The use or activity was legally existing as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
- c. ☐ The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)

\_\_\_\_\_  
(Signature of applicant)

Dated: \_\_\_\_\_

**Complete and Submit with completed "Base Form for Approval of Regulated Activity and Declaratory Ruling" to: Office of the Thompson Inland Wetlands Commission, Thompson Town Hall, 815 Riverside Drive, N. Grosvonordale, CT 06255.**

<b>*** For Commission Use Only ***</b>	
Response:	
Name of Authorizing Signature:	Title:
Authorizing Signature:	Date:



***Town of Thompson***  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

For Commission Use Only  
Application #: \_\_\_\_\_

**SUPPLEMENT FORM B**

**DECLARATORY RULING for TIMBER HARVEST**

Certain activities associated with timber harvesting are a use permitted as of right pursuant to Section 22a-40(a) of the Connecticut General Statutes and Section 4.1 of the Inland Wetlands for the Town of Thompson. (For guidance see Connecticut Department of Environmental Protection's document entitled "Agriculture, Forestry and Wetlands Protection in Connecticut") This form attached to a completed "Base Form for Approval of Regulated Activity and Declaratory Ruling" constitutes the notification required by Section 4.4 of the Inland Wetlands and Watercourse Regulations of the Town of Thompson for such timber harvesting. Note: If the timber harvest covers *multiple properties with different owners*, then a *separate request for approval must be filed for each of the different property owner(s)*.

**Base Form Applicant Verification**

Applicant Name given on Base Form: \_\_\_\_\_

**Property Information**

(Locate property boundaries on attached USGS topographic map and copy of assessor's map – see information on maps on reverse side of this form.)

Total acreage of Property(s): \_\_\_\_\_

Property boundaries are marked and can be viewed in the field

Yes ☐ No ☐

Have owners of all lands within 100 feet of the harvest area been notified via first-class mail prior to filing this form?

Yes ☐ No ☐

**Harvest Information**

**This timber harvest has been prepared by a State of Connecticut certified:**

(Check one): ☐ Forester OR ☐ Supervising Forest Products Harvester

Forest Practitioner Certificate #: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_

Phone # (Business) \_\_\_\_\_ (Cell) \_\_\_\_\_

Harvester (if not landowner): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Town: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_

E-mail: \_\_\_\_\_

Estimated starting date of timber harvesting operations: \_\_\_\_/\_\_\_\_/\_\_\_\_

Estimated completion date of harvesting operations: \_\_\_\_/\_\_\_\_/\_\_\_\_

Total acreage of harvest area: \_\_\_\_\_

Timber harvest boundaries are marked/flagged and can be viewed in the field

Yes ☐ No ☐

Designation of trees to be harvested

Trees to be harvested have been marked with paint at eye level and at ground level

Yes ☐ No ☐

If marked, then paint marking color(s) are \_\_\_\_\_



Amount of forest products to be harvested:

\_\_\_\_\_ Board feet

\_\_\_\_\_ Cords

\_\_\_\_\_ Cubic feet

\_\_\_\_\_ Tons

DRAFT



Timber Harvest Objective:
Timber Harvest Treatment:

## Actions Being Performed on This Land

(Check all that apply and locate on attached Harvest Area map – see information below on maps.)

<p style="text-align: center;"><u>Crossings / Clearing</u></p> <p><input type="checkbox"/> Temporary stream/drainage crossing</p> <p><input type="checkbox"/> Temporary wetlands crossing</p> <p><input type="checkbox"/> Removal of trees in wetlands</p> <p><input type="checkbox"/> Removal of trees in upland review area</p>	<p style="text-align: center;"><u>Erosion and Sedimentation Control Measures*</u></p> <p><input type="checkbox"/> Installation of water bars</p> <p><input type="checkbox"/> Grading</p> <p><input type="checkbox"/> Seeding</p> <p><input type="checkbox"/> Other (describe below)</p>
<p style="text-align: center;"><u>Log landing area:</u></p> <p><input type="checkbox"/> Anti-tracking pad</p> <p><input type="checkbox"/> Curb cut</p>	<p style="text-align: center;"><u>Roads</u></p> <p>Are new roads, other than skid trails, to be constructed for transport of logs or other activities associated with this harvest?    <input type="checkbox"/> Yes    <input type="checkbox"/> No</p>

