

INLAND WETLANDS COMMISSION
TUESDAY, March 14, 2023
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C.a.
Action on Minutes of Previous Meeting
Minutes of February 14, 2022



**TOWN OF
THOMPSON**
Inland Wetlands Commission
815 Riverside Drive, P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

RECEIVED
TOWN OF THOMPSON, CT.
2023 FEB 16 P 2:00
Lat Hengston
TOWN CLERK, 0214

MEETING MINUTES: Tuesday, February 14, 2023, 7:00PM

Via ZOOM Online Meeting Portal

- A) The meeting was called to order at 7:00 PM by Chairman George O'Neil who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer) Fran Morano (Commissioner), Marla Butts (Wetlands Agent), Gloria Harvey (Recording Secretary), Amy St. Onge (First Selectman)

Members of the public: Valerie Clark, Janet Blanchette, J & D Civil Engineers, and others

- B) Appointment of Alternates- None
C) Action on Minutes of Previous Meetings

- a) Minutes of January 10, 2023

The Minutes of January 10, 2023 were unanimously accepted as presented.

- D) Citizens Comments on Agenda Items - None
E) Applications

- a) Old Applications

1. **WAA22029**, Gary Rawson, 0 Logee Road (Assessor's map 141, block 17, lot 184R), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, awaiting NDDH approval.
2. **WAA22030**, Gary Rawson, 0 Logee Point Road, (Assessor's map 141, block 17, lot 184I), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, awaiting NDDH approval.

- b) New Applications

1. **WAA23001**, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks. One 50' x 13' over proposed concrete slab and one 18' x 36' along entire width of the south side of the building, under review. Cannabis shop did not win in the lottery, therefore, Mr. Youssef changed his plan for the building by adding a concrete pad and two second floor decks. The Building Department is requiring a new set of plans, so Application WAA23001 is on hold pending receipt of revised drawings to match what he has indicated in writing.
2. **IWA23002**, Jason Lavallee, 0 Azud Road, (Assessor's Map 67, block 53, lots 1H and 1G, construct multifamily dwellings in 5 phases within upland review area with drainage discharging to wetlands/watercourses, stamped received 2/7/2023, statutory receipt date 2/14/2023. Janet Blanchette, J & D Engineering, representing Jason Lavallee of Lavallee Construction explained this property is 12 acres in size, containing two lots located at the intersection of Riverside Drive and Azud Road, and the developer wants to construct multi-family town houses. The wetlands were created by excavation years ago with well-drained

soil in the area. The storm water drainage system will be designed on the assumption of active vernal pools so there will be no discharge into the wetlands or vernal pool. This project will be constructed in phases over 5 – 10 years. The infrastructure will be built incrementally beginning in the area closest to Route 12. There are 3 wells planned which will draw from the water table. Marla stated that there is extensive conservation easement area surrounding this proposal including a walking trail from the Airline Trail parking lot, so she asked Dan Malo, Conservation Officer, to bring this before the Conservation Commission for their input and comment to the IWC with any concerns they might have. Marla referred to Margaret Washburn's suggestion that delineation requires reflagging over 15 years, however Marla doesn't believe it should be delineated because there is no change in the upper watershed. Marla suggested the Commission ask for an evaluation by a Herpetologist to determine if there is a vernal pool because breeding starts end of March beginning of April and lawns will be draining into it. Marla also recommended the Commissioners do a site walk of this property and will coordinate with the Commissioners via email to determine their availability.

- c) Applications Received After Agenda was Published - None
- F) Permit Extensions / Changes - None
- G) Violations & Pending Enforcement Actions
 - a) **Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021. Marla spoke to Mr. Baer and he's still in the process of finding a builder and a person to do grading on the site. No certificate of approval will be issued by the Building Office until the Wetlands Commission receives an as built drawing once the grading work and the construction work is completed. Currently Marla has received no calls from any residents around the lake indicating any problems coming from the site. This project is on hold and Marla will research the expiration date of his permit.
 - b) **Notice of Violation VIOL22031**, Douglas and Roberta Gray, 0 New Road, (Assessors map 154, block 3, lot2J), watercourse alternative causing flooding, issued 1/23/22 – Last month when Marla spoke with Mr. Calabro and his engineer Norm Thibeault, they were given 45 days to submit the results of their investigation to see if they can get the grades adequate enough to have the water flowing down along the Mr. Calabro's driveway as opposed to flowing through the Gray's property. In addition, they would be coming in with an as-built for the under drain for the septic system that's in the upland review area as well as possible work at the top of the hill to the south of the septic system to ensure that water that flows out of the Gray's property into the neighboring property and into Mr. Calabro's property can never breach into Mr. Calabro's yard area. Marla talked with Norm Thibeault today and he said they were still in the process of doing the evaluation and he expects to be out on site early next week finishing up their work. Until IWC gets that information from Norm Thibeault, they won't be able to know whether or not the Grays violation will have any other activity or addressing the conditions on their property. If there is an alternative of keeping all the water on Mr. Calabro's property, then Mr. Calabro is agreeable to having that happen and will come in with an application to authorize that activity and any other activity he has done or is proposing to do.

H) Other Business

a) Update on Proposed Subdivision Regulations

In a recent discussion with Tyra Penn-Gesek, the Director of Planning and First Selectman St. Onge, Marla agreed to finish submitting her draft comments on the Subdivision Regulations by Monday, February 20, 2023. In addition, Marla asked for the Commissioners advice if the IWC should ask the PZC to include a signing block for the IWC on the mylars in the revised subdivision regulations for subdivisions containing wetlands. Currently this requirement is not in the subdivision regulations. The Commissioners unanimously agreed to have Marla advise the PZC to incorporate a signature block for the IWC on the mylar when a subdivision has wetlands or watercourses on the property that's subject to the subdivision. The Commissioners stated that they believe an IWC signing block on mylars for subdivisions containing wetlands is important and will have a positive, precautionary impact to safeguard and protect the precious wetlands in the town.

b) FY23 Budget

Marla emailed the Commissioners the proposed budget. She has a meeting with the Board of Selectmen on February 22nd to review the IWC budget with them.

I) Citizen's Comments

Valerie Clark, 105 Alm Road – commented on Marla's involvement with the subdivision regulations and her observations are excellent and she appreciates all the work Marla is doing. She also stated she was pleased that the IWC Commissioners supported memorializing the process for signing off on the mylars.

J) Reports

a) Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2022 to January 26, 2023 is \$12,941.10, and the IWC has expended 52.8% of their budget.

b) Wetlands Agent Report

Marla created an Excel spreadsheet identifying the processing costs associated with the various types of applications and petitions to assist in developing a revised fee schedule that complies with Conn. Gen. Stat. §22a-42a(e). Marla suggested the Commissioners meet in an in person special meeting before the March regular meeting to discuss the Inland Wetlands Commission regulation amendments and new fee schedule. She will touch base with each Commissioner to get a consensus when everyone will be available for the special meeting. On January 26, Marla received approval from CT State Library for the destruction of general correspondence files through 12/31/17, legal notices and audio tapes/recordings through 12/31/21, and old closed enforcement files through 12/31/12. Recording secretary, Gloria Harvey, will now go through the Wetlands Office subject files destroying the general correspondence authorized for destruction. No progress has been made on the pre-1990 file destruction due to Marla's commitment to complete the subdivision regulations review. The Wetlands/Conservation office has a new locking storage cabinet which Dan Malo and Marla will fill with combined supplies and equipment to make room for the 2023 IWC application files.

Inspections/Follow up Actions: 10 Stawicki Road – On February 7, 2023, Marla met with property owner Robert Kopacz regarding tree clearing and minor grading work performed on his property by his neighbor, Joseph Blanchard who lives at 353 Pasay Road. Some of this work was within 100 feet of a small pond on the Kopacz property. Mr. Kopacz would like to regrade portions of the area near Pasay Road and plant grass to stabilize. There currently is no siltation problem. Marla sent a letter to Mr. Kopacz with a copy to Mr. Blanchard to cease any further

Building Permits Reviewed – Eight Building Permits were reviewed

Purchase Requisition Status – Paid legal notices for Spicer and Cleary. Purchased office supplies – date stamp \$60.00 and a locking cabinet \$693.30 paid half by the IWC and half by Conservation. Purchased a new multiyear date stamp for \$60.00 as the current one ended at 2022 and a locking cabinet for \$693.30 half paid by Conservation and half by Wetlands with encumbered money. Paid \$1,000 to Eastern CT Conservation District FY22-23 contributory support.

a) Connecticut Land Use Law for Municipal Land Use Agencies, Boards, and Commissions

b) Letter from Eastern Connecticut Conservation District, Inc.

L) Signing of Mylars-None

George O'Neil thanked Marla for a thorough report and commented that the Commission does not look forward to the day she retires and won't be there to provide guidance.

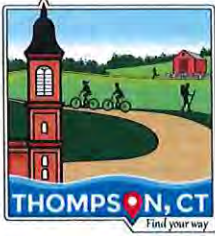
At 8:02 PM after the completion of the agenda, Fran Morano made a motion to adjourn the meeting. The motion was seconded by Charlie Obert. **The motion was unanimously APPROVED.**

https://us02web.zoom.us/rec/share/gzWLtbHpplmc_5odlgJ3xqt4QfY7SkKV5Nlxcgt0k3HpDffDHb1IVoKy6U-chhd7.0vspTCNA5TqMv43i

Respectfully submitted, Gloria Harvey, Recording Secretary

Gloria Harvey

Vote to Amend Agenda
to include
Minutes for Saturday Special Meeting Site Walk



TOWN OF THOMPSON

Inland Wetlands Commission

815 Riverside Drive, P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
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RECEIVED
TOWN OF THOMPSON, CT

2023 MAR 13 AM 11:01

Conie Wald
TOWN CLERK

SPECIAL MEETING MINUTES SITE WALK

Saturday, March 11, 2023@ 9:00AM

On Saturday, March 11, 2023 the Inland Wetlands Commission met to perform a site walk at 0 Azud Road (Assessor's Map 67, block 53, lots 1H and 1G) for Application IWA23002 by Jason Lavallee involving the proposed construction of multifamily dwellings in 5 phases, portions of which are located within the 100-foot upland review area for wetlands and watercourses including 5 buildings, grading, drainage with discharges and well construction. The purpose of the meeting was to orient Commissioners to on-site conditions in relation to the application plans.

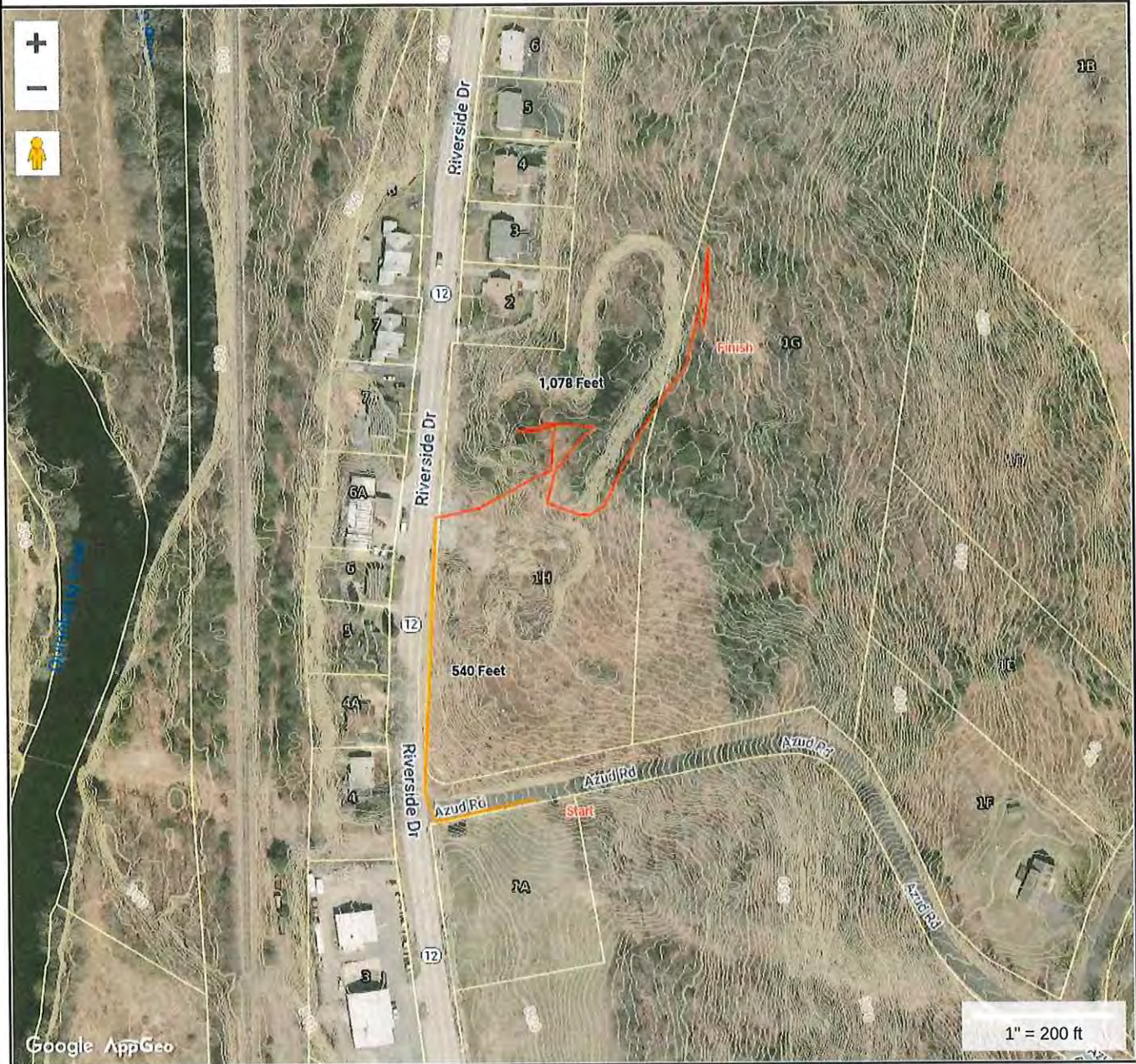
The meeting was called to order at 9:00 am by Chair O'Neil along the south side of Azud Road about 125 feet east of its intersection with Riverside Dr (Route 12). In attendance were Chair George O'Neil, Commissioners H. Charles Obert and Diane Chapin, myself, Janet Blanchette of J&D Civil Engineers, LLC, Carol Smith of the Conservation Commission and members of the public including Bill Warner, Beverly Warner, Valerie Clark and Catherine O'Neil. At the time of the inspection, it was cloudy with occasional snowflakes; the ground was not frozen and was without snow cover.

From Azud Road the group traveled to Riverside Drive, going north along Riverside Drive for a distance of about 375' and entered the site at a paved area, travelling through the site as shown on the attached map. The group reviewed the application development plans provided by Ms. Blanchette and myself with our guidance. The meeting ended at 9:38 am internal to the property with participants returning to their vehicles.

Respectfully submitted,

Marla Butts
Thompson Wetland Agent

Map of IWC 3/11/2023 Site Walk Application IWA23002



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022
Data updated December 1, 2022

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Agenda Item D.
Citizens Comments on Agenda Items

Agenda Item E.a) 1. Old Applications

WAA22029, Gary Rawson, 0 Logee Road (Assessor's map 141, block 17, lot 184R), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, awaiting NDDH approval.

Agenda Item E.a) 2. Old Applications

WAA22030, Gary Rawson, 0 Logee Point Road, (Assessor's map 141, block 17, lot 184I), construct a new single-family home in a 100-foot upland review area for Quaddick Reservoir, stamped received 11/16/22, NDDH approval received 3/6/23 – status update.

Agenda Item E.a) 3. New Applications

WAA23001, Hany Youssef, 274 Riverside Drive, (Assessor's map 87, block 95, lot 39), construct a 13' x 50' concrete pad for a refrigeration/freezer unit, stamped received 1/19/23, revised 2/1/2023 to include construction of 2 second floor decks: a 50' x 13' over proposed concrete slab and an 18' x 36' along entire width of the south side of the building, under review – status update.

Agenda Item E.a) 4. New Applications

IWA23002, Jason Lavallee, 0 Azud Road, (Assessor's Map 67, block 53, lots 1H and 1G, construct multifamily dwellings in 5 phases within upland review area with drainage discharging to wetlands/watercourses, stamped received 2/7/2023, statutory receipt date 2/14/2023.


FW: vernal pools

Janet Blanchette <janet@jdcivilengineers.com>

Tue 3/7/2023 9:51 AM

To: Marla Butts <wetlands@thompsonct.org>

Cc: 'Jason Lavallee (Jlavallee0193@charter.net)' <Jlavallee0193@charter.net>

 11 attachments (16 MB)

MA Audubon guide_20230307_0001.pdf; CAS 2005 training session announcement_20230307_0001.pdf; CAS vernal pool assessment form_20230307_0001.pdf; Pomfret Wetlands memo_20230307_0001.pdf; Murdock property vernal pool sketch_20230307_0001.pdf; Pomfret Conservation Commission letter_20230307_0001.pdf; 2 vernal pool forms from CAS_20230307_0001.pdf; Vernal pool photos 1 & 2_20230307_0001.pdf; vernal pool photos 3 & 4_20230307_0001.pdf; MA DIV. F&W Guidelines_20230307_0001.pdf; Resume for J&D;

Good morning Marla,

Please see the attached information. The resume opens in WORD. I have accompanied Margaret on visits to vernal pools on several occasions and have been impressed with her knowledge and thorough investigation. It makes sense to continue to use her as our consultant on this project both because of her lifelong experience and because of her history with this particular site.

Janet

From: Margaret Washburn <washburnwetland@gmail.com>**Sent:** Tuesday, March 7, 2023 10:07 AM**To:** Janet Blanchette <janet@jdcivilengineers.com>; Margaret Washburn <washburnwetland@gmail.com>**Subject:** vernal pools

Hi Janet,

I have documented approximately 80 vernal pools since 2005. Most of these were under a CL&P right-of-way under overhead transmission lines from the RI state line in Thompson through Putnam to Route 169 in Brooklyn. I documented these vernal pools along with another employee when I worked for AECOM. Many of these vernal pools contained fairy shrimp. Please see the attached resume.

I have attended technical training sessions to learn about documenting vernal pools in both Connecticut and Massachusetts.

I attended CT Audubon vernal pool certification training, led by Paula Coughlin, in 2005. As a volunteer for CT Audubon, I certified several pools in Pomfret. Some of these were along the Airline Trail. Some were in my neighborhood and in the nearby State Forest. Please see the attached documentation from the Town of Pomfret thanking my late husband and me for helping to protect a vernal pool that had been recently altered. Please also see a sample of the photographs I take when certifying a vernal pool, and two different Vernal Pool Assessment Data Forms used by the CT Audubon Society. I have also tape recorded choruses of wood frogs and other amphibians calling from vernal pools. When I purchased a book titled "Maine Amphibians and Reptiles", it came with a CD of

the calls of frogs and toads of Maine. I listened to it over and over until I learned to identify the calls of all the species, most of which are the same as species present in CT.

I identified some vernal pools on the Murdock property, off Route 101 near White Brook and the Quinebaug River, owned by the Town of Pomfret, soon to be developed for a regional hazardous waste facility. Some of these vernal pools were certified by other citizen volunteers after I delineated them for the Town of Pomfret. Please see the attached sketch of vernal pools on the Murdock property.

For several years I attended the Vernal Pool Society "Vernal Pool Conservation Strategies" presentation at the Massachusetts Association of Conservation Commission (MACC) annual meetings. I have attached the 2009 handout from this presentation. As a member of MACC, I also attended the MA Division of Fisheries & Wildlife Natural Heritage and Endangered Species Program vernal pool certification presentation at an MACC annual meeting. Please see the attached guidelines from that program.

As Conservation Agent for the Town of Spencer, MA, I was able to get several solar farm applicants to agree to voluntarily have vernal pools certified on the land they were developing. The vernal pool certification was not required, but every time we asked the applicants to voluntarily have the pools certified by a trained professional, they invariably agreed. We required the certification to be documented during the first vernal pool season following issuance of the solar farm permit, and to be submitted to the Massachusetts Natural Heritage and Diversity Program in the same season. We had a 100% success rate in getting these pools certified.

In conclusion, I am extremely interested in documenting and protecting vernal pools and have many years of experience in documenting the obligate and facultative species found in vernal pools.

Please feel free to contact me if you have any questions.

Margaret Washburn, M.S.
Registered Professional Soil Scientist
19 Wolf Den Road
Pomfret Center, CT 06259

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RE: Saturday Site Walk special Meeting - See Attached

Janet Blanchette <janet@jdcivilengineers.com>

Thu 3/9/2023 10:43 AM

To: Marla Butts <wetlands@thompsonct.org>; George Oneil <goneil3@thompsonct.org>; Charles Obert <cobert@thompsonct.org>; Fran Morano, IWC Commissioner <fmorano44@gmail.com>; Diane Chapin <dchapin@thompsonct.org>

Cc: First Selectman <firstselectman@thompsonct.org>; Conservation <CONSERVATION@thompsonct.org>; ZEO <ZEO@thompsonct.org>; Jason Lavallee <jlavallee0193@charter.net>

 1 attachments (8 MB)

22203 Full colored set 2023-03-02.pdf;

Good morning,

I attached a set of updated plans that have been colored to make them easier to understand. I suggest using this set during the zoom meeting next week. The only substantive revision was the addition of a fire department cistern as requested by the fire marshal. The cistern is up near the driveway and not within the 100' upland review area.

I will bring some full sized colored plans to the site walk Saturday.