\* All erosion and sediment controls must comply with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control as amended. See <http://www.ct.gov/dep/cwp/view.asp?A=2720&Q=325660> for info on viewing copy

Describe in further detail as necessary: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

The following maps are attached to this Request For Approval Of Timber Harvest (Check all that apply)

- ☐ Copy of USGS topographic map with the property outlined
- ☐ Copy of Assessor's map with the property outlines
- ☐ Timber Harvest Area map showing outline of harvest area, skid road locations, log landing area, truck access roads, inland wetlands, watercourses and any crossings drawn to scale

***The undersigned hereby swears that the information contained in this application is true, accurate and complete to the best of my (our) knowledge and belief and that the timber harvest will be conducted in accordance with the specifications outlined in this Request for Approval of Timber Harvest***

Signature of Landowner: \_\_\_\_\_ Date: \_\_\_\_\_

Print / Type Name: \_\_\_\_\_

Signature of Certified Forest Practitioner: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

**Complete and Submit with completed "Base Form for Approval of Regulated Activity and Declaratory Ruling" to: Office of the Thompson Inland Wetlands Commission, Thompson Town Hall, 815 Riverside Drive, N. Grosvonrdale, CT 06255. A courtesy copy of this completed form should be sent to the Department of Environmental Protection, Division of Forestry, 79 Elm Street, Hartford, CT 06106-5127, Tel: (860)424-3630**

**\*\*\* For Commission Use Only \*\*\***

Response:
-----------



Name of Authorizing Signature: _____	Title: _____
Authorizing Signature: _____	Date: _____

DRAFT



## Agenda Item H.b) Other Business

Update on Amendments to Subdivision Regulations



Agenda Item H.c) Other Business

FY23 Budget Update

Referendum Set for May 15, 2023



**SUMMARY BUDGET  
TOWN OF THOMPSON  
PROPOSED BUDGET FISCAL YEAR 2023-2024  
4/18/23**

	Education	General Town	Debt Service	Capital	Totals
Expense Amount	\$ 21,354,483	\$ 7,400,666	\$ 1,334,722	\$ 662,247	\$ 30,752,118
Expense Change Over Prior Year	8.00%	14.24%	-1.53%	-23.20%	8.02%
<b>Less</b>					
General Revenue	7,534,704	2,009,224	-	-	9,543,928
Estimated Revenue to Offset Expenses	7,534,704	2,009,224	-	-	9,543,928
<b>Amount to be Raised by Taxation</b>	13,819,779	5,391,442	1,334,722	662,247	21,208,190
<b>Adjustments</b>					
Allowance for Uncollected Taxes	105,000	105,000	-	-	210,000
<b>Total Tax Warrant</b>	<u>\$ 13,924,779</u>	<u>\$ 5,496,442</u>	<u>\$ 1,334,722</u>	<u>\$ 662,247</u>	<u>\$ 21,418,190</u>
<b>Grand List 10/1/2022</b>	\$ 769,560,044				

Proposed Mill Rate	18.09	7.14	1.73	0.86	27.83
Base Mill Rate	16.31	6.11	1.79	0.81	25.02
Mill Rate Increase to Taxes	1.78	1.03	-0.06	0.05	2.81
Mill Rate Increase as a %	10.94%	16.90%	-3.32%	6.24%	11.22%



		2022 Actual	2023 Full-year Projection	2023 Approved Budget	2024 Revised Budget (4/18/23)	2024 Budget vs. 2023 Budget (\$ Change)	2024 Budget vs. 2023 Budget (% Change)	2024 Budget vs. 2023 Projection (\$ Change)	2024 Budget vs. 2023 Projection (% Change)
615	<b>Total PLANNING &amp; ZONING COMMISSION:</b>	34,763	36,666	34,966	45,874	10,908	31.2%	9,208	25.1%
616									
617	<b>ZEO &amp; WETLAND OFFICER</b>								
618	PLANNING & ZONING SECRETARY	-	-	-	-	-	0.0%	-	0.0%
619	WETLANDS OFFICER	-	-	-	-	-	0.0%	-	0.0%
620	ZEO OFFICER	-	-	-	-	-	0.0%	-	0.0%
621	WET LANDS OFFICER	-	-	-	-	-	0.0%	-	0.0%
622	WETLAND SECRETARY	-	-	-	-	-	0.0%	-	0.0%
623	PROFESSIONAL AFFILIATIONS	-	-	-	-	-	0.0%	-	0.0%
624	TRAVEL	-	-	-	-	-	0.0%	-	0.0%
625	MEETINGS, FEES, ETC	-	-	-	-	-	0.0%	-	0.0%
626	PROFESSIONAL SERVICES	-	-	-	-	-	0.0%	-	0.0%
627	ADVERTISING	-	-	-	-	-	0.0%	-	0.0%
628	PRINTING & PUBLICATION	-	-	-	-	-	0.0%	-	0.0%
629	WINDHAM COUNTY SOIL & WATER	-	-	-	-	-	0.0%	-	0.0%
630	EQUIPMENT & FURNISHINGS	-	-	-	-	-	0.0%	-	0.0%
631	OFFICE SUPPLIES	-	-	-	-	-	0.0%	-	0.0%
632	BOOKS & PERIODICALS	-	-	-	-	-	0.0%	-	0.0%
633	<b>Total ZEO &amp; WETLAND OFFICER:</b>	-	-	-	-	-	0.0%	-	0.0%
634									
635	<b>ZONING BOARD OF APPEALS</b>								
636	SEC ZONING BOARD OF APPEAL	983	988	1,976	1,976	-	0.0%	988	100.0%
637	ADVERTISING	1,771	191	1,300	1,300	-	0.0%	1,109	580.6%
638	OFFICE SUPPLIES	221	-	-	50	50	0.0%	50	0.0%
639	<b>Total ZONING BOARD OF APPEALS:</b>	2,974	1,179	3,276	3,326	50	1.5%	2,147	182.1%
640									
641	<b>INLAND WETLANDS COMMISSION</b>								
642	INLAND WETLANDS OFFICER	21,740	20,487	20,487	21,101	615	3.0%	615	3.0%
643	INLAND WETLAND SECRETARY	2,965	4,078	4,078	4,200	122	3.0%	122	3.0%
644	PROFESSIONAL AFFILIATIONS	60	60	60	60	-	0.0%	-	0.0%
645	CACIWC shared membership	-	-	60	60	-	0.0%	60	0.0%
646	TRAVEL	-	-	100	100	-	0.0%	100	0.0%
647	MEETINGS, FEES, ETC	-	-	100	100	-	0.0%	100	0.0%
648	PROFESSIONAL SERVICES	-	-	300	300	-	0.0%	300	0.0%
649	ADVERTISING	676	700	900	900	-	0.0%	200	28.6%
650	EASTERN CT CONSERVATION DISTR	1,000	1,000	1,000	1,000	-	0.0%	-	0.0%
651	OFFICE SUPPLIES	-	400	400	400	-	0.0%	-	0.0%
652	<b>Total INLAND WETLANDS COMMISSION:</b>	26,441	26,724	27,424	28,161	737	2.7%	1,437	5.4%
653									
654	<b>CONSERVATION COMMISSION</b>								
655	CONSERVATION ENFRMNT OFFC	-	-	-	-	-	0.0%	-	0.0%
656	CONSERVATION SECRETARY	1,300	1,790	1,790	1,844	54	3.0%	54	3.0%
657	CONSERVATION OFFICER	22,904	26,455	26,455	27,249	794	3.0%	794	3.0%
658	PROFESSIONAL AFFILIATIONS	123	150	150	150	-	0.0%	-	0.0%
659	TRAVEL	-	50	135	135	-	0.0%	85	170.0%
660	MEETINGS, FEES, ETC	-	50	100	100	-	0.0%	50	100.0%
661	OUTSIDE CONTRACTORS	-	121	121	121	-	0.0%	-	0.0%
662	ADVERTISING	-	50	50	50	-	0.0%	-	0.0%
663	WINDHAM COUNTY SOIL & WATER	-	-	-	-	-	0.0%	-	0.0%
664	OFFICE SUPPLIES	-	200	250	250	-	0.0%	50	25.0%
665	MISCELLANEOUS	-	-	-	-	-	0.0%	-	0.0%
666	<b>Total CONSERVATION COMMISSION:</b>	24,327	28,866	29,051	29,898	847	2.9%	1,032	3.6%