Janet

From: Marla Butts <wetlands@thompsonct.org>

Sent: Wednesday, March 8, 2023 2:27 PM

To: George Oneil <goneil3@thompsonct.org>; Charles Obert <cobert@thompsonct.org>; Fran Morano, IWC Commissioner <fmorano44@gmail.com>; Diane Chapin <dchapin@thompsonct.org>

Cc: First Selectman <firstselectman@thompsonct.org>; Conservation <CONSERVATION@thompsonct.org>; ZEO <ZEO@thompsonct.org>; Jason Lavallee <jlavallee0193@charter.net>; Janet Blanchette <janet@jdcivilengineers.com>

Subject: Saturday Site Walk special Meeting - See Attached

Attached please find the posted agenda for the special meeting for the Saturday March 11, 2023 site walk for Application IWA23002 by Jason Lavallee, 0 Azud Road, (Assessor's Map 67, block 53, lots 1H and 1G) to construct multifamily dwellings in 5 phases within upland review area with drainage discharging to wetlands/watercourses. The area of focus will be the delineated wetlands as shown on the plans that were posted in the February ZOOM meeting documents (see pages 34-44). A locus map is attached to the meeting agenda. The meeting will begin at the south side of Azud Rd just up from the intersection with Riverside Drive (Route 12) Please park carefully and do not obstruct any driveways.

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

HILLSIDE TOWNHOMES

PREPARED FOR:
LAVALLEE CONSTRUCTION, LLC

**RIVERSIDE DRIVE AND AZUD ROAD
THOMPSON, CONNECTICUT**

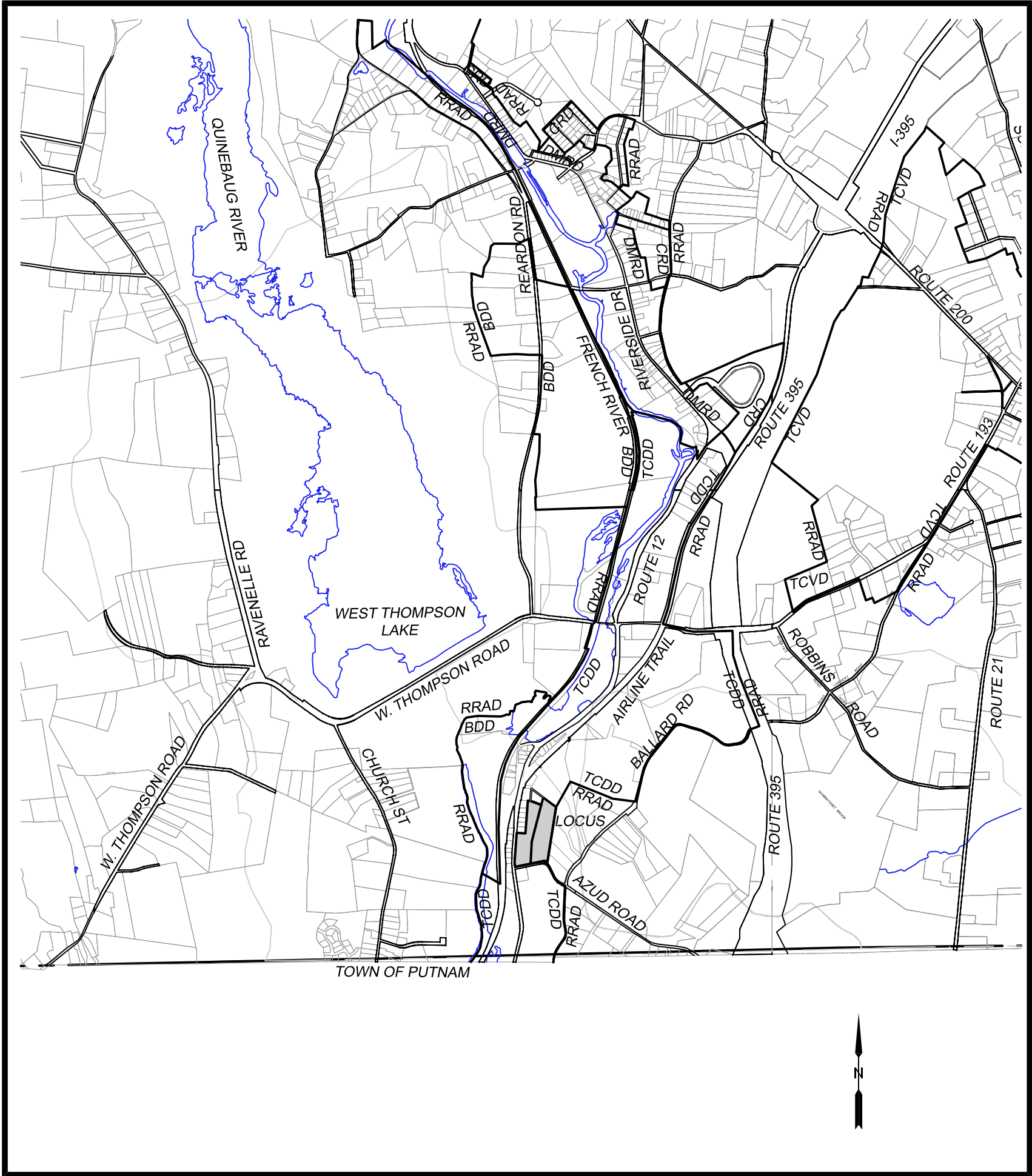
**DATED: JANUARY 31, 2023
REVISED THROUGH 3-2-23**

PREPARED FOR:
LAVALLEE CONSTRUCTION, LLC
83 RICH ROAD
NORTH GROSVENORDALE, CT 06255

DIRECTIONS TO SITE FROM TOWN HALL:
HEAD SOUTH ON RIVERSIDE DRIVE (ROUTE 12).
SITE IS ON THE LEFT JUST BEFORE AZUD ROAD.

INDEX OF DRAWINGS

- 1 COVER AND LOCATION MAP
- 2 VICINITY AND INDEX PLAN
- 3 PROPERTY SURVEY
- 4 40 SCALE UTILITY AND DRIVEWAY LAYOUT PLAN
- 5 PROFILE SHEET
- 6 PHASES 1 & 2 SITE DEVELOPMENT PLAN
- 7 PHASE 3 SITE DEVELOPMENT PLAN
- 8 PHASE 4 & 5 SITE DEVELOPMENT PLAN
- 9 CONSTRUCTION DETAILS - SEWER AND MISC.
- 10 CONSTRUCTION DETAILS - E & S
- 11 CONSTRUCTION DETAILS - DRAINAGE



LOCATION MAP
1" = 2000'

TABLE OF ZONING COMPLIANCE

ZONE: THOMPSON CORRIDOR DEVELOPMENT DISTRICT (TCDD)

ITEM	REQUIRED*	PROPOSED
FRONTAGE	100'	1153' ±
LOT COVERAGE	<75%	24%
FRONT SETBACK	20'	25' ±
SIDE SETBACK	25'	65' ±
REAR SETBACK	25'	269' ±
LOT SIZE	40,000 SF	558,445 SF

*MULTI-FAMILY, THREE OR MORE UNITS

PERMIT APPROVAL BY THE THOMPSON
INLAND WETLAND COMMISSION

CHAIRMAN _____ DATE _____

SPECIAL PERMIT APPROVAL BY THE THOMPSON
PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

J & D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
THOMPSON, CT 06255
JDCIVILENGINEERS.COM
860-923-2920

SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996.

SURVEY TYPE: COMPILATION PLAN

PURPOSE: TO DEPICT NEARBY PROPERTIES AND STRUCTURES.

HORIZONTAL ACCURACY: CLASS D

THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

2. REFERENCE PLANS:
(A) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE, THOMPSON CT" ON FILE AS MAP #1562.

(B) MAPGEO GIS WEBSITE, 2019 AERIAL PHOTOGRAPHY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/23 LICENSE NUMBER 12107

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2023 J&D CIVIL ENGINEERS, LLC

LEGEND

SUBJECT PROPERTY LINE
ABUTTING PROPERTY LINE
EASEMENT LINE
WETLAND SOILS

VICINITY PLAN & INDEX MAP
PREPARED FOR
LAVALLEE CONSTRUCTION LLC
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
MAP 67 BLOCK 53 LOTS 1G AND 1H

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:
2-15-23

JOB NO: 22203

SCALE: 1" = 80'

DATE: JANUARY 2023

SHEET: 2



REFERENCE PLANS

- (A) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-WEBSETER ROAD FROM THE QUINEBAUG SCHOOL SO. WESTERLY ABOUT 3,700 FEET ROUTE NO. 12 MAP 141-14 SHEET 1 OF 2 AND SHEET 2 OF 2, DATED SEPT. 1946
- (B) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-GROSVENORDALE ROAD FROM THE PUTNAM TOWN LINE NORTHERLY ABOUT 6,000 FEET ROUTE NO. 12 MAP 141-12 SHEET 1 OF 3, DATED SEPT. 1938
- (C) RIGHT OF WAY AND TRACK MAP THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. OPERATED BY THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. SURVEY STATION 3065+20 TO 3127+30.53 AND SURVEY STATION 3127+30.53 TO 1293+60
- (D) SUBDIVISION OF DWELLINGS AND LANDS OF THE GROSVENOR-DALE COMPANY SOUTH GROSVENORDALE-MECHANICSVILLE, THOMPSON, CONNECTICUT BY WATERMAN ENGINEERING COMPANY MARCH, 1938
- (E) PLOT OF LAND IN MECHANICSVILLE THOMPSON CONN. OWNED BY EDWARD J. BALL SCALE 1" = 20' 1933 GEORGE W. PERRY C.E.
- (F) PLAN OF LAND CONVEYED BY BERTI E. ARNOLD TO PAUL E. AZUD THOMPSON, CONNECTICUT SCALE 1" = 100' OCT. 14, 1959 GILBERT F. PERRY C.E.
- (G) PLAN OF LAND TO BE CONVEYED BY CARMINE DEFILIPPO TO MECHANICSVILLE SUPPLY COMPANY, INC. IN THE TOWN OF THOMPSON, CONN. SCALE 1" = 100' FEB. 20 1952 WILLIAM W. PIKE, SURVEYOR
- (H) GUERIN MILLS INC., BEACHMONT MILL THOMPSON LAND RECORDS MAP 151
- (I) PROPERTY SURVEY PREPARED FOR JACK R.E. LLC, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED SEPTEMBER 7, 2007
- (J) PROPERTY SURVEY PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED JANUARY 17, 2011, REVISED 1-24-2011.
- (K) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE RIVERSIDE DRIVE - THOMPSON, CT" BY J & D CIVIL ENGINEERS, LLC, DATED FEBRUARY 3, 2011, REVISED THROUGH 10-24-11, SHEET 3 OF 8

NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: PROPERTY SURVEY

BOUNDARY DETERMINATION CATEGORY: PROPERTY BOUNDARY LINES DEPICTED HEREON CONTIGUOUS WITH PROPERTY BOUNDARY LINES AS DEPICTED ON THE SURVEY REFERENCE PLANS LISTED HEREON ARE A "RESURVEY". THE REMAINDER OF THE PROPERTY BOUNDARY LINES DEPICTED HEREON ARE AN "ORIGINAL SURVEY".

PURPOSE: TO COMBINE LOTS 1G AND 1H.

HORIZONTAL ACCURACY: CLASS A-2

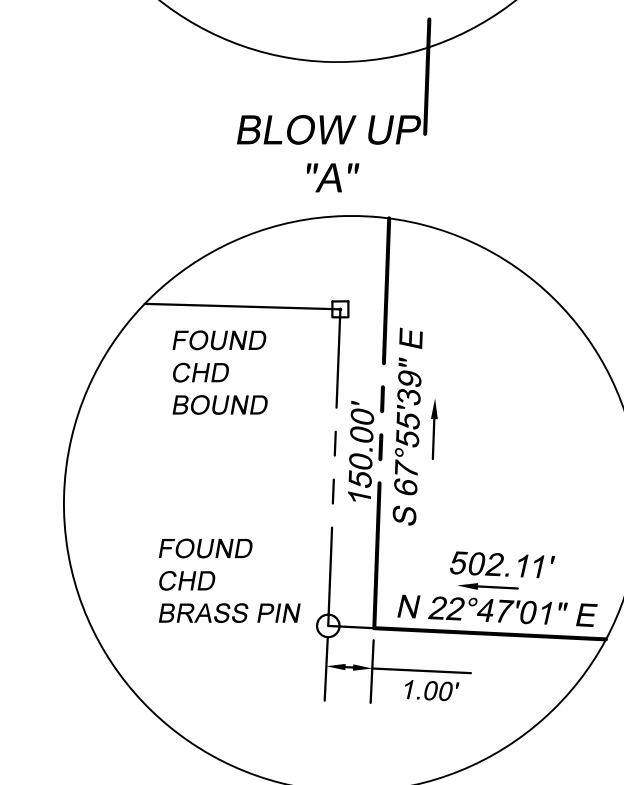
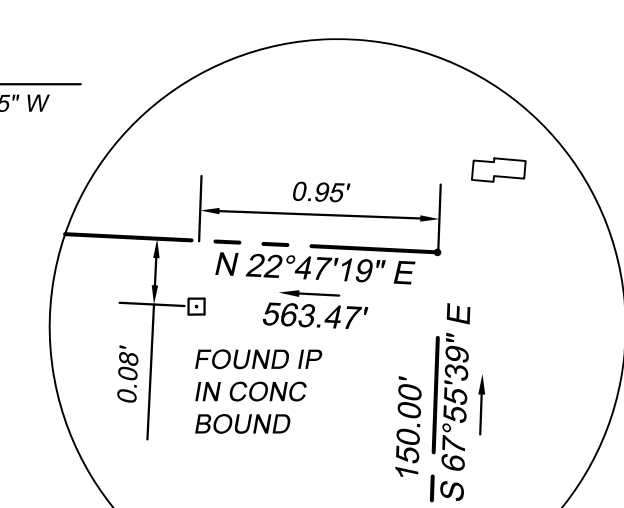
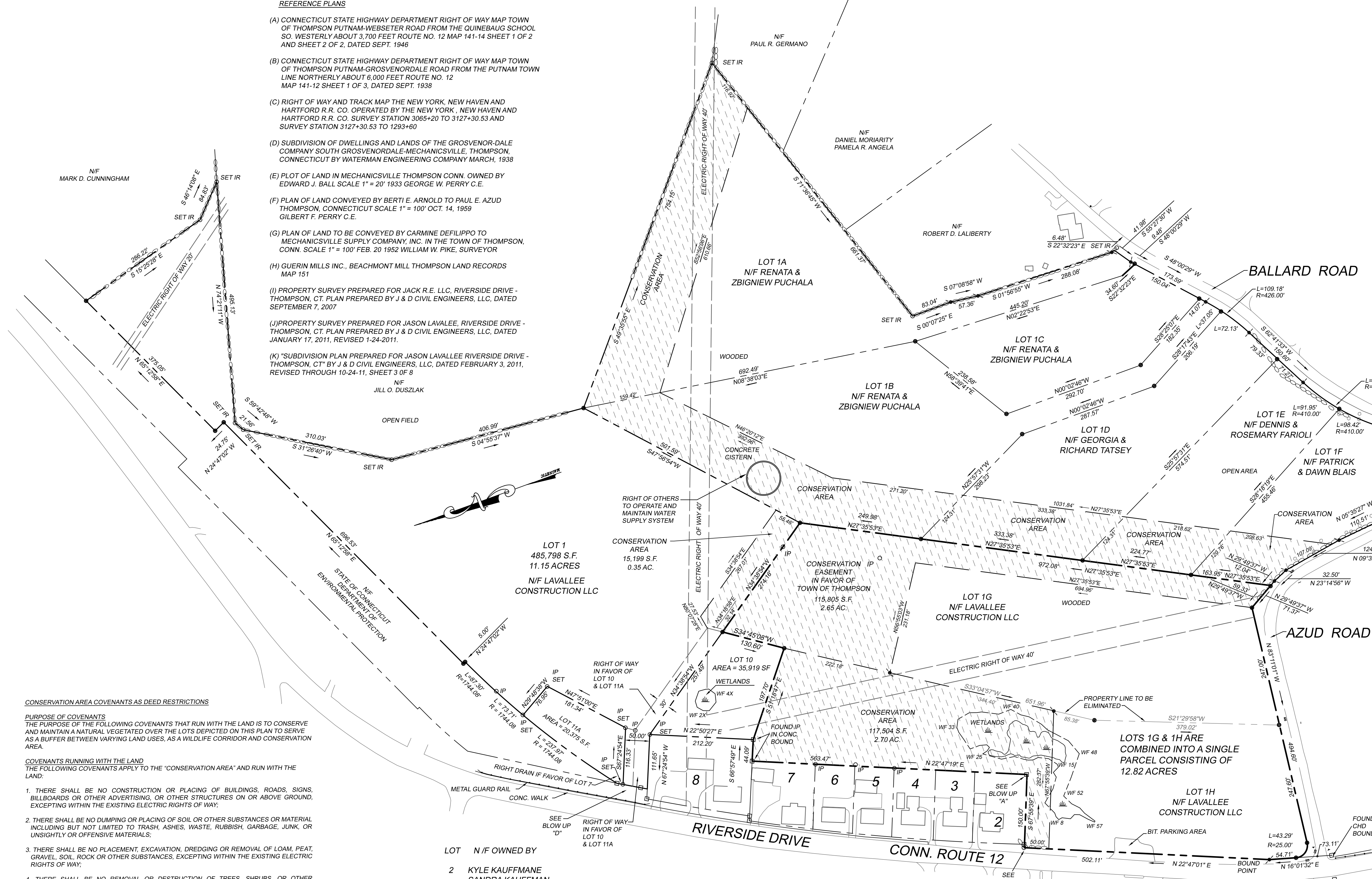
2. GENERAL NOTES:

ELECTRIC RIGHT OF WAYS DEPICTED HEREON ARE APPROXIMATE LOCATION THE PROPERTY DEPICTED HEREON IS SUBJECT TO RIGHTS OF RECORD

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON .

DENNIS R. BLANCHETTE DATE 12/07 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE



CONSERVATION AREA COVENANTS AS DEED RESTRICTIONS

PURPOSE OF COVENANTS
THE PURPOSE OF THE FOLLOWING COVENANTS THAT RUN WITH THE LAND IS TO CONSERVE AND MAINTAIN A NATURAL VEGETATED OVER THE LOTS DEPICTED ON THIS PLAN TO SERVE AS A BUFFER BETWEEN VARYING LAND USES, AS A WILDLIFE CORRIDOR AND CONSERVATION AREA.

COVENANTS RUNNING WITH THE LAND
THE FOLLOWING COVENANTS APPLY TO THE "CONSERVATION AREA" AND RUN WITH THE LAND:

- THERE SHALL BE NO CONSTRUCTION OR PLACING OF BUILDINGS, ROADS, SIGNS, BILLBOARDS OR OTHER ADVERTISING, OR OTHER STRUCTURES ON OR ABOVE GROUND, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
- THERE SHALL BE NO DUMPING OR PLACING OF SOIL OR OTHER SUBSTANCES OR MATERIAL INCLUDING BUT NOT LIMITED TO TRASH, ASHES, WASTE, RUBBISH, GARBAGE, JUNK, OR UNSIGHTLY OR OFFENSIVE MATERIALS;
- THERE SHALL BE NO PLACEMENT, EXCAVATION, DREDGING OR REMOVAL OF LOAM, PEAT, GRAVEL, SOIL, ROCK OR OTHER SUBSTANCES, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
- THERE SHALL BE NO REMOVAL OR DESTRUCTION OF TREES, SHRUBS, OR OTHER VEGETATION, OR THE INTRODUCTION OF ANY TREE, SHRUB OR VEGETATION THAT WOULD BE HARMFUL TO OR COMPETE WITH THE INDIGENOUS SPECIES AS THE SAME NOW EXIST; DESTRUCTION OF WILDLIFE OR ITS HABITAT, THE APPLICATION OF PESTICIDES OR HERBICIDES, OR ANY ACTIVITY OR USE WHICH IS OR HAS THE POTENTIAL FOR BEING DETRIMENTAL TO DRAINAGE, FLOOD CONTROL, WATER QUALITY, EROSION CONTROL, SOIL CONSERVATION, WILDLIFE OR THE LAND AND WATER AREAS IN THEIR NATURAL CONDITION, EXCEPTING WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;

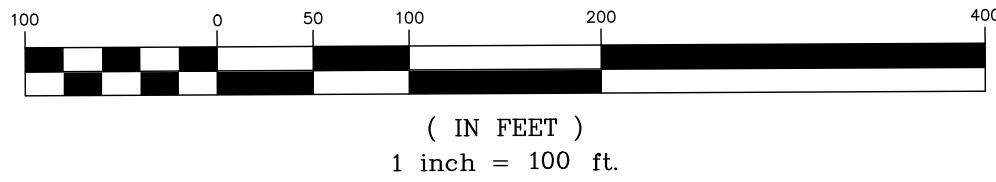
THE ONLY EXCEPTION TO COVENANT #4 WOULD BE FOR URGENT MATTERS OF SAFETY OR FOR THE NEED TO REMOVE INVASIVE SPECIES. IN THE EVENT THAT THERE IS AN URGENT SAFETY MATTER OR AN INVASIVE SPECIES PROBLEM, THE LANDOWNER SHALL DOCUMENT WITH PHOTOGRAPHS AND OTHER RELEVANT DOCUMENTATION THE CONDITIONS THAT COMPEL THE NEED TO BREACH THE PROHIBITION OF THE COVENANT.

5. THERE SHALL BE NO USE OR PLACEMENT OF ANY VEHICLE;

6. THERE SHALL BE NO REMOVAL OR DISTURBANCE OF ANY BOUNDARY MARKERS OF THE CONSERVATION AREA, PERMANENT IRON PINS OR BOUNDARY MARKERS, OR ANY OTHER FIELD IDENTIFICATIONS OF THE CONSERVATION AREA BOUNDARIES.

- LOT N/F OWNED BY
- 2 KYLE KAUFFMAN
SANDRA KAUFFMAN
 - 3 JAMES BELLAVANCE
PAMELA BELLAVANCE
 - 4 TINA REKOWSKI
JAMES REKOWSKI
 - 5 PARMi LEO
 - 6 JOHN J. BONNER
CHERYL M. BONNER
 - 7 KAEVON SAFFORD
 - 8 SCOTT J. WIGGLESWORTH
KIM M. WIGGLESWORTH
 - 10 TOWN
OF
11A THOMPSON

GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- EDGE OF WETLANDS
- STONE WALL
- EASEMENT
- MONUMENT
- IRON ROD SET
- EXISTING IRON ROD
- ANGLE POINT

TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK DATE TIME MAP #

PROPERTY IS NOT WITHIN 100 YEAR FLOOD ZONE PER FIRM MAP 090117 0014 B DATED: NOV. 1, 1984

PROPERTY SURVEY MAP
PREPARED FOR
LAVALLEE CONSTRUCTION, LLC
RIVERSIDE DRIVE - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DRB

REVISIONS:

CHECKED: JJB

JOB NO: 22203

SCALE: 1" = 100'

DATE: JANUARY 2023

SHEET: 3



EVERSOURCE WILL MODIFY THE EXISTING PUTNAM ELECTRIC CO. ELECTRIC R.O.W. TO PERMIT UNDERGROUND UTILITIES AND WILL ACQUIRE A NEW ELECTRIC EASEMENT ALONG PROPOSED ROADS

PROPOSED WOODS TRAIL TO AIRLINE TRAIL. SEE SHEET 2 FOR CONTINUATION.

ASSESSORS LOTS 1H AND 1G
AREA = 558,445 S.F.
(12.82 ACRES)

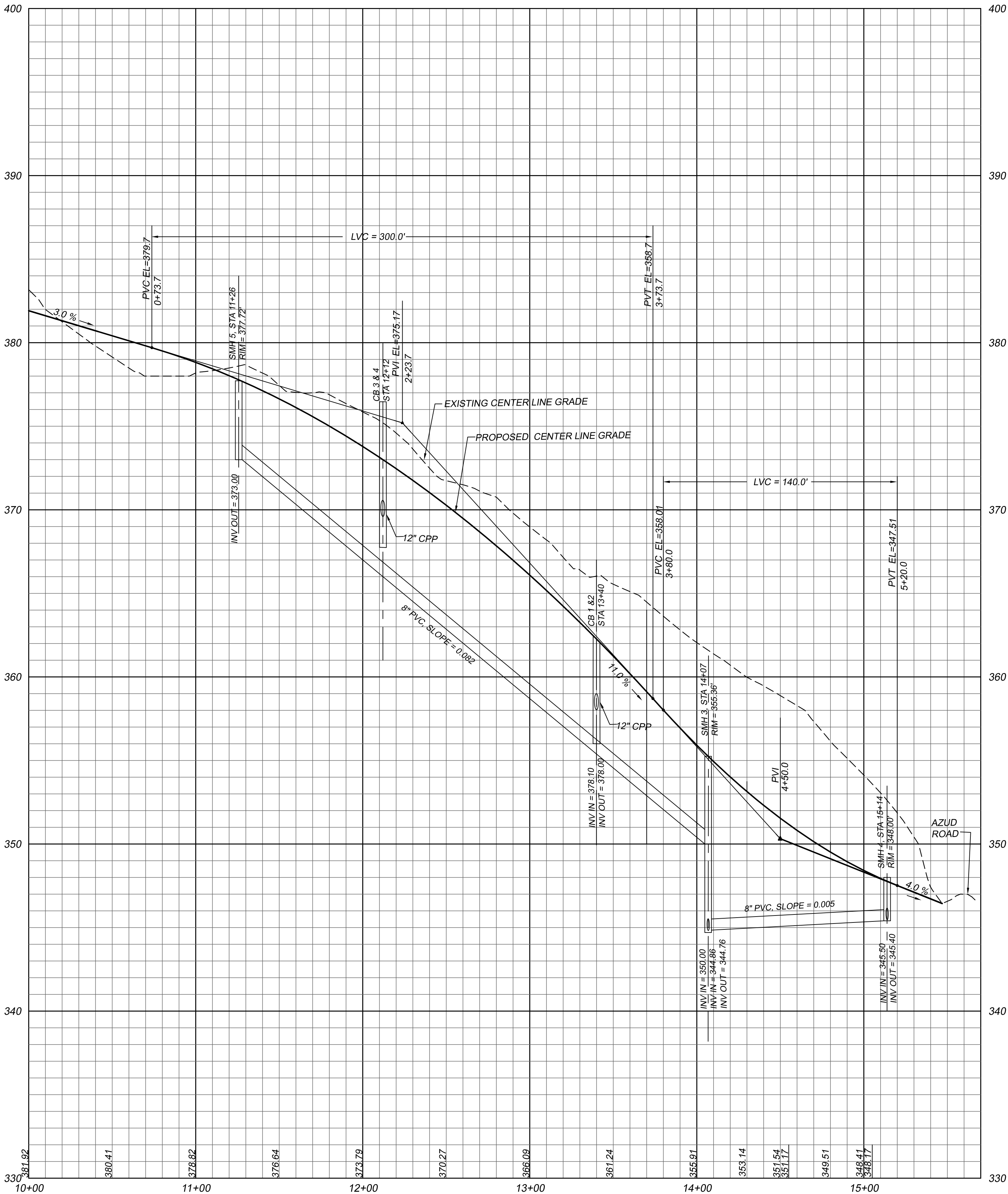
LEGEND	
	PROPERTY LINE
	EDGE OF WETLANDS
	EROSION CONTROL DEVICES
	TEST PIT
	STONEWALL
	UTILITIES
	GUARDRAIL
	UPLAND REVIEW AREA
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED SEWER
	EXISTING SEWER
	EXISTING UTILITY POLE
	SIGN
	PROPOSED WATER LINE

UTILITY & ROAD LAYOUT PLAN
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

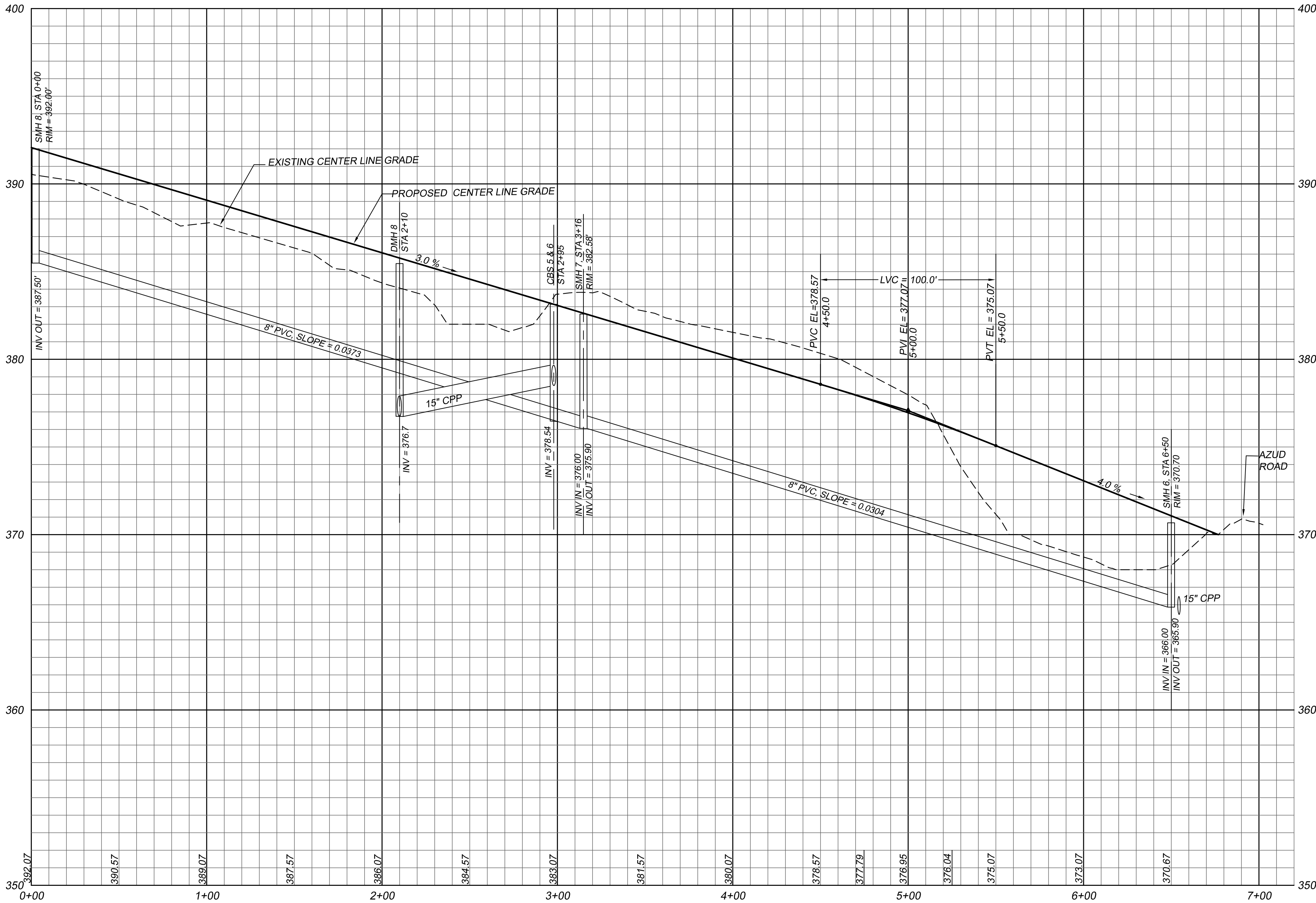
J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB CHECKED: DRB	REVISIONS: 2-14-23, 3-2-23
JOB NO: 22203 SCALE: 1" = 40'	DATE: JANUARY 31, 2023 SHEET: 4

22203 Lavelle final 2023-03-09.dwg PROFILE SHEET 5 3/9/2023 10:13:04



LOWER ROAD PROFILE STA 0+00 - STA 15+00
SEWER PROFILE STA 11+26 - STA 15+14
1" = 40' H
1" = 4' V



UPPER ROAD & SEWER PROFILE STA 0+00 - STA 6+60
1" = 40' H
1" = 4' V

DRIVEWAY PROFILES
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

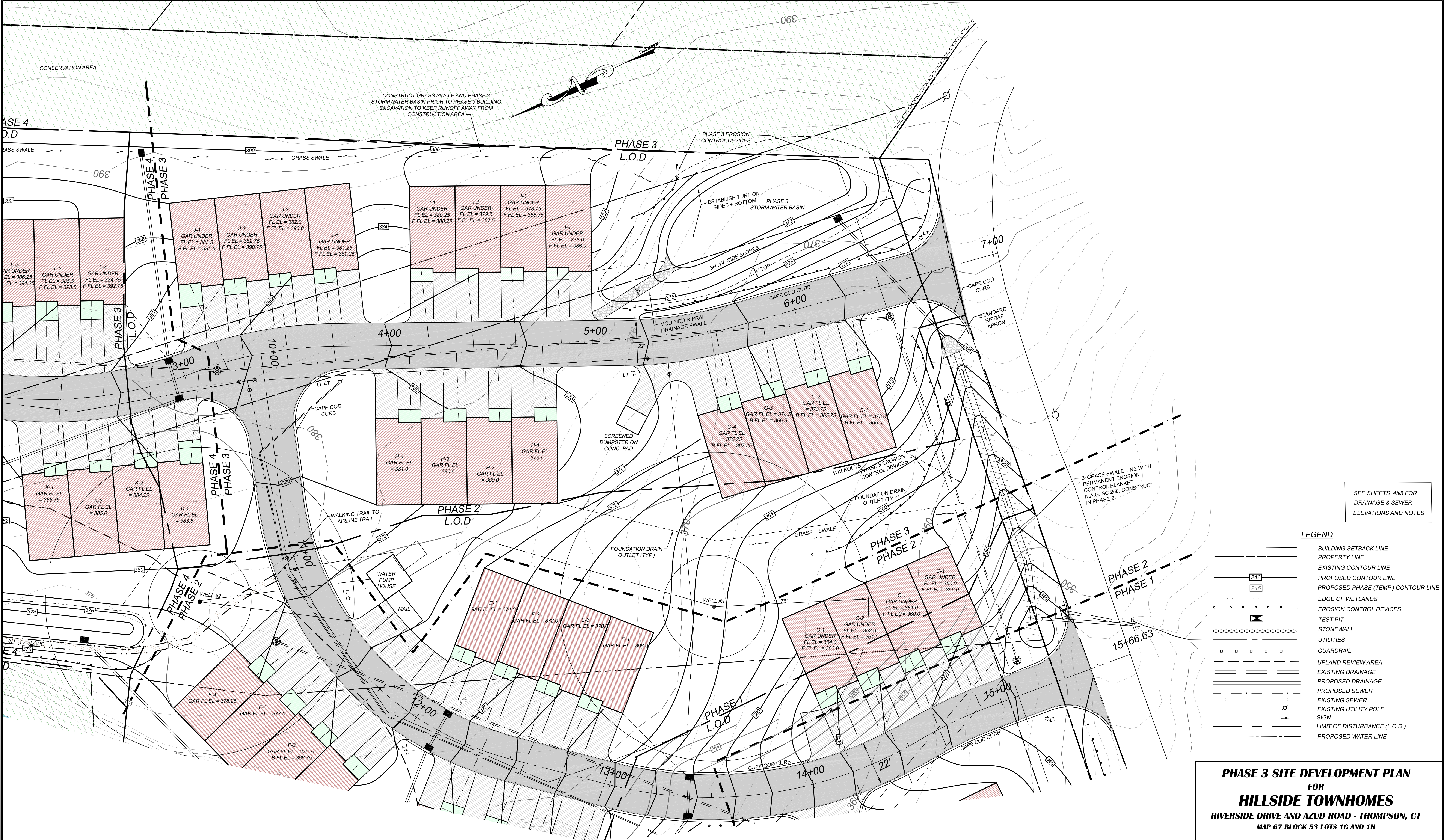
JOB NO: 22203

DATE: JANUARY 31, 2023

SCALE: 1" = 40'

SHEET: 5





SEE SHEETS 485 FOR
DRAINAGE & SEWER
ELEVATIONS AND NOTES

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED PHASE (TEMP.) CONTOUR LINE
- EDGE OF WETLANDS
- EROSION CONTROL DEVICES
- TEST PIT
- STONEWALL
- UTILITIES
- GUARDRAIL
- UPLAND REVIEW AREA
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED SEWER
- EXISTING SEWER
- EXISTING UTILITY POLE
- SIGN
- LIMIT OF DISTURBANCE (L.O.D.)
- PROPOSED WATER LINE

PHASE 3 SITE DEVELOPMENT PLAN
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
MAP 67 BLOCK 53 LOTS 1G AND 1H

J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:
3-2-23

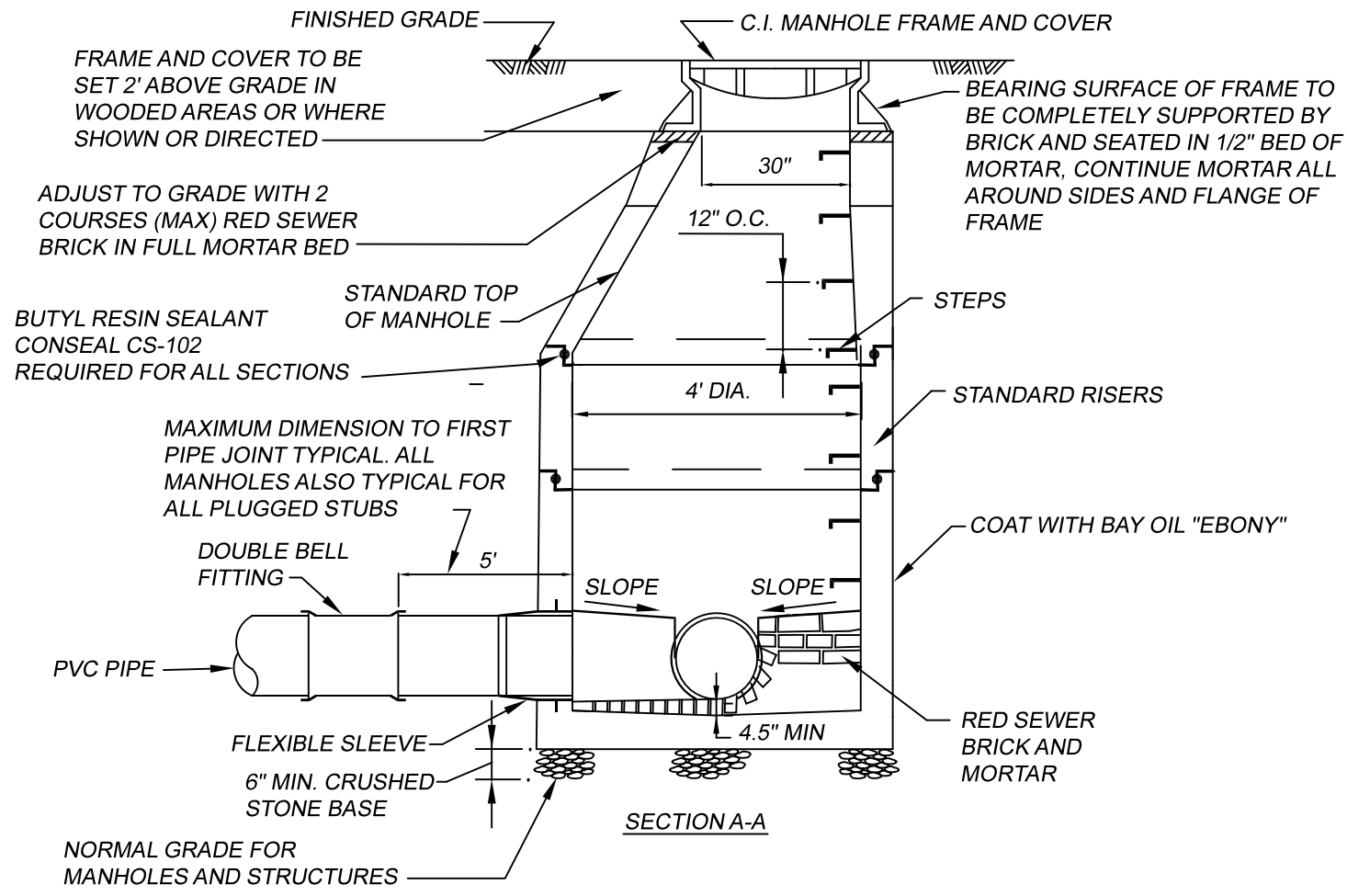
JOB NO: 22203
SCALE: 1" = 40'

DATE: JANUARY 31, 2023
SHEET: 7

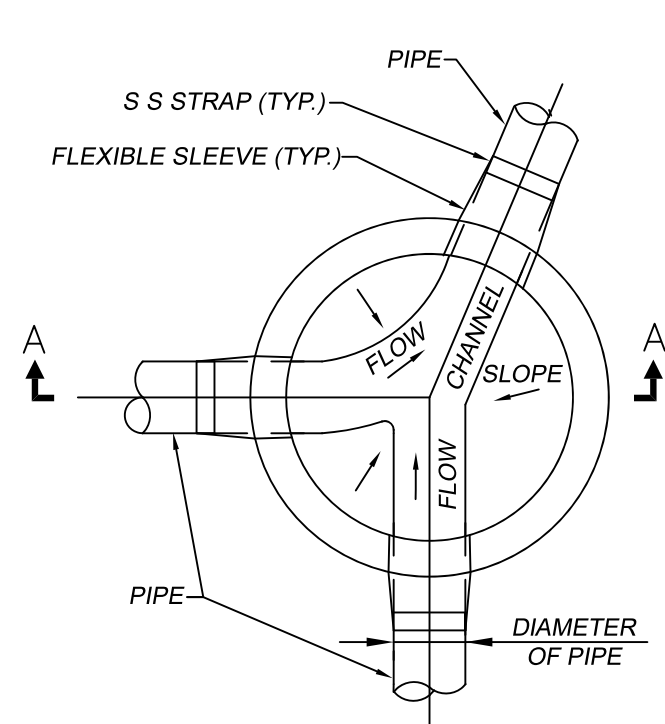


TABLE OF ALLOWABLE TRENCH WIDTH
FOR CLASS OF PIPE SPECIFIED

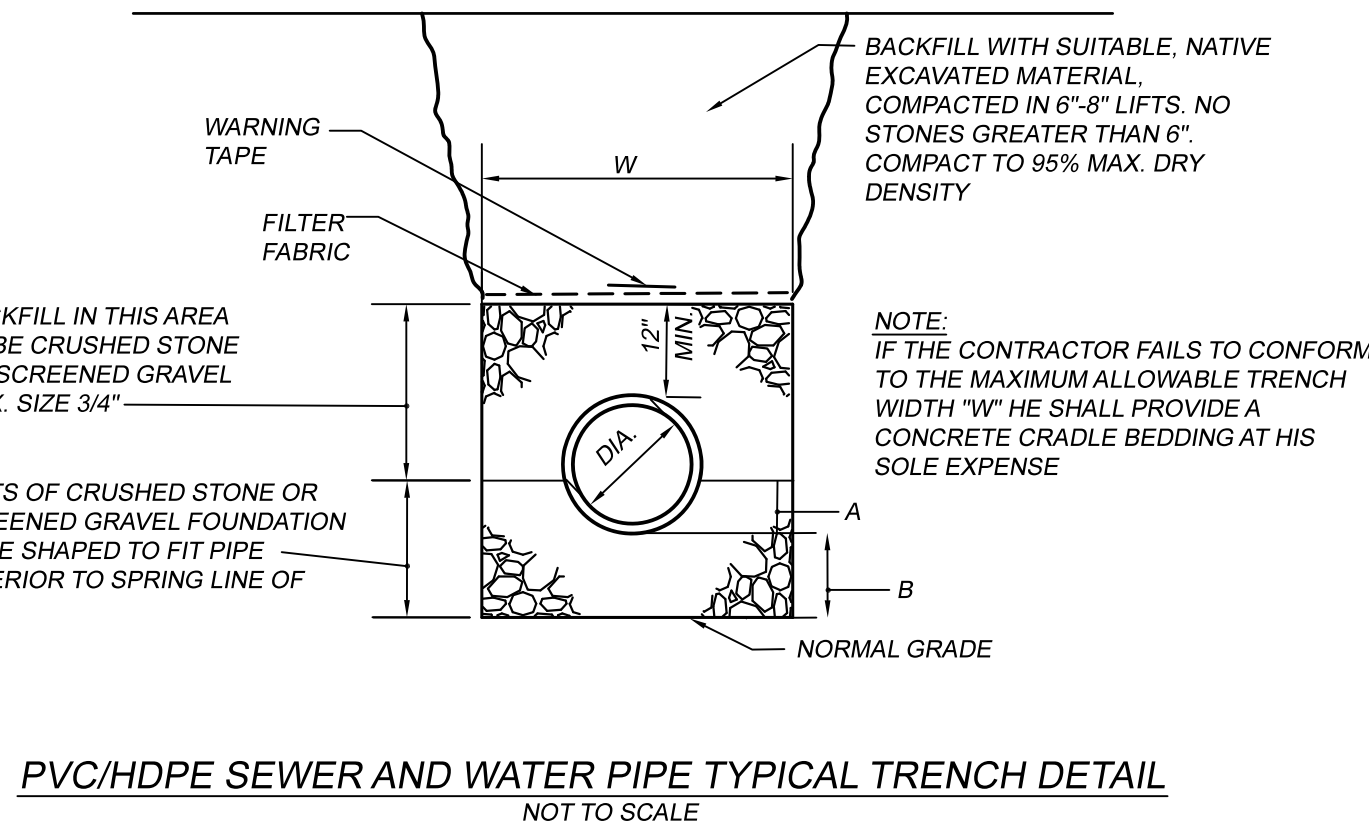
W (FEET)	PIPE DIAMETER			
	6" OR LESS	8"	10"	12"
A (INCHES)	3	3	3	3
B "	6	6	6	6
C "	3	3	4	4
D "	3	3	3	3
E "	4	4	4	4
F "	4	4	4	4