Agenda Item I

Citizens Comments on Agenda Items



## Agenda Item J Reports

a) Budget & Expenditures

b) Wetlands Agent Report





**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

**Memo**

To: Amy St. Onge, First Selectman

From: Marla Butts, Wetlands Agent

Date: April 17, 2023

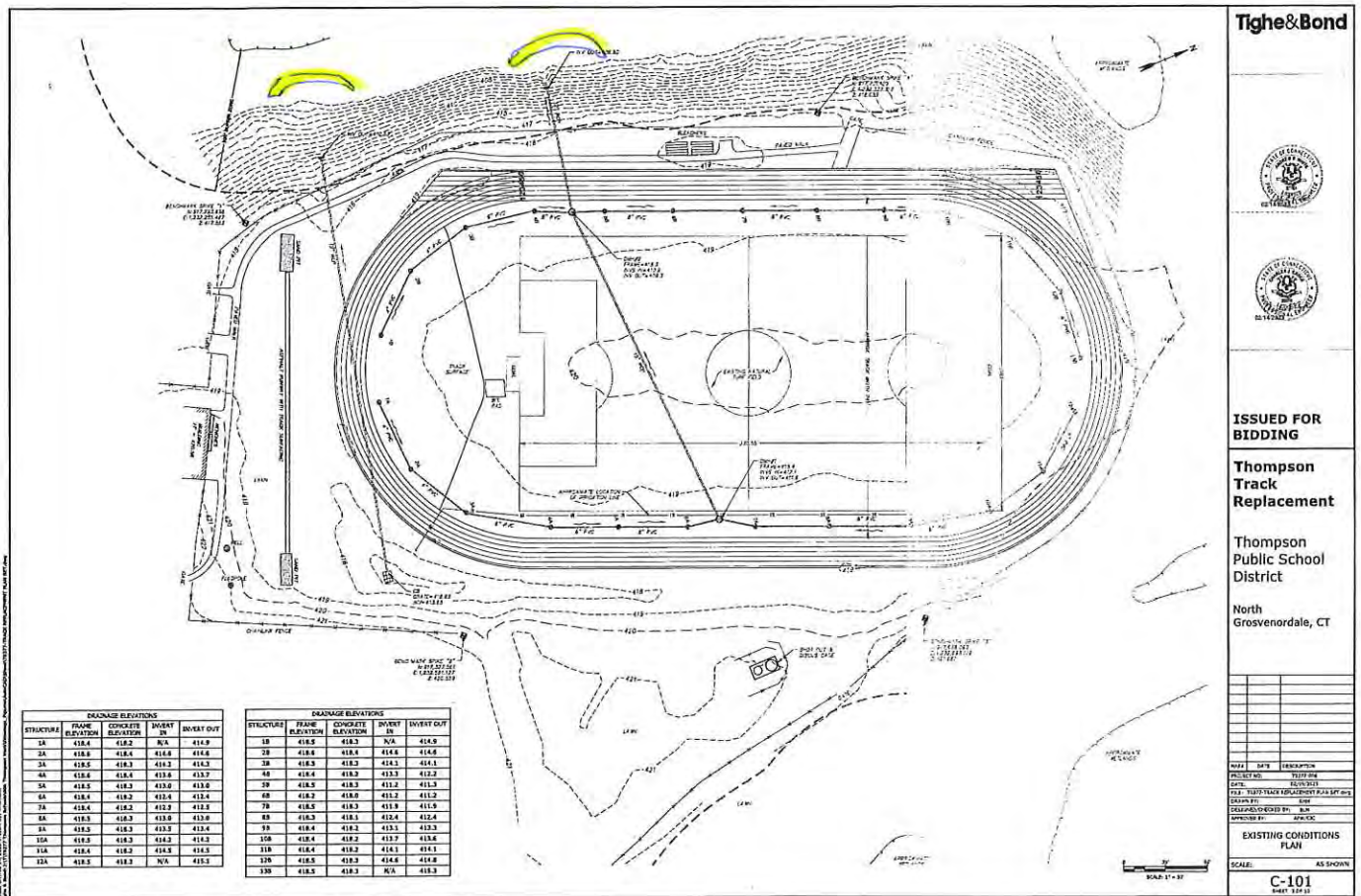
Re: Additional E&S Control Needed for the reconstruction of Thompson Schools Track Demolition and Reconstruction per IWC Decision on DEC23004