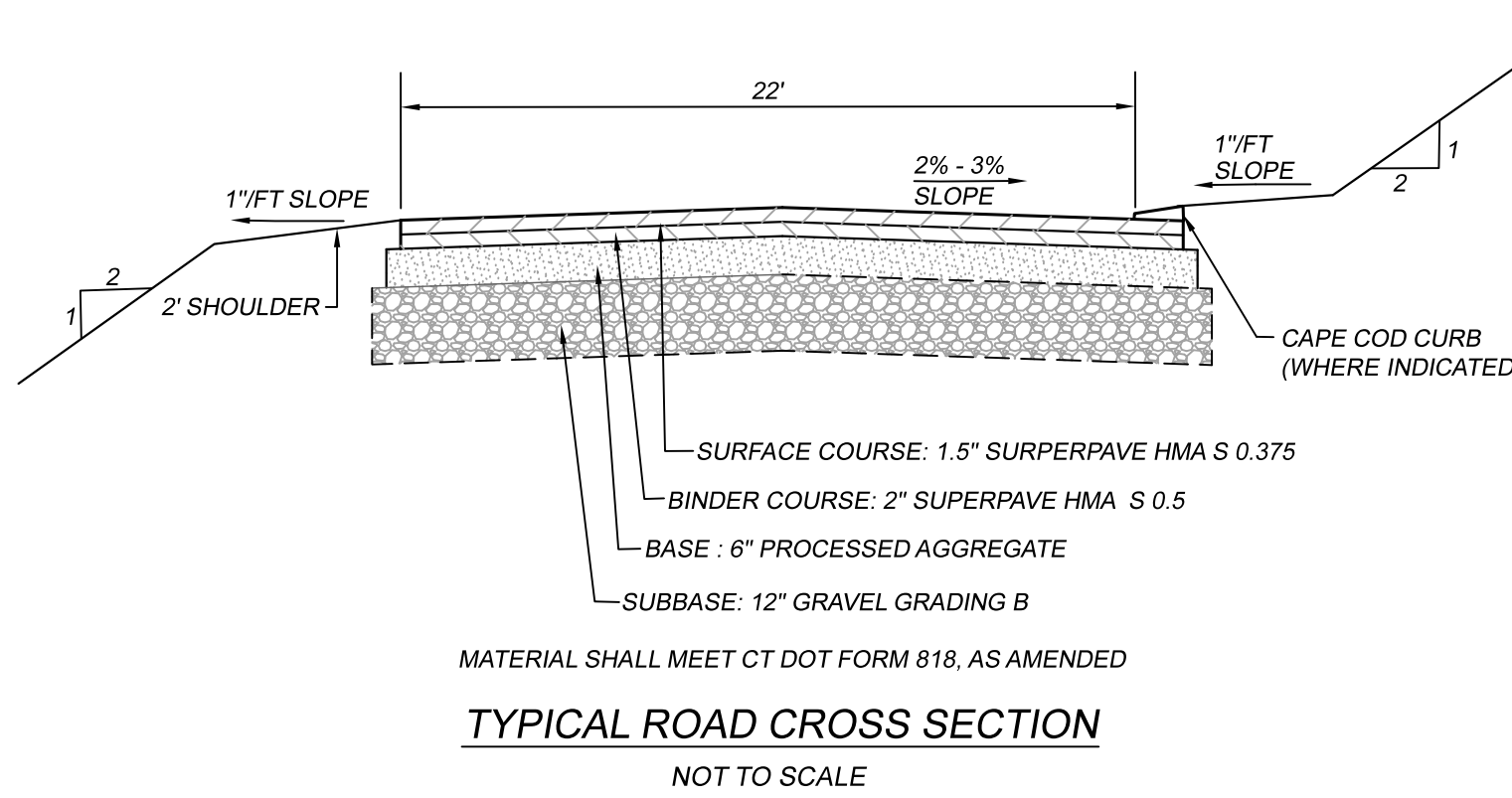
SANITARY MANHOLE
NTS



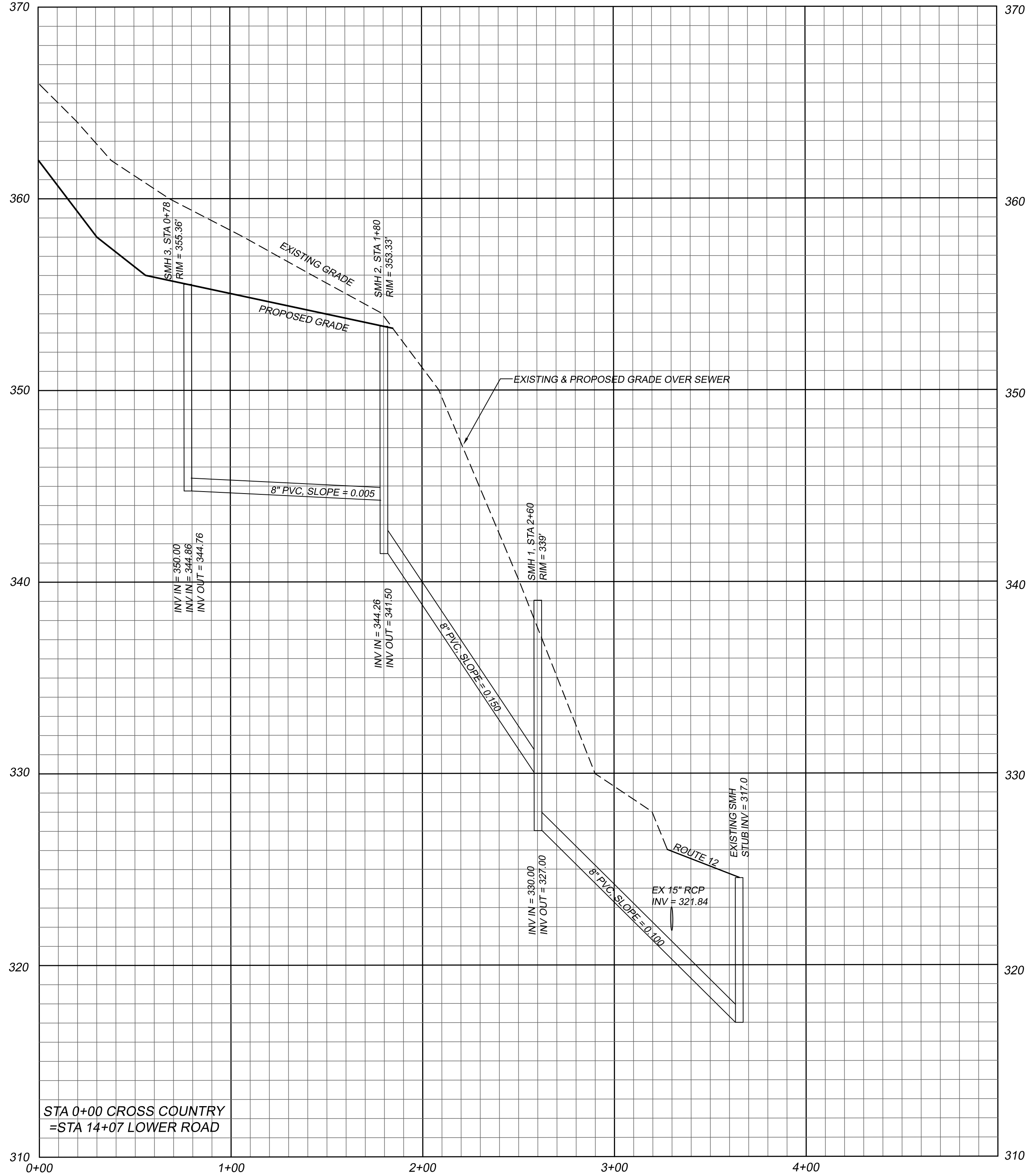
SANITARY MANHOLE - PLAN VIEW
NOT TO SCALE



PVC/HDPE SEWER AND WATER PIPE TYPICAL TRENCH DETAIL
NOT TO SCALE

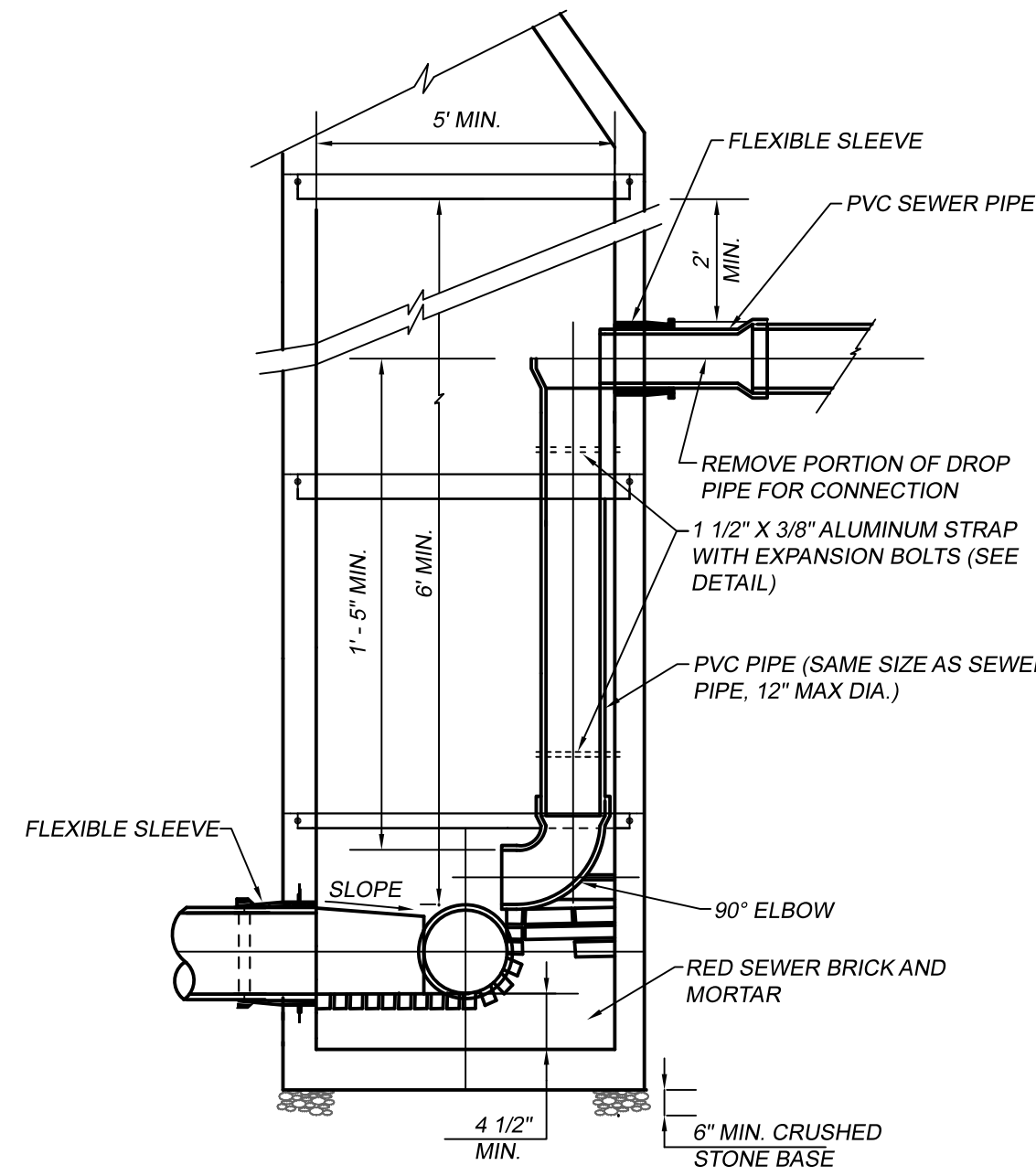


TYPICAL ROAD CROSS SECTION
NOT TO SCALE

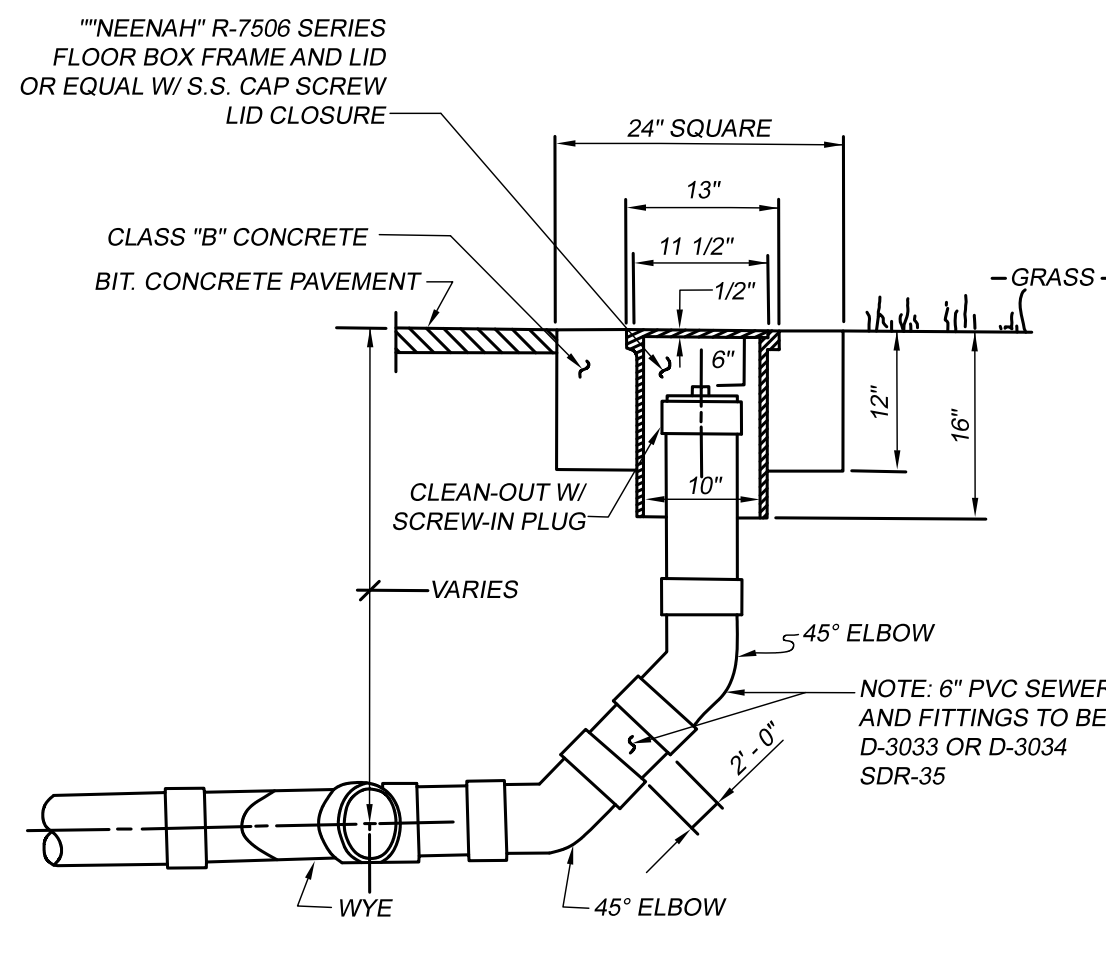


SEWER PROFILE CROSS COUNTRY STA 0+73 - STA 3+65

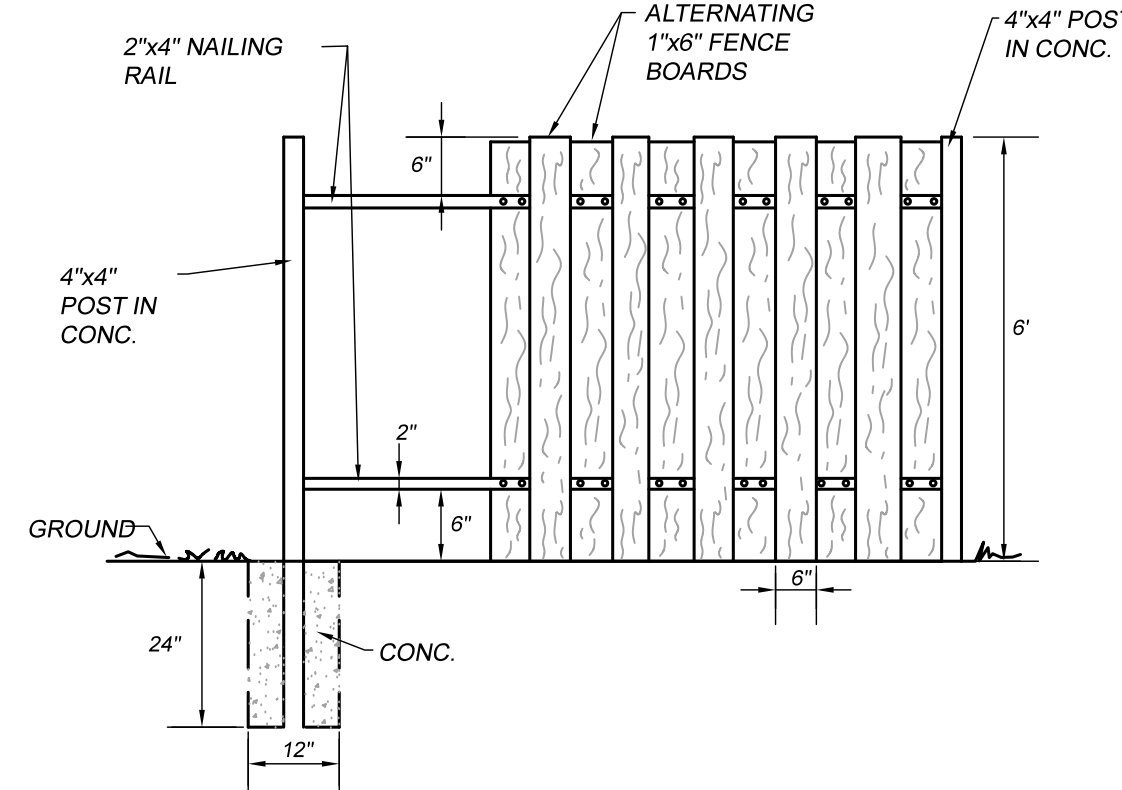
1" = 40' H
1" = 4' V



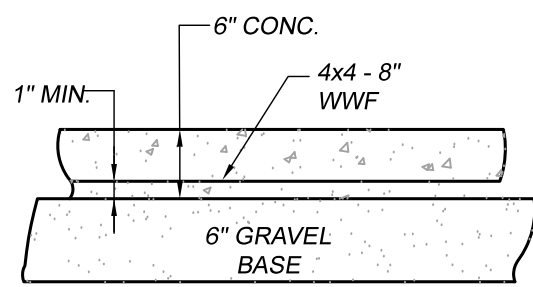
DROP SANITARY MANHOLE
NOT TO SCALE



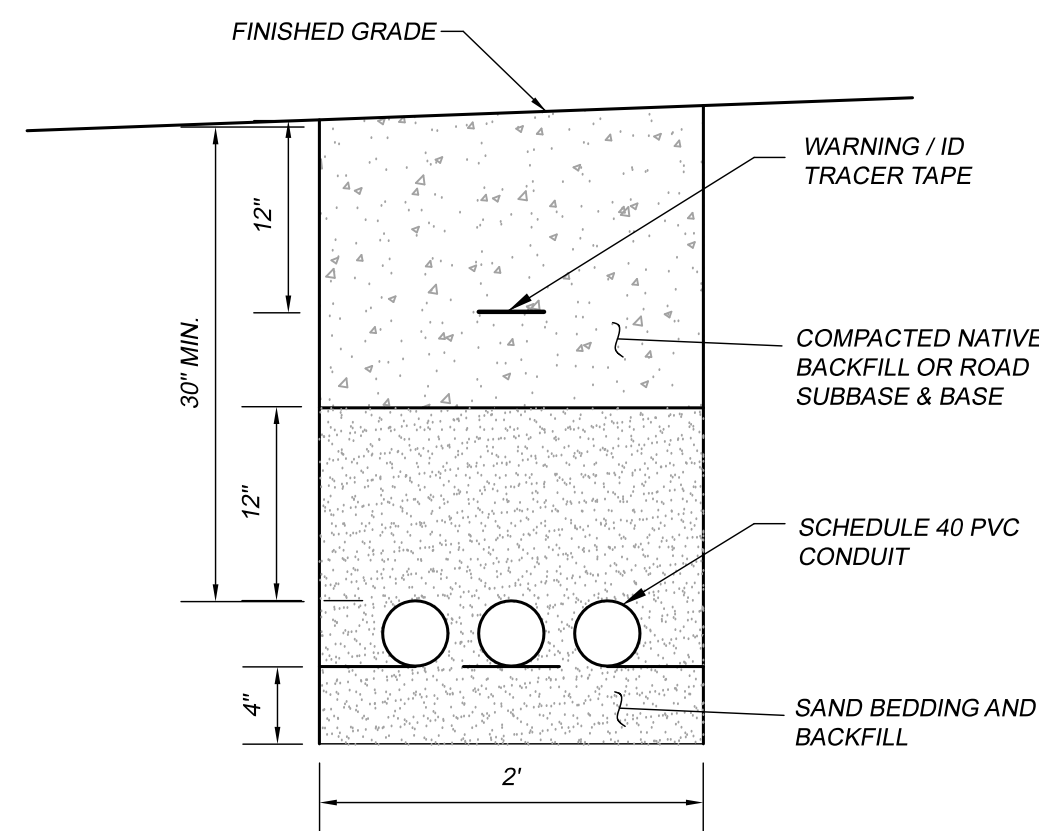
SEWER CLEANOUT
NOT TO SCALE



DUMPSTER SCREENING FENCE
N.T.S.



DUMPSTER PAD DETAIL
N.T.S.



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

- 1) NUMBER AND SIZE OF CONDUITS SHALL BE AS REQUIRED BY OWNER & UTILITY COMPANY
- 2) CONSTRUCTION METHODS, MATERIALS & DIMENSIONS SHALL CONFORM TO THE SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES

GENERAL CONSTRUCTION NOTES:

LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AND FIELD VERIFY THE LOCATION, DEPTH AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

CONSTRUCTION SHALL BE IN CONFORMANCE WITH CONDOT FORM 818 UNLESS OTHERWISE NOTED ON THE PLANS. UTILITY INSTALLATION SHALL BE IN CONFORMANCE WITH THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

TYPICAL DETAILS SHOWN ARE TO ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY SUBMIT PROPOSALS FOR ALTERNATE METHODS TO SUIT FIELD CONDITIONS.

ALL PIPING SHALL HAVE WARNING TAPE INSTALLED. IN ADDITION, ALL NONMETALLIC PIPE MUST BE PARALLELED BY A METALLIC WIRE OR METALLIC DETECTION TAPE FOR EASE OF LOCATING.

ALL PIPING SHALL BE CLEANED AND TESTED IN ACCORDANCE WITH THE APPLICABLE UTILITY'S REQUIREMENTS. COPIES OF ALL TESTS SHALL BE PROVIDED TO THE OWNER PRIOR TO ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TESTING EQUIPMENT.

ALL TRENCHING SHALL BE DONE IN COMPLIANCE WITH OSHA REGULATIONS AND THE INSTALLATION REQUIREMENTS OF THE PIPE MANUFACTURER.

BENCHMARKS WILL BE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN LAYING OUT THE PROJECT. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS AND SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. ANY SUCH ITEMS WHICH NEED TO BE REPLACED SHALL BE AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION DETAILS

SEWER AND MISCELLANEOUS

FOR

HILLSIDE TOWNHOMES

RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

J&D CIVIL
ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22203

SCALE: AS NOTED

DATE: JANUARY 31, 2023

SHEET: 9

PHASING NARRATIVE :

LAVALLEE CONSTRUCTION INTENDS TO BUILD THE PROJECT OVER A MULTI-YEAR PERIOD. WORK WILL GENERALLY PROCEED FROM THE SOUTHWEST (LOWEST GROUND) TO THE NORTHEAST (HIGHEST GROUND). THE FOLLOWING IS THE WORK WHICH SHALL BE COMPLETED IN EACH PHASE PRIOR TO INITIATING BUILDING CONSTRUCTION ON SUBSEQUENT PHASES.

PHASE 1: 8 UNITS, BUILDINGS: A AND B
DRIVEWAY: LOWER ROAD STATION 13+50 TO 15+50
(INTERSECTION WITH AZUD ROAD)
SEWER: 436' SEWER FROM RIVERSIDE DRIVE INCLUDING SMH 1, SMH 2, SMH 3, SMH 4
WATER: WELL 1 - PRIVATE, SERVES 8 TWO BEDROOM UNITS X (3) = 24 PEOPLE
DRAINAGE: REPLACE CULVERT UNDER AZUD ROAD, CONSTRUCT PHASE 1 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 2: 16 UNITS, BUILDINGS: C, D, E, AND F
DRIVEWAY: LOWER ROAD STATION 10+50 TO 13+50
SEWER: 260' SEWER INCLUDING SMH 5
WATER: WELL 2 - ESTABLISH PUBLIC WATER SUPPLY - COORDINATE WITH CT DPH
DRAINAGE: CONSTRUCT PHASE 2 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED. INSTALL CB 1, CB 2, CB 3, AND CB 4, CONSTRUCT GRASS SWALE ADJACENT TO AZUD ROAD PRIOR TO BUILDING EXCAVATION.
FIRE PROTECTION: INSTALL 10,000 GALLON CISTERN AND PIPE NETWORK TO DRY HYDRANT AT DRIVEWAY INTERSECTION PRIOR TO CO'S BEING ISSUED.

PHASE 3: 16 UNITS, BUILDINGS: G, H, I, AND J
DRIVEWAY: UPPER ROAD STATION 3+00 TO 6+80
(INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50
SEWER: 516' SEWER INCLUDING SMH 6 AND SMH 7
WATER: COORDINATE WITH CT DPH FOR WELL 3 AND/OR WATER PUMP HOUSE IF NECESSARY
DRAINAGE: CONSTRUCT GRASS SWALE ON THE EAST SIDE OF THE PROJECT AND PHASE 3 STORMWATER BASIN PRIOR TO BUILDING EXCAVATION.

PHASE 4: 12 UNITS, BUILDINGS: K, L, AND M
DRIVEWAY: UPPER ROAD STATION 1+00 TO 3+00
(INTERSECTION WITH AZUD ROAD)
SEWER: 306' SEWER INCLUDING SMH 8
WATER: EXTEND PUBLIC WATER TO UNITS
DRAINAGE: CB 5, CB 6, CB 7, DMH 8, CONSTRUCT PHASE 4 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 5: BUILDINGS: N, O, AND P
DRIVEWAY: STATION 0+00 TO 6+80 (INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50
SEWER: INSTALL SEWER LATERALS TO MAIN
WATER: EXTEND PUBLIC WATER TO UNITS
DRAINAGE: NONE

SEQUENCE OF CONSTRUCTION :

SEE PHASING NARRATIVE FOR FEATURES TO BE CONSTRUCTED IN EACH PHASE. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH PHASE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE BUILDING CONSTRUCTION FOR ANY FOLLOWING PHASE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- EXCAVATING CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AS REQUIRED, AND IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL BURIED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- FIELD STAKE THE BUILDINGS, DRIVEWAYS AND UTILTY STRUCTURES. THROUGHOUT THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT DOWNSTREAM WETLANDS FROM SEDIMENTATION.
- INSTALL COMPOST FILTER SOCK ALONG THE DOWNSLOPE SIDE OF CONSTRUCTION ACTIVITIES AS SHOWN ON THE DRAWINGS.
- STRIP TOPSOIL FROM SITE. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER. INSTALL FILTER SOCK BELOW TOPSOIL AND EXCESS MATERIAL STOCKPILES.
- UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL THE PERMANENT STABILIZATION IS COMPLETED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH ONE OF THE FOLLOWING: (1) A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION. (2) AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- IN THE EVENT THAT CONSTRUCTION OF ANY STRUCTURES IS DELAYED, EITHER DO NOT BEGIN EARTHWORK IN THE AREA OF FEATURES THAT WILL NOT BE CONSTRUCTED IMMEDIATELY, OR COMPLETE EARTHWORK, THEN PROVIDE STABILIZATION OF BUILDING PADS AND ALL ASSOCIATED DISTURBED AREAS WITH CLEAN STONE OR VEGETATION AS INDICATED IN THE PLAN.
- FINE GRADE AND RESPREAD TOPSOIL ALL AREAS AND IMMEDIATELY PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS. PROVIDE EROSION CONTROL BLANKET IN AREAS SHOWN AND AREAS STEEPER THAN 3:1 SLOPE.
- AFTER PERMANENT STABILIZATION OF SITE (I.E. A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION) HAS BEEN ACHIEVED, THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS SHALL BE REESTABLISHED. PERMANENT STORMWATER FEATURES SHOULD BE CLEANOUT OUT AS NEEDED UPON FINAL STABILIZATION OF THE SITE.

GENERAL SEEDING NOTES

- TEMPORARY SEEDING NOTES - SITE PREPARATION: APPLY 1-2 TON /ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS./ACRE AND WORK IN WHERE POSSIBLE. REFER TO FIGURE TS-2 IN THE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR APPROPRIATE SEEDING MIXES AND RATES. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- PERMANENT SEEDING NOTES - SITE PREPARATION: GRADE AS NECESSARY TO BRING THE SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE. PLACE TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.
- APPLY 4 TONS/ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS/AC OR AS PER SOIL TEST. LIMESTONE AND FERTILIZER MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS.
- FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR INCHES. THE ENTIRE SURFACE SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

AREA TO BE SEEDED	MIXTURE NUMBER	SPECIES	SEEDING RATES (LB/AC) PURE LIVE SEED
SLOPES, BANKS CHANNELS AND DIVERSIONS	2	CREEPING RED FESCUE	20
		REDTOP	2
		TALL FESCUE OR SMOOTH BROMEGRASS	20
LAWN AND HIGH MAINTENANCE AREAS	1	KENTUCKY BLUEGRASS	20
		CREEPING RED FESCUE	20
		PERENNIAL RYEGRASS	5

SEED MIXTURE NUMBERS REFER TO TO FIGURE PS-3, 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO MANUAL FOR POTENTIAL ALTERNATIVE MIXTURES.

PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A MULTI-FAMILY DEVELOPMENT. SITE WORK WILL INCLUDE CONSTRUCTION OF BUILDINGS, ACCESS DRIVES, PARKING AREAS, AND NECESSARY UTILITIES.

ATTENTION SHALL BE GIVEN TO THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES. NO ERODED SEDIMENTS SHALL BE PERMITTED TO FLOW OFF THE SITE. IF FIELD CONDITIONS WARRANT IT OR THE TOWN REQUESTS IT, ADDITIONAL E & S CONTROL MEASURES, BEYOND WHAT IS SHOWN ON THE PLAN, SHALL BE INSTALLED.

SEDIMENT AND EROSION CONTROL DEVICES WILL BE INSTALLED AS DETAILED ON THIS SHEET AND CHECKED REGULARLY FOR REPLACEMENT AND AFTER EVERY RAIN FOR REMOVAL OF DEPOSITED MATERIALS. RESPONSIBILITY FOR COMPLIANCE WITH THIS PLAN SHALL BELONG TO THE CONTRACTOR. THE CONTRACTOR SHALL BE THE DESIGNATED ON-SITE AGENT RESPONSIBLE FOR ENSURING TO THE TOWN THAT E & S CONTROL MEASURES ARE STRICTLY ENFORCED.

SEEDING DATES FOR PERMANENT VEGETATION ARE APRIL 1 - JUNE 15 AND AUGUST 15 - SEPTEMBER 15. SEEDING DATES FOR TEMPORARY VEGETATION ARE MARCH 1 - OCTOBER 15. OUTSIDE OF THESE DATES TEMPORARY MULCH CONSISTING OF STRAW OR HAY APPLIED AT THE RATE OF 95 LB/1000 SQUARE FEET SHALL BE USED. HYDROSEEDING WILL BE PERMITTED WHERE SLOPES ARE NO STEEPER THAN 2 TO 1 AND SEEDING RATES WILL BE INCREASED BY 10%.

OPERATIONS AND MAINTENANCE

- ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
- PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
- UPON FINAL GRADING, DISTURBED AREAS SHALL COVERED WITH A MINIMUM OF 6" LOAM AND SEEDED WITH PERENNIAL GRASSES AS SPECIFIED FOR THE PROJECT. IMMEDIATELY AFTER SEEDING, MULCH THE SEEDED AREA, NOT COVERED WITH EROSION CONTROL BLANKET, WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE. SEEDING DATES ARE TO BE BETWEEN APRIL 1 THRU JUNE 15 AND AUGUST 15 THRU OCTOBER 15.
- DAILY INSPECTIONS SHALL BE MADE OF EROSION AND SEDIMENT CONTROL MEASURES TO INSURE EFFECTIVENESS AND IMMEDIATE CORRECTIVE ACTION SHALL BE TAKEN IF FAILURE OCCURS. ADDITIONAL EROSION CONTROL MEASURES BEYOND WHAT IS SHOWN ON THE PLAN MAY BE NECESSARY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND VEGETATIVE COVER HAS BEEN ESTABLISHED, AT WHICH TIME THEY SHALL BE REMOVED.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THIS EROSION AND SEDIMENT CONTROL PLAN.

MINIMIZE DISTURBED AREAS

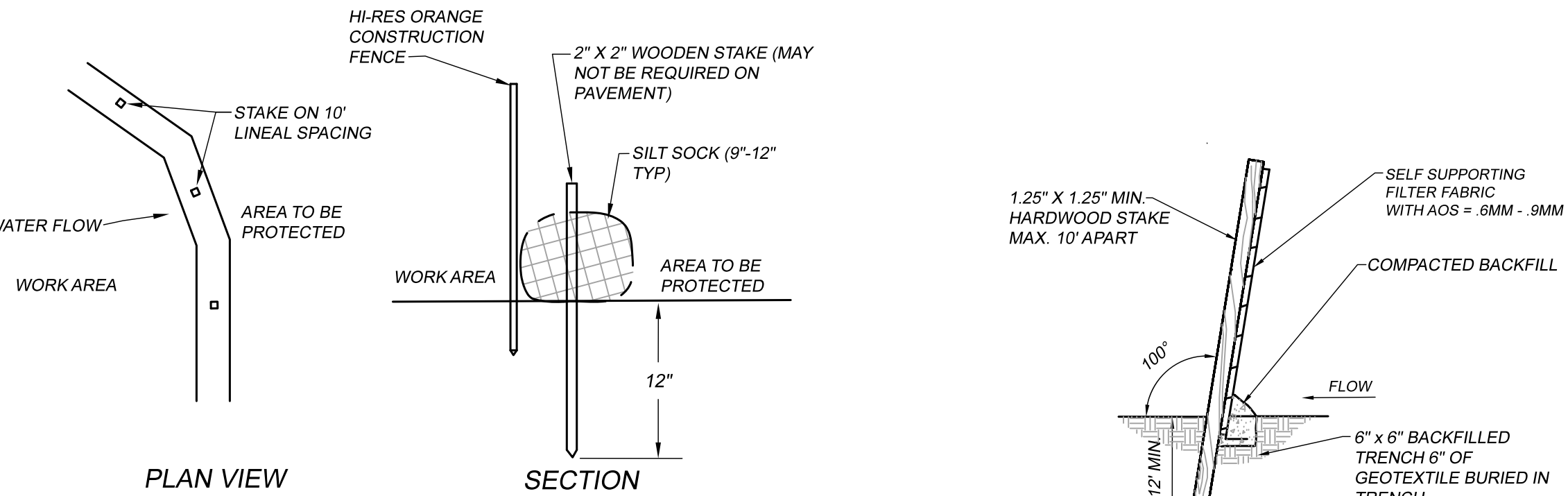
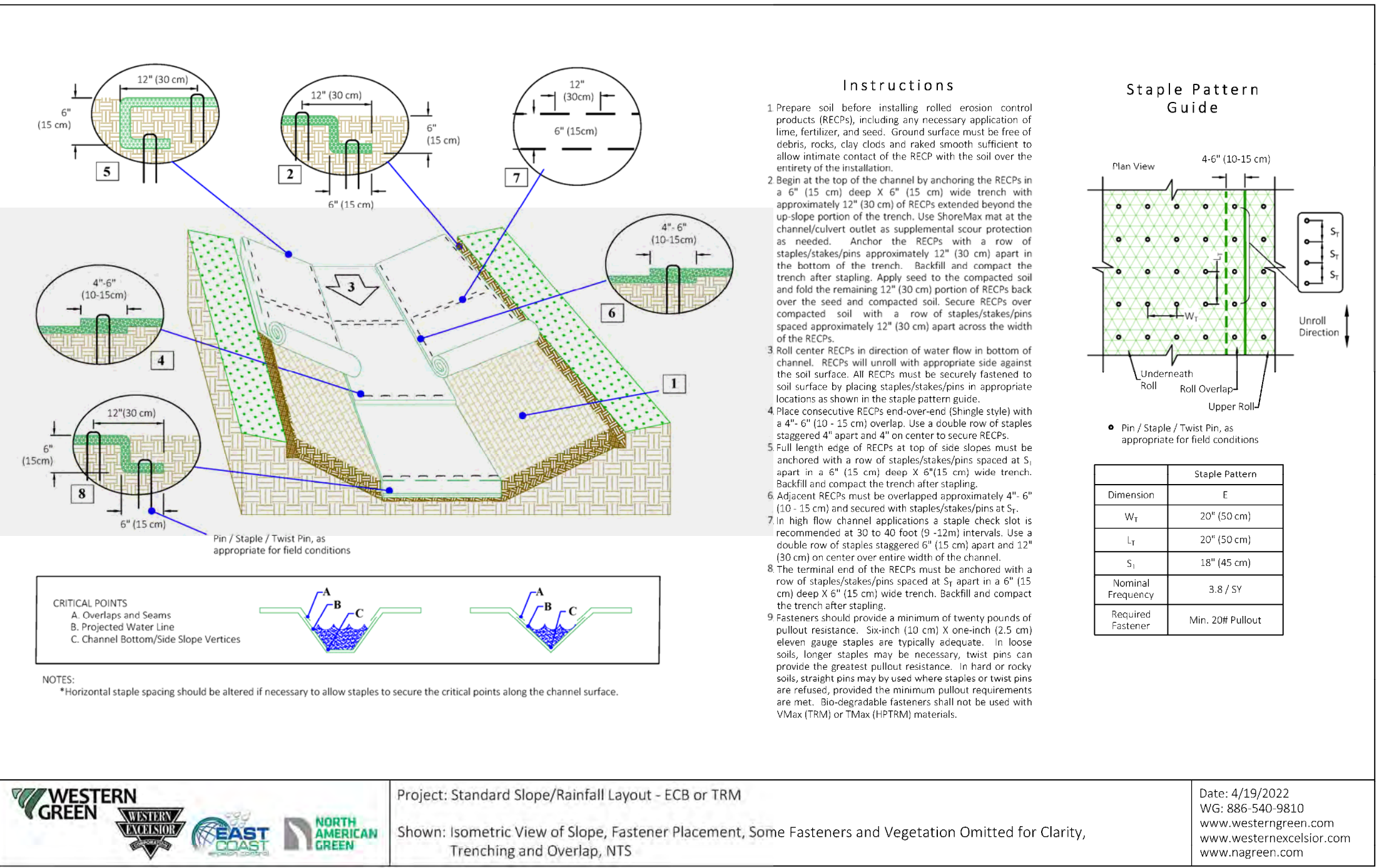
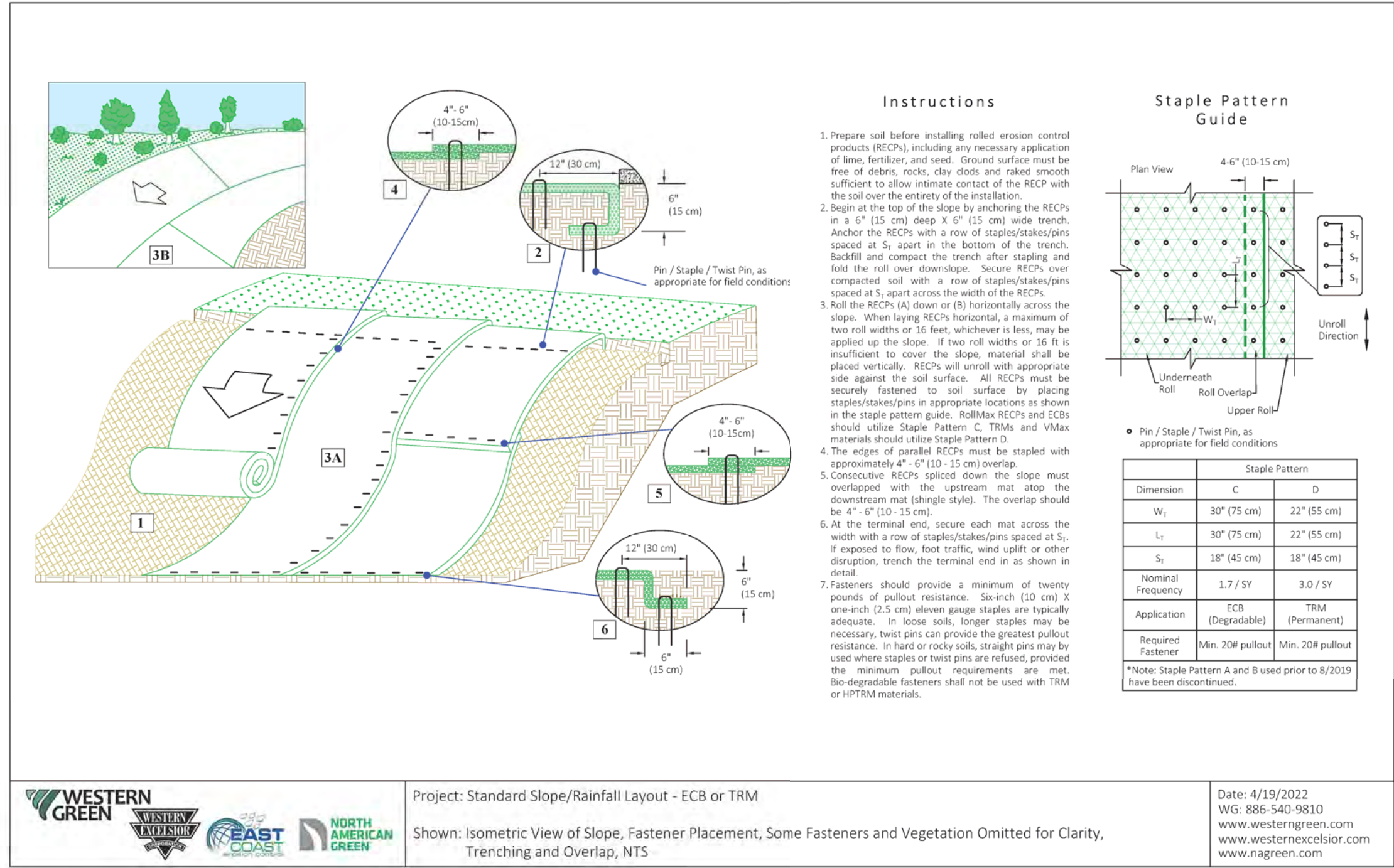
- KEEP LAND DISTURBANCE TO A MINIMUM - THE MORE LAND THAT IS IN VEGETATIVE COVER, THE MORE SURFACE WATER WILL INFILTRATE INTO THE SOIL, THUS MINIMIZING STORMWATER RUNOFF AND POTENTIAL EROSION. KEEPING LAND DISTURBANCE TO A MINIMUM NOT ONLY INVOLVES MINIMIZING THE EXTENT OF EXPOSURE AT AN ONE TIME, BUT ALSO THE DURATION OF EXPOSURE.
- PHASE CONSTRUCTION SO THAT AREAS WHICH ARE ACTIVELY BEING DEVELOPED AT ANY ONE TIME ARE MINIMIZED AND ONLY THAT AREA UNDER CONSTRUCTION IS EXPOSED. CLEAR ONLY THOSE AREAS ESSENTIAL FOR CONSTRUCTION.
- SEQUENCE THE CONSTRUCTION OF STORM DRAINAGE SYSTEMS SO THAT THEY ARE OPERATIONAL AS SOON AS POSSIBLE DURING CONSTRUCTION. ENSURE ALL OUTLETS ARE STABLE BEFORE OUTLETTING STORM DRAINAGE FLOW INTO THEM.
- SCHEDULE CONSTRUCTION SO THAT FINAL GRADING AND STABILIZATION IS COMPLETED AS SOON AS POSSIBLE.