Shortly after the Inland Wetlands Commission rendered its decision on the request for a ruling on the Thompson Schools running track, John Rice stopped by the Wetlands Office and asked if I could send a memo identifying the additional controls need for construction referenced in the IWC motion for approval (see page3 of the IWC Meeting minutes, copy attached). There are two drainage outfalls that drain to wetlands/watercourses west of the track that require a backup erosion control. I recommend installing straw waddles located as shown on the attached map, placed within the relatively flat grassy area beyond the toe of slope such that stormwater runoff must pass through or over the control. Here are some pictures of waddles.



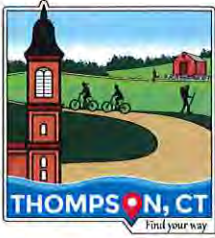


# DEC 23004 Additional erosion & sediment control



straw waddle ~ 20' long with terminal ends placed upslope in grass such that water is forced to go through or overtop and not run around the ends






**TOWN OF  
THOMPSON**  
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815 Riverside Drive  
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Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

**Memo**

To: Thompson Zoning Board of Appeals  
From: Marla Butts, Wetlands Agent   
Date: May 8, 2023  
Re: ZBA Application 23-03  
Variance for Proposed 2 lot subdivision on RRAD  
128 Elmwood Hill Rd, Assessor's Map 164, Block 11, Lot 33

By this memo I am requesting the Zoning Board of Appeals require the applicant provide a site plan showing proposed lot development and obtain the services of a qualified soil scientist to verify that no wetland soils ( i.e. poorly drained soils) exist on the property. If wetland soils exist on the property, then the wetlands should be flagged and delineated on the site map to show if there is sufficient land on the proposed new lot to construct a new home, septic and well without further variance. Please note that new septic systems cannot be built on filled wetlands and there are separating distances from existing wells and septic systems. The location of the septic system and well for the existing system should be shown on the site plan as it may affect development on the proposed new lot.

Please note that the location of wetlands and property boundaries shown on the town's GIS MapGeo parcel map are not accurate. It is the actual character of the land that determines if it is subject to regulation under the Thompson Inland Wetlands and Watercourses Regulations as determined by a qualified soil scientist. With respect to the property boundaries, using measurements taken from Record Drawing 911 I have generated a drawing from the town's GIS MapGeo showing a better approximation of the property location (see attached drawing "ZBA Application 23-03 128 Elmwood Hill Rd Variance for 2 lot sub")

In the absence of a site plan, using the photo provided with the application I have generated a drawing showing the proximate location of the proposed new lot (see attached drawing "ZBA Application 23-03 128 Elmwood Hill Rd Variance possible new lot") but this may not be correct. The submission of a site plan would clarify this.

Thank you for your time and consideration.