MANAGING RUNOFF

- USE DIVERSIONS, STONE DIKES, SILT FENCES AND SIMILAR MEASURES TO BREAK FLOW LINES AND DISSIPATE STORM WATER ENERGY.
- AVOID DIVERTING ONE DRAINAGE SYSTEM INTO ANOTHER WITHOUT CALCULATING THE POTENTIAL FOR DOWNSTREAM FLOODING OR EROSION.
- CLEAN RUNOFF SHOULD BE KEPT SEPARATED FROM SEDIMENT LADEN WATER AND SHOULD NOT BE DIRECTED OVER DISTURBED AREAS WITHOUT ADDITIONAL CONTROLS. ADDITIONALLY, PREVENT THE MIXING OF CLEAN OFF-SITE GENERATED RUNOFF WITH SEDIMENT LADEN RUNOFF GENERATED ON-SITE UNTIL AFTER ADEQUATE INFILTRATION OF ON-SITE WATERS HAS OCCURRED.

INTERNAL EROSION CONTROLS

- DO NOT RELY EXCLUSIVELY ON PERIMETER EROSION CONTROL DEVICES.
- CONTROL EROSION AND SEDIMENTATION BY INSTALLING INTERNAL EROSION CONTROL IN THE SMALLEST DRAINAGE AREA POSSIBLE.
- DIRECT RUNOFF FROM SMALL DISTURBED AREAS TO ADJOINING UNDISTURBED VEGETATED AREAS.
- CONCENTRATED RUNOFF SHOULD BE CONVEYED TO SEDIMENT TRAPS OR BASINS AND STABLE OUTLETS USING RIP RAPPED CHANNELS, STORM DRAINS OR SIMILAR MEASURES.

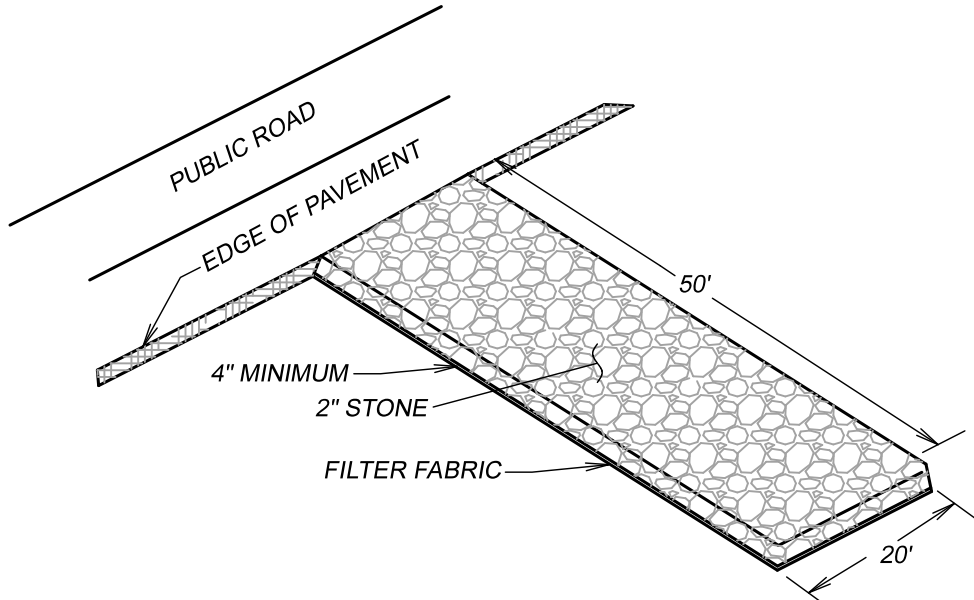
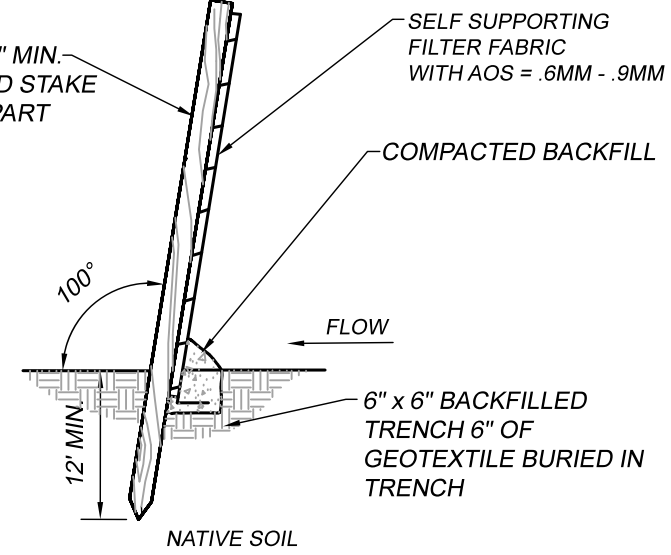


NOTES

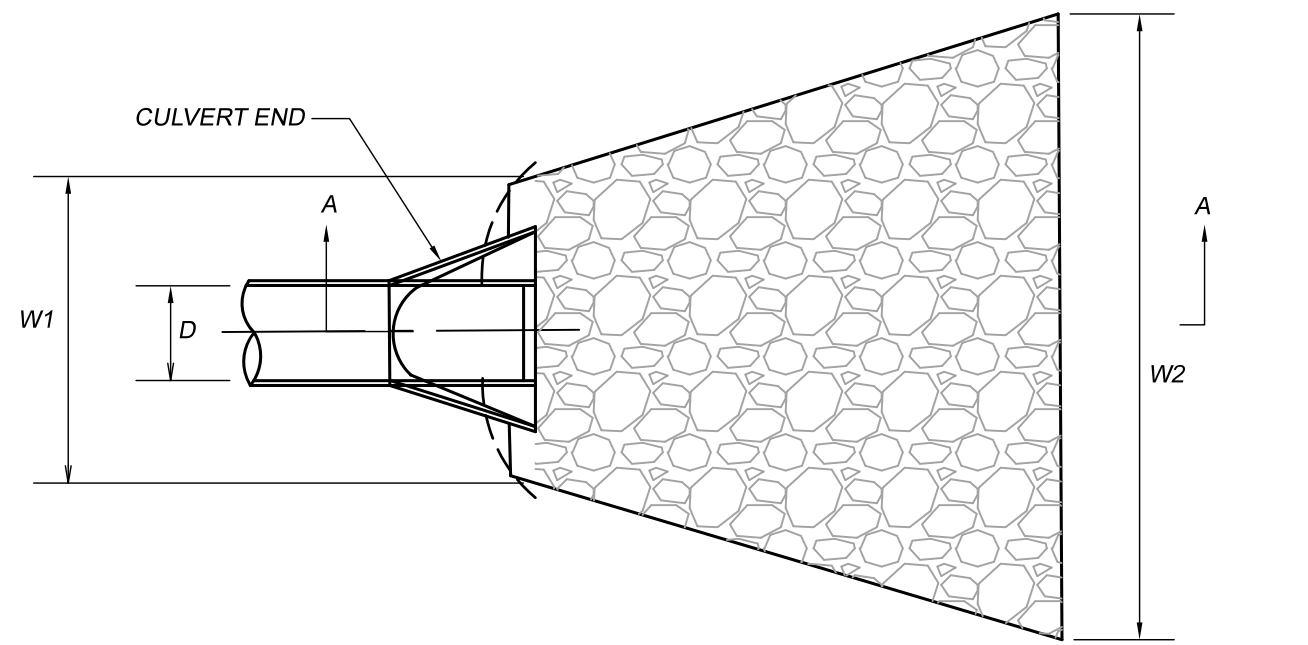
- SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
- ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
- SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
- FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

SILT SOCK DETAIL
NOT TO SCALE

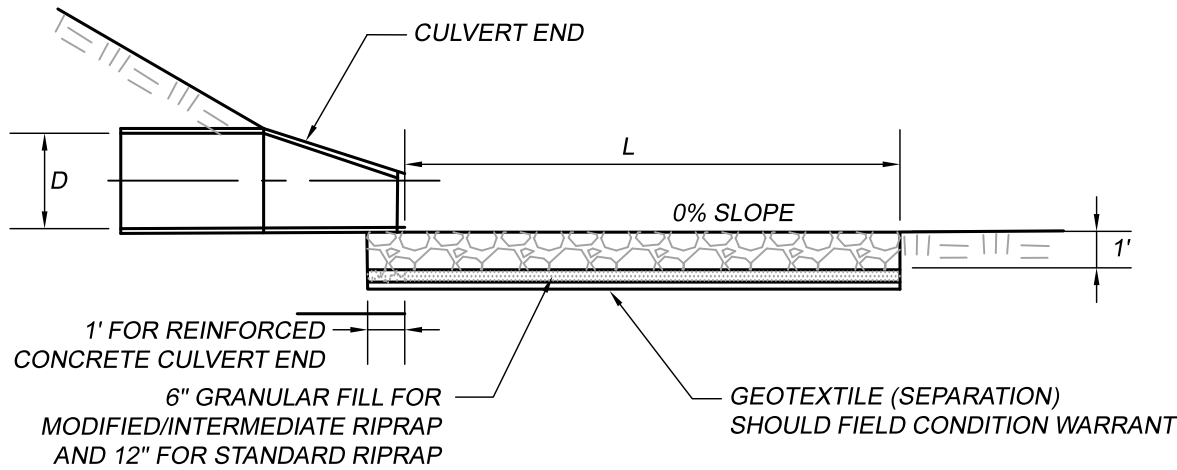
SILT FENCE INSTALLATION
NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



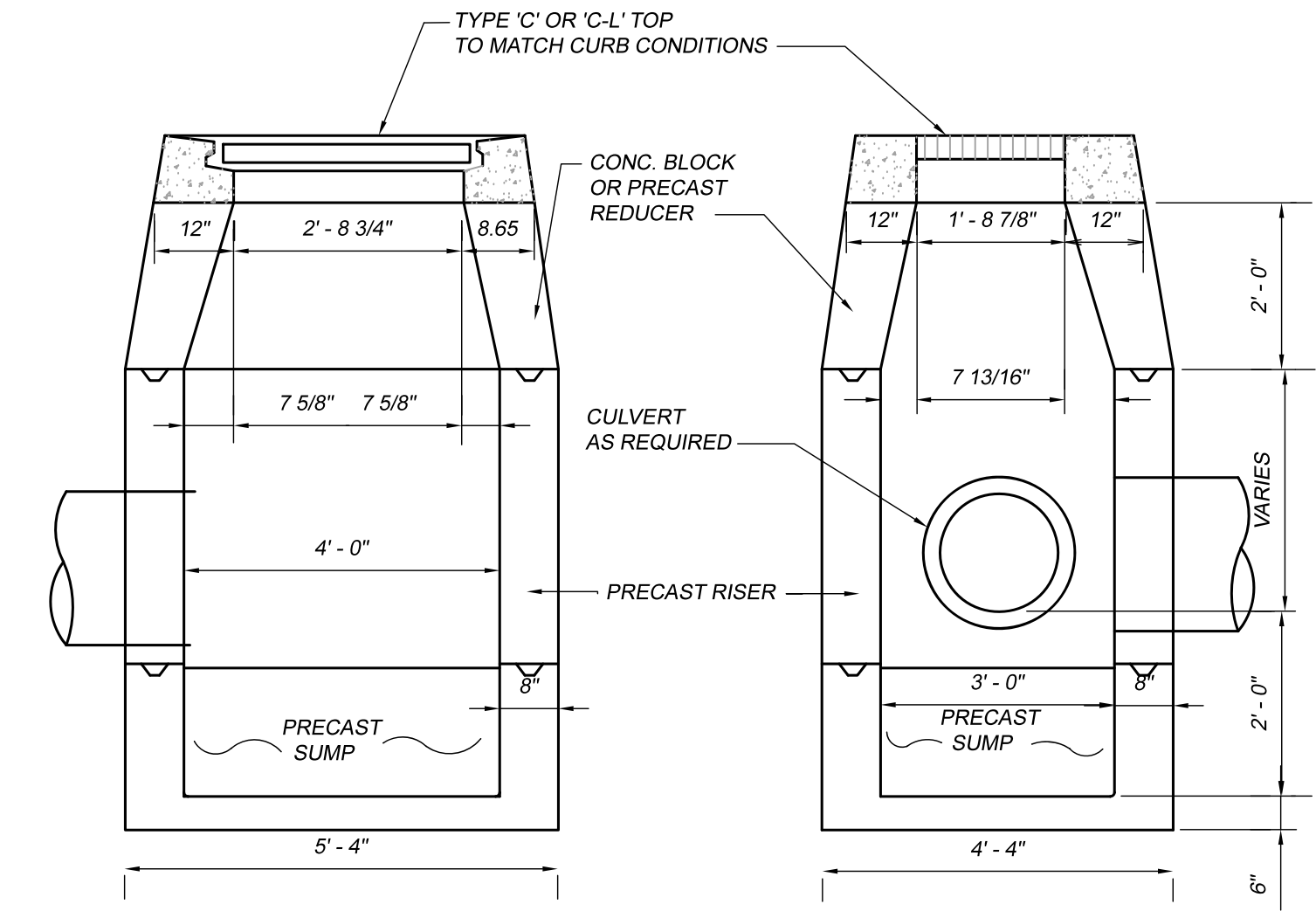
PLAN VIEW



SECTION A-A

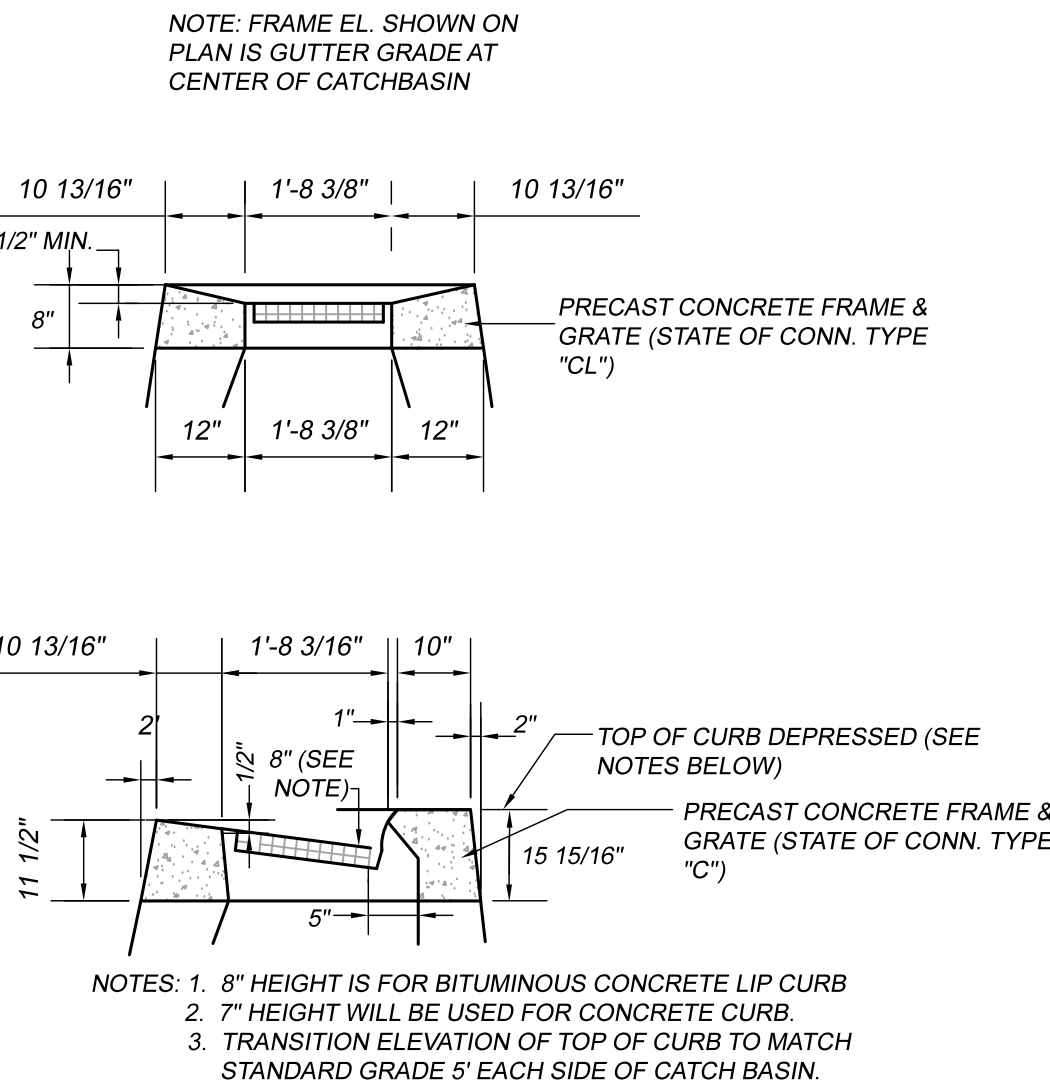
APRON #	W1	W2	L
1	3'	10'	10'
2	3'	10'	10'
3	4'	11'	10'
4	8'	12'	16'

MODIFIED RIPRAP APRON - TYPE A
NOT TO SCALE

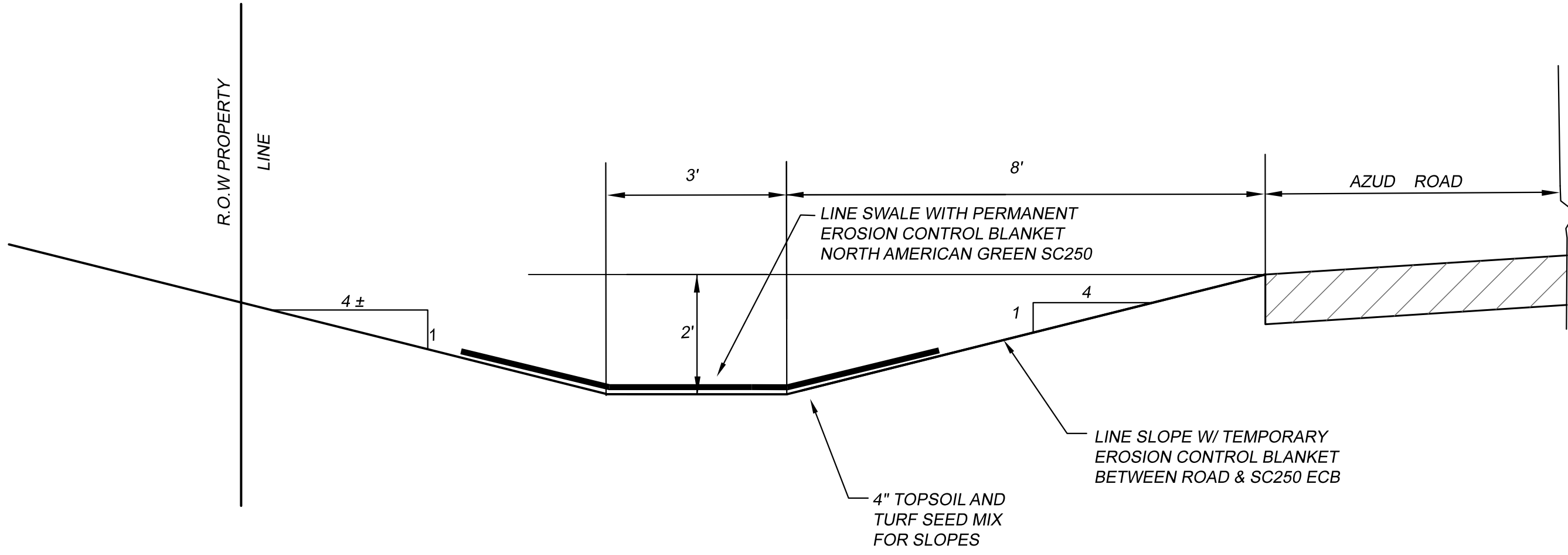


NOTE: CATCHBASIN TO BE FITTED WITH "SNOUT" HOOD WHERE INDICATED ON PLANS. HOODED BASINS SHALL HAVE 4" SUMPS.