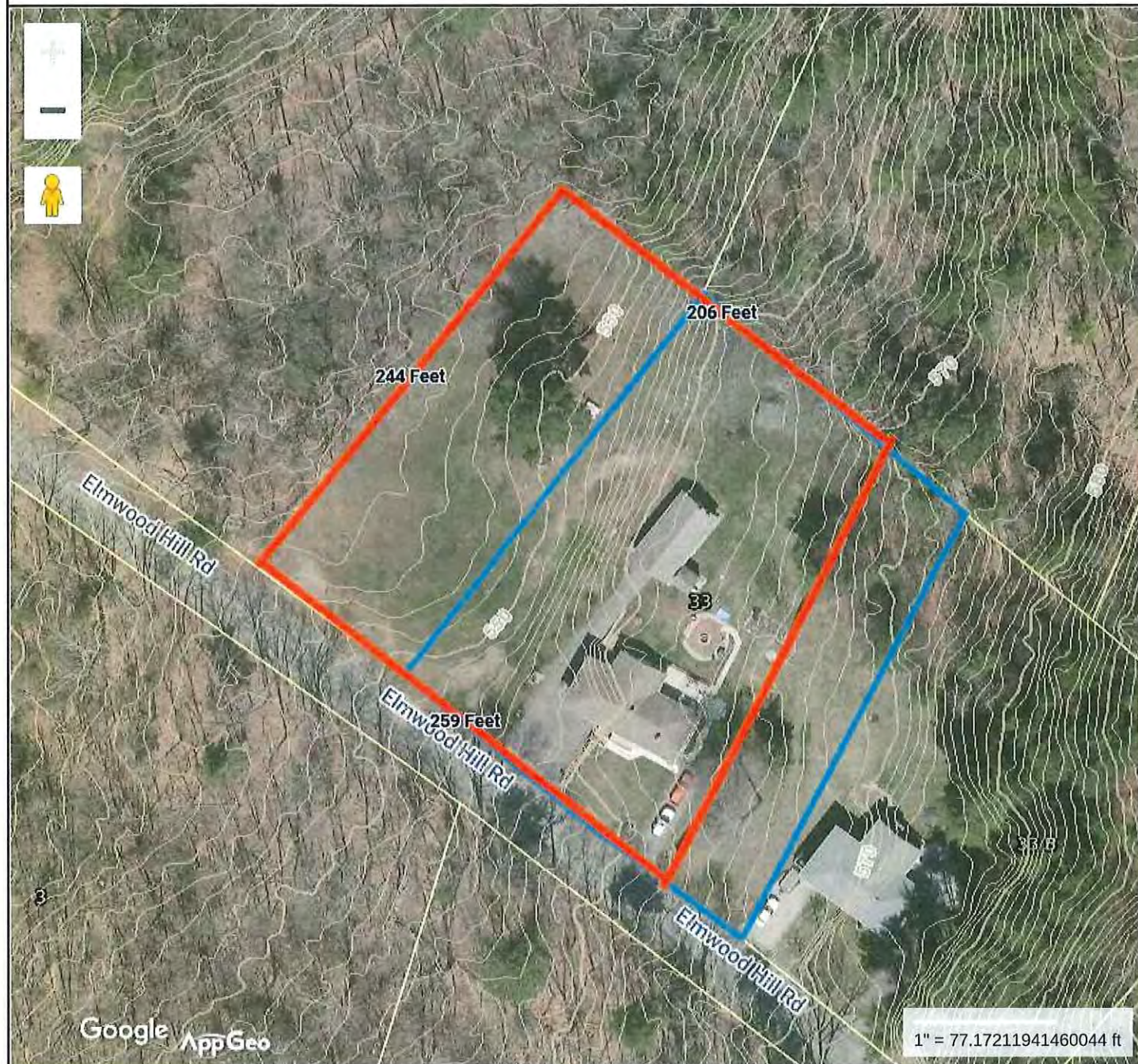
Attachment as Stated

File: Memo to ZBA Appl 23-03 128 Elmwood Hill Rd Variance for 2 lot subdivision





## ZBA Application 23-03 128 Elmwood Hill Rd Variance for 2 lot sub



## Property Information

Property ID 5100  
 Location 128 ELMWOOD HILL RD  
 Owner SANTERRE SCOTT A + HOLLY J



MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
 Data updated December 1, 2022

Print map scale is approximate.  
 Critical layout or measurement activities should not be done using this resource.

Note: MapGeo incorrectly identifies location of property in relation to topography/aerial photo  
 — MapGeo Property boundary

— proximate property boundary with 2 foot 2016 lidar topography on 2016 Aerial photo



## ZBA Application23-03 128 Elmwood Hill Rd Variance possible new lot



## Property Information

Property ID 5100  
Location 128 ELMWOOD HILL RD  
Owner SANTERRE SCOTT A + HOLLY J

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## Agenda Item K, Correspondence

None



Agenda Item L, Signing of Mylars - None

Agenda Item M, Comments by Commissioners

Agenda Item N, Adjournment