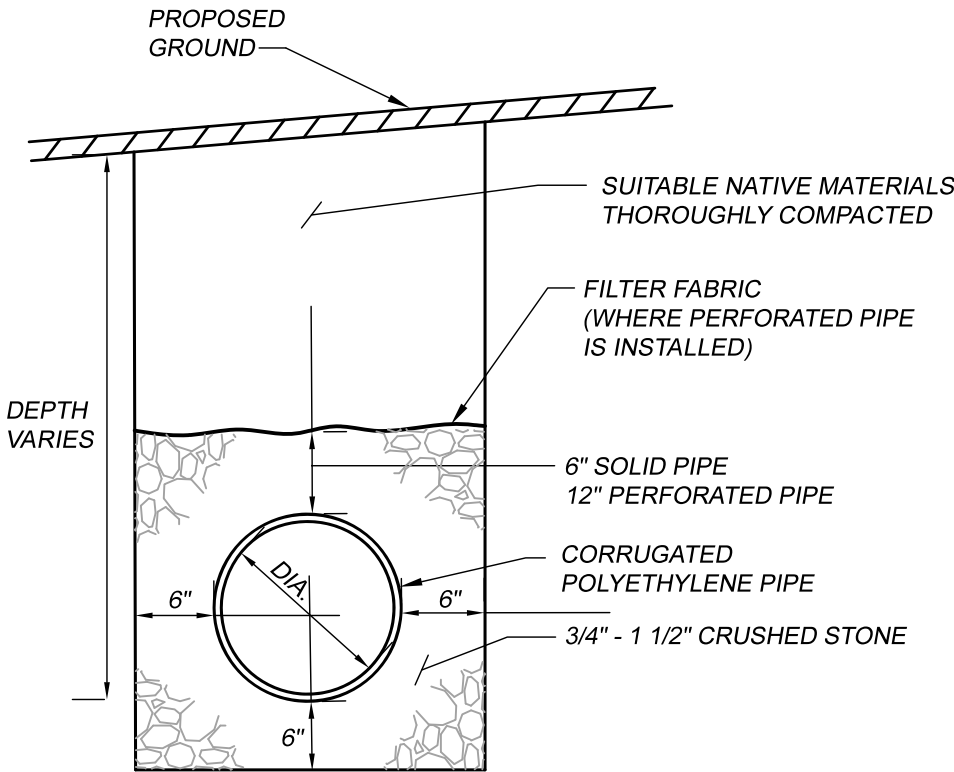
TYPE "C" OR "C-L" CATCH BASIN WITH SUMP
NOT TO SCALE



FRAME AND GRATE FOR
TYPE "C" OR "CL" CATCH BASIN
NOT TO SCALE



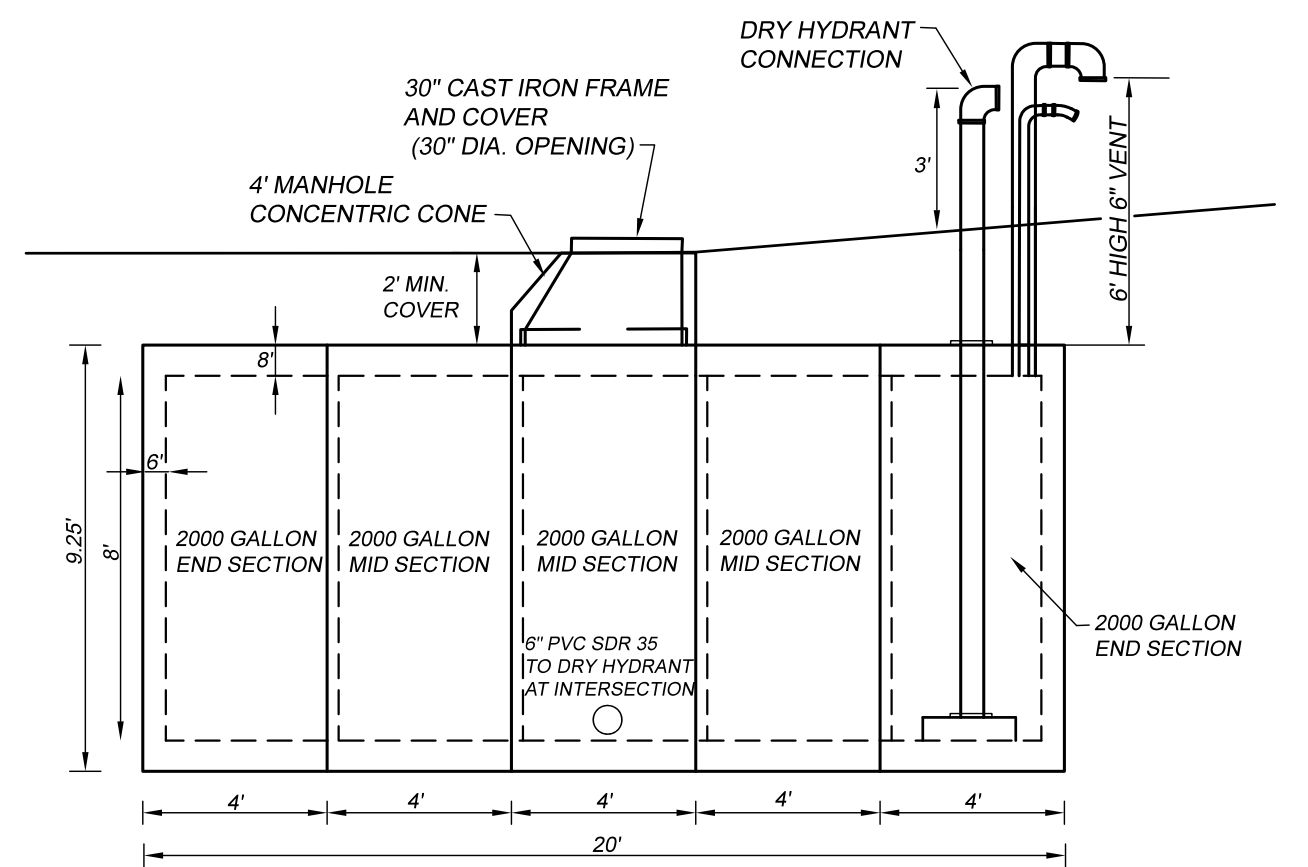
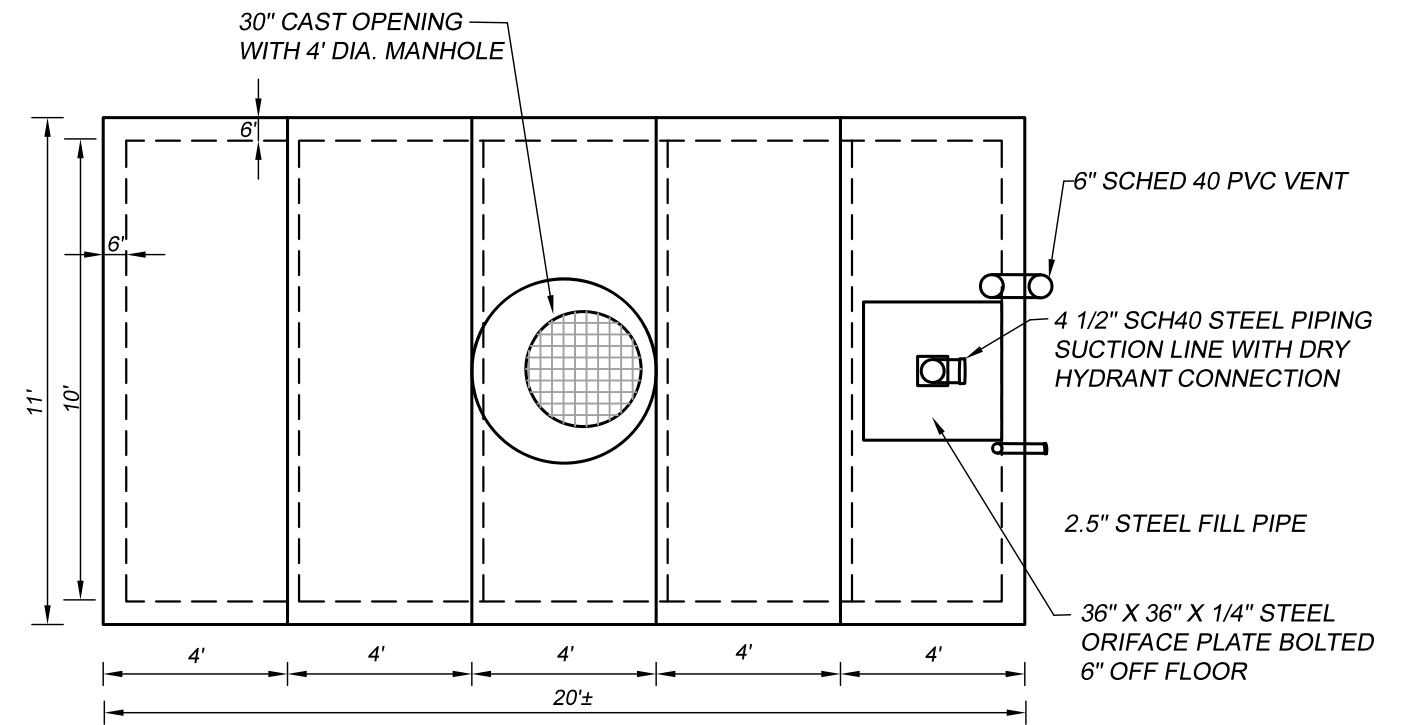
AZUD ROAD DRAINAGE SWALE SECTION
1" = 2'



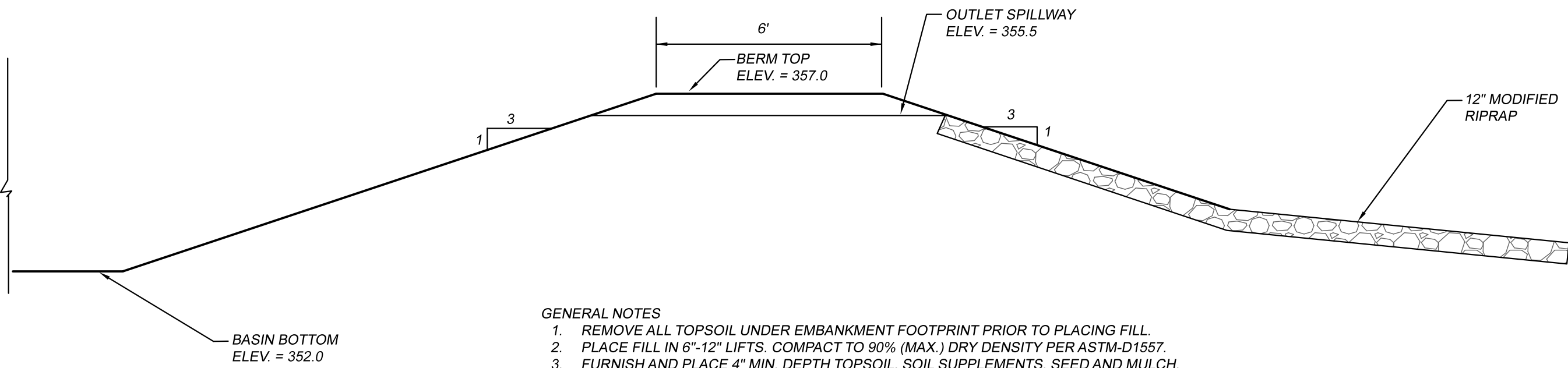
CPP DRAINAGE PIPE
INSTALLATION DETAIL
NOT TO SCALE

CISTERN NOTES:

1. CONCRETE TANKS SHALL MEET THE REQUIREMENTS FOR RESISTING EARTHQUAKE DAMAGE BY COMPLYING WITH THE EARTHQUAKE PROVISIONS OF ACI 350.
2. CONCRETE TANK WALLS SHALL BE MADE IMPERMEABLE BY MEANS OF AN IMPERVIOUS MEMBRANE OR COATING APPLIED TO THE INTERIOR SURFACE OF THE TANK TO PREVENT VISIBLE LEAKAGE OR SEEPAGE THROUGH THE TANK WALL.
3. LEAKAGE TESTING
A) PREPARATION- THE TANK SHALL BE FILLED WITH WATER TO THE MAXIMUM LEVEL AND LEFT TO STAND FOR AT LEAST 24 HOURS
B) MEASUREMENT- THE DROP IN LIQUID LEVEL SHALL BE MEASURED OVER THE NEXT 72-HOUR PERIOD TO DETERMINE THE LIQUID VOLUME LOSS. EVAPORATIVE LOSSES SHALL BE MEASURED OR CALCULATED AND SHALL BE DEDUCTED FROM THE MEASURED LOSS TO DETERMINE WHETHER THERE IS NET LEAKAGE.
C) THERE SHALL BE NO MEASURABLE LEAKAGE AFTER THE TANK IS PLACED IN SERVICE.
4. CAST-IN-PLACE CONCRETE MUST ACHIEVE A 28-DAY STRENGTH OF A GAUGE PRESSURE OF 3000 PSI. IT MUST BE PLACED WITHIN A MINIMUM IF 4IN. SLUMP AND VIBRATED IN A PROFESSIONAL MANNER.
5. ALL SUCTION AND FILL PIPING MUST BE ASTM INTERNATIONAL SCHEDULE 40 STEEL. ALL VENT PIPING MUST BE ASTM SCHEDULE 40 PVC.
6. ALL PVC PIPING MUST HAVE GLUED JOINTS.
7. THE FINAL SUCTION CONNECTION MUST BE 4 1/2 IN. MALE NATIONAL STANDARD HOSE THREAD AND MUST BE CAPPED.
8. THE FILLER PIPE SIAMESE MUST HAVE 2 1/2 IN. FEMALE NATIONAL STANDARD THREADS WITH PLASTIC CAPS.
9. ALL BACKFILL MATERIAL MUST BE SCREENED GRAVEL WITH NO STONES LARGER THEN 1 1/2IN. AND MUST BE COMPACTED TO 95 PERCENT IN ACCORDANCE WITH ASTM D1557.
10. BEDDING FOR THE CISTERN MUST CONSIST OF A MINIMUM OF 12 IN. OF 3/4 IN TO 1 1/2 IN CRUSHED, WASHED STONE, COMPACTED.

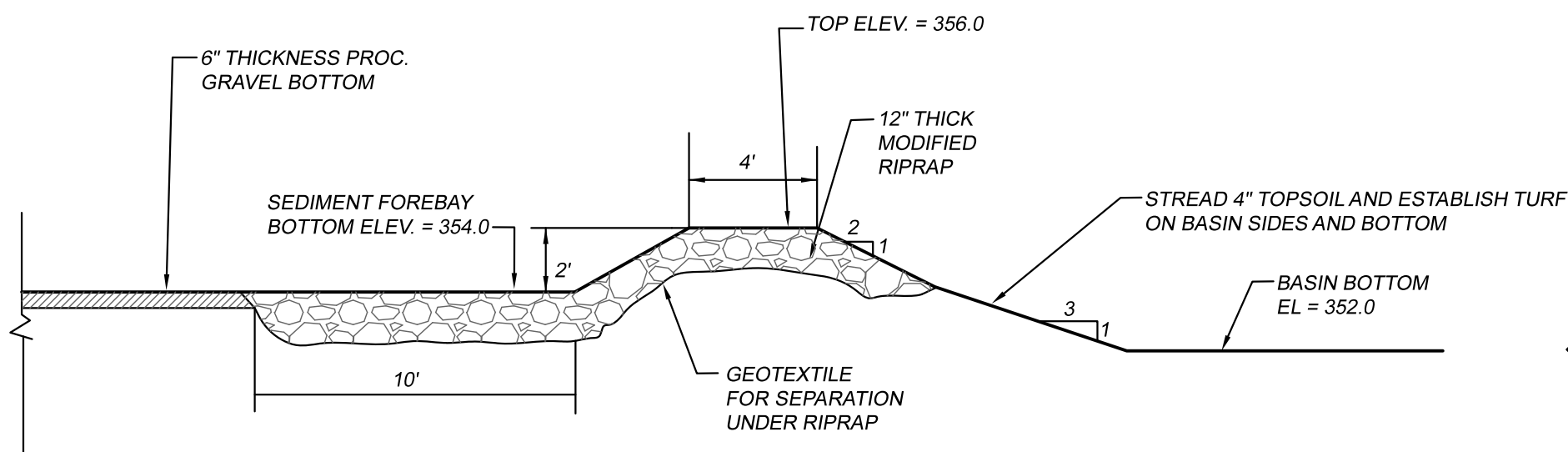


10,000 GALLON FIRE PROTECTION CISTERN
NOT TO SCALE



- GENERAL NOTES
1. REMOVE ALL TOPSOIL UNDER EMBANKMENT FOOTPRINT PRIOR TO PLACING FILL.
 2. PLACE FILL IN 6"-12" LIFTS. COMPACT TO 90% (MAX.) DRY DENSITY PER ASTM-D1557.
 3. FURNISH AND PLACE 4" MIN. DEPTH TOPSOIL, SOIL SUPPLEMENTS, SEED AND MULCH.

PHASE 2 STORMWATER BASIN
TYPICAL SECTION
N.T.S.



PHASE 2 STORMWATER BASIN
CROSS SECTION THROUGH SEDIMENT FOREBAY
1" = 5'

CONSTRUCTION DETAILS
DRAINAGE
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:
3-2-23

JOB NO: 22203
SCALE: AS NOTED

DATE: JANUARY 31, 2023
SHEET: 11

Application IWA23002

Initial evaluation of the application raises the following questions which require additional information for the Commission to make an informed decision:

1. Is the pooled area located in the delineated wetlands a vernal pool inhabited or utilized by species such as fairy shrimp, breeding wood frogs, breeding spotted salamanders, etc.?
2. The applicant has offered the services of Margaret Washburn to evaluate and report on the function of the wetlands as a vernal pool. What are the protocols for evaluating the functional viability of the wetlands as a vernal pool?
3. If it is a viable vernal pool, what impact will the proposed construction have on the functional viability of the vernal pool?
4. If it is a viable vernal pool what impact can the operation of proposed well #2 have on the vernal pool's water table as a result of ground water drawdown caused by operation of the well.?
5. Given the observed discharge leaving the wetlands on January 22 & March 11, 2023, can the proposed stormwater management system cause an intensification of that discharge such that it impacts driving conditions on Route 12?
6. Will the Commission need the services of an independent professional engineer to review the hydraulic design and function of the stormwater management system?
7. Given the Commission is required by statute to either hold a public hearing or render a decision on this application by April 20, 2023, is the applicant willing to grant a 65-day extension of time to the Commission for it to decide if a public hearing is necessary, thereby ensuring there is sufficient time to collect and submit to the Commission an evaluation and report on the function of the wetlands as a viable vernal pool and any other information it deems necessary to make an informed decision?

Agenda Item E.b) 1. New Applications

WAA23003, George Marrier, 0 Brickyard Road
(Assessor's Map 38, block 87, lot 6), construct driveway
and detached garage in 100-foot upland review area for
new single-family home, stamped received 2/15/2023,
issued 2/15/23, legal notice to be published 2/24/23,
appeal period ends 3/11/23.

Original

For Wetland Agent:	rev 01/11
APPLICATION #WAA	23003
DATE RECEIVED	February 15, 2023

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Received

FEB 15 2023

Thompson Wetlands Office

Date February 14, 2023

1) Name of Applicant George Marrier

Home Address 26 Pinecrest Ridge Woodstock, CT 06281

Home Tele & Hrs 959-744-2868 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location Frontier Utility Pole 2791

Street or Road Location 0 Brickyard Road, Thompson CT

Tax Assessor's Map # 38

Block # 87

Lot # that appears on site plan 6

Deed Information : Volume # 977

Page # 302

5) The property to be affected by the proposed activity contains:

Soil Types (See soil scientist report)

Wetland Soils Yes (Swamp ☒ Marsh ☐ Bog ☐ Vernal Pool ☐)

Watercourses Yes (Lake or Pond ☒ Stream or River ☒ Intermittent Stream ☐)

Floodplain - Yes / ☒ **No**

6) Description of the Activity for which Approval is requested _____

Construction of a residential driveway and detached garage in Upland Review area, no construction will take place in Wetlands.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- N/A ☐ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- N/A ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- N/A ☐ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- N/A ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- N/A ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

(See attached list of abutters.)

11) Estimated start date Spring 2023

Estimated date of completion (all disturbed areas are stabilized) Fall 2023

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

George O'Hannin
Signature of Applicant

2-16-2023
Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

WASHBURN WETLAND CONSULTING LLC

19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022

Telephone (860) 428-8424 • washburnwetland@gmail.com

Daniel Blanchette
J & D Civil Engineers
401 Ravenelle Road
North Grosvenordale, CT 06255

March 28, 2020

Dear Daniel,

At your request, I conducted a second site investigation on a portion of 0 Brickyard Road (Map 38/Block 87/Lot 6) owned by Gloria and James Fogarty in Thompson, CT. The dates the second site investigation was conducted were March 18 and 24, 2020. This report is supplemental to my earlier report dated March 14, 2020.

The purpose of the site investigation was to delineate a limited portion of the wetlands indicated by you on the subject properties. At your request, I did check the entire property at 0 Brickyard Road for wetlands. There are wetlands on the subject property that have not been delineated.

The subject property is located on an area of nearly level to sloping soils formed in glacial outwash and glacial till. References used in the soil identification process included the *Soil Survey of Windham County Connecticut* (U.S.D.A. Soil Conservation Service, December 1981), the U.S.G.S. topographic map for the subject property, a conceptual subdivision plan you provided, GIS maps and a Soils Map generated by the U.S.D.A. Natural Resources Conservation Service (N.R.C.S.). The wetlands were delineated using consecutively numbered lengths of blue surveyors' ribbon. There are two new series of wetland flags (WF), numbered WF58 – WF63, and WF1C– WF6C. WF58 connects to WF51. WF6C connects to WF21B. WF 21B is also a new flag. WF21B connects to WF20B and WF6C. Please refer to the attached site sketches for further details.

Wetlands bordering on Shunway Brook

The wetlands in the area of WF58-WF63 consist of a wooded shrub swamp that borders on Shunway Brook, which is depicted as a perennial stream on the U.S.G.S. topographic map for the subject property.

According to the N.R.C.S. Soil Map, in the area of WF58-WF63, the upland soils consist of Agawam fine sandy loam; the wetlands soils consist of Walpole sandy loam. The site investigation confirmed the soil mapping in this area.

Wetlands near Lot 2A

The wetlands in the area of WF1C– WF6C and WF21B consist of a wooded shrub swamp. In the undisturbed portions of the wetlands, the soils consist of a complex of Leicester, Ridgebury, and Whitman extremely stony soils.

According to the N.R.C.S. soils map, the Leicester, Ridgebury, and Whitman extremely stony soils connect to the Walpole sandy loam that borders on Shunway Brook. The site investigation revealed that this is no longer true. The soils along the southern edge of the wetlands delineated by WF1C– WF6C and WF21B have been extensively disturbed and were evidently drained many years ago. Tile drains may have been installed for agricultural purposes. No above-ground source of the water that drains out of the 15-inch pipe outlet (which is located between WF43 and WF44) was observed. The pipe appears to have been set at an angle which may indicate that tile drains in the disturbed soils may be the source of the water coming out of the pipe outlet.

There are many wire stakes in the disturbed soils. Please tell your surveyors to disregard them. My wetlands flags are all on blue surveyor's ribbon hung on trees and shrubs. I left the wire stakes in place to indicate that the extent of the site investigation in the disturbed soils. Many other soil borings were performed without wire stakes left behind to mark them.

In conclusion, in the area of WF1C– WF6C and WF21B, the wetlands are not as extensive as indicated on the N.R.C.S. Soil Map.

Thank you for the opportunity to work for you on this site. Please feel free to call me if I may be of further assistance.

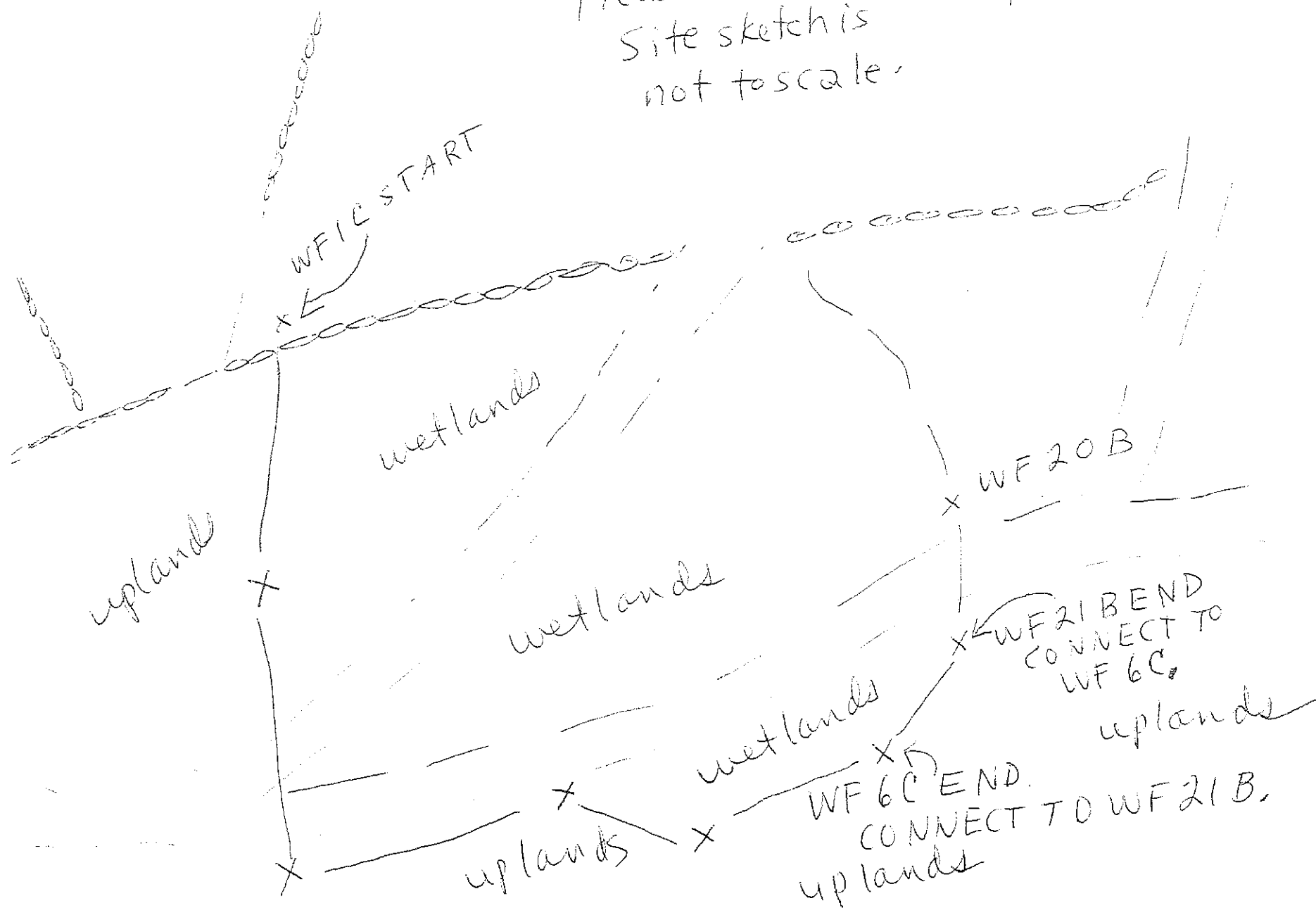
Sincerely,

A handwritten signature in cursive script that reads "Margaret Washburn".

Margaret Washburn, M.S.
Registered Professional Soil Scientist

3/25/2020

Please note!
Site sketch is
not to scale.



3/25/2020

N
^

Wetlands appear
to extend further
away from Shunway Brook

WF63
END. → x

wetlands

WF58 START
CONNECT TO
WF51.

WF51
connect to WF58.

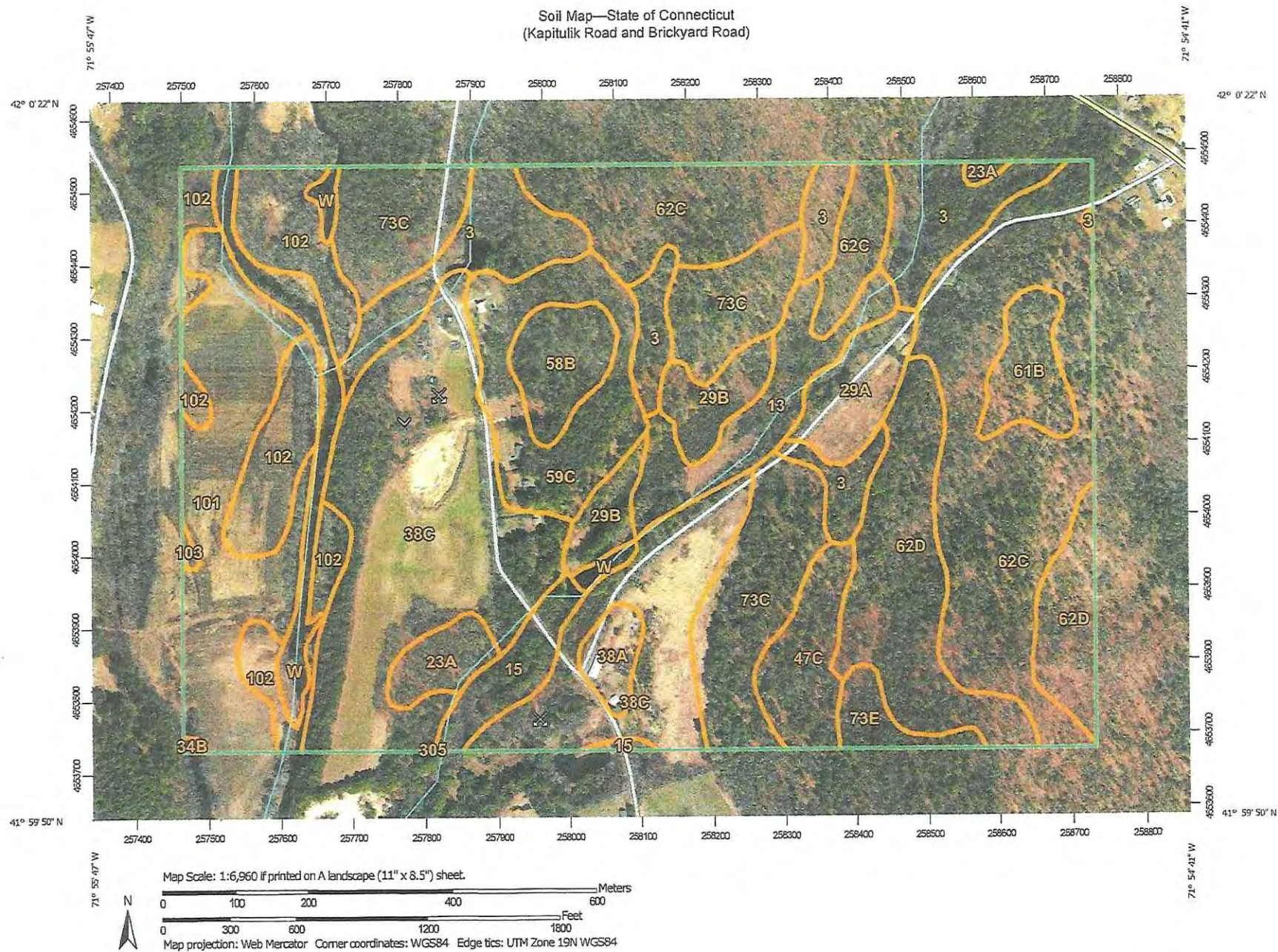
wetlands

Shunway Brook
direction of flow

Kapitulik Road

Please note:
Site sketch is not
to scale.

Soil Map—State of Connecticut
(Kapitulik Road and Brickyard Road)



Natural Resources
Conservation Service


Web Soil Survey
National Cooperative Soil Survey

2/19/2020
Page 1 of 4


Soil Map—State of Connecticut
(Kapitulik Road and Brickyard Road)


MAP LEGEND


Area of Interest (AOI)

 Area of Interest (AOI)

Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression


 Gravel Pit


 Gravelly Spot


 Landfill


 Lava Flow


 Marsh or swamp


 Mine or Quarry


 Miscellaneous Water

 Perennial Water


 Rock Outcrop


 Seline Spot

 Sandy Spot


 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot


 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features


Water Features


 Streams and Canals

Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut

Survey Area Data: Version 19, Sep 13, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 8, 2011—Apr 9, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

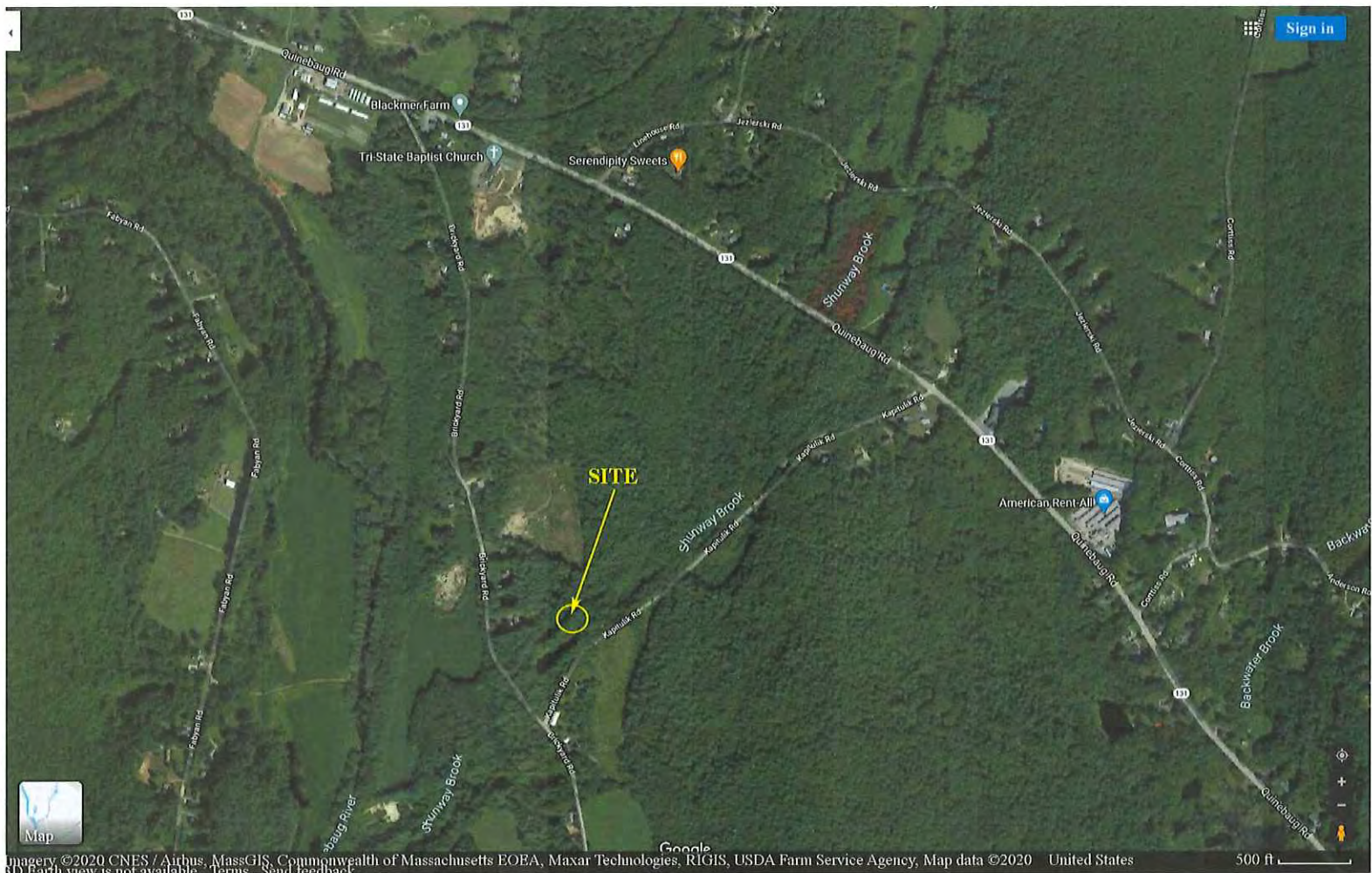


Map Unit Legend

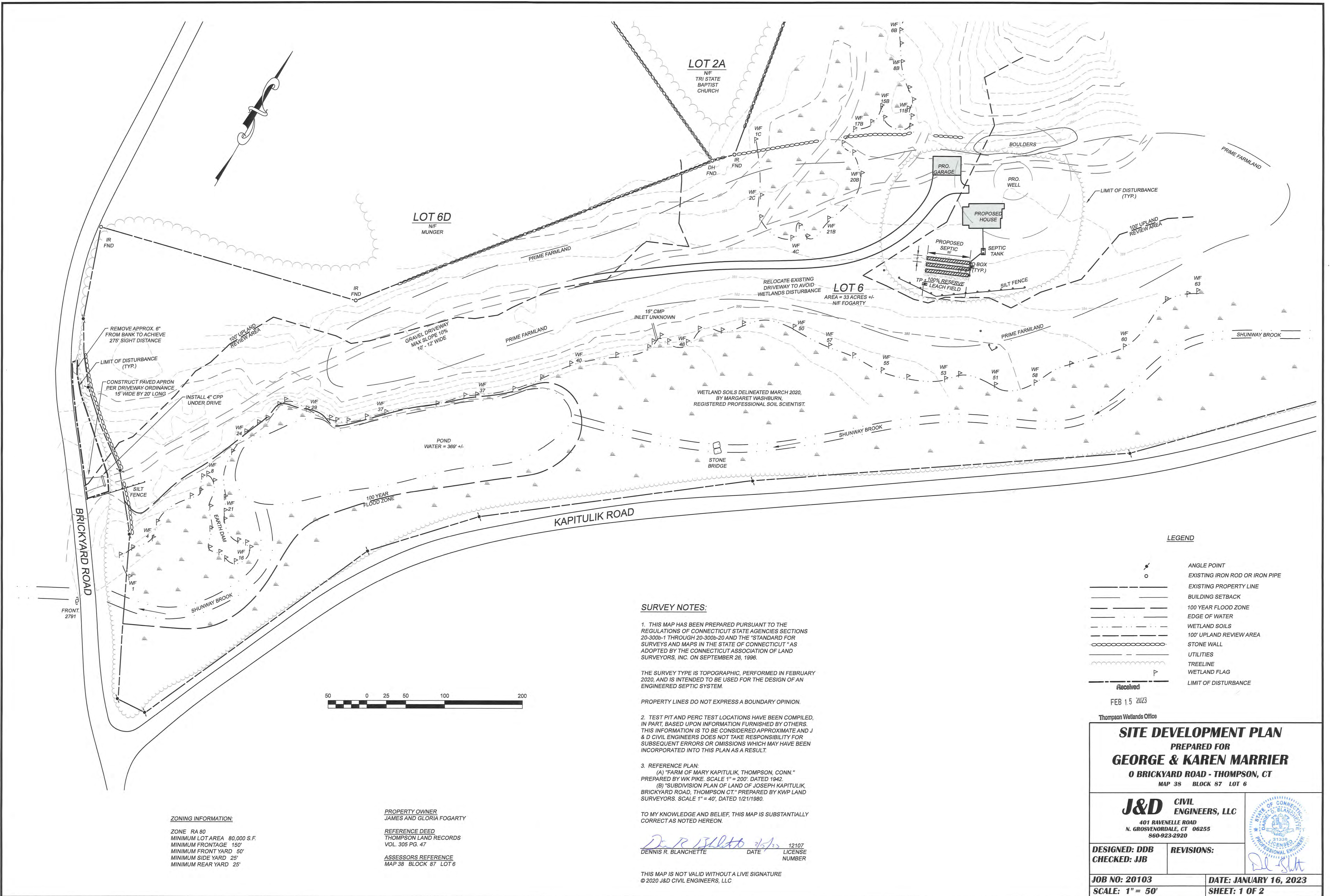
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Ridgebury, Leicester, and Whitman soils, 0 to 8 percent slopes, extremely stony	20.0	7.9%
13	Walpole sandy loam, 0 to 3 percent slopes	8.3	3.3%
15	Scarboro muck, 0 to 3 percent slopes	4.4	1.7%
23A	Sudbury sandy loam, 0 to 5 percent slopes	3.2	1.3%
29A	Agawam fine sandy loam, 0 to 3 percent slopes	5.0	2.0%
29B	Agawam fine sandy loam, 3 to 8 percent slopes	6.0	2.4%
34B	Merrimac fine sandy loam, 3 to 8 percent slopes	0.1	0.0%
38A	Hinckley loamy sand, 0 to 3 percent slopes	2.2	0.9%
38C	Hinckley loamy sand, 3 to 15 percent slopes	45.3	17.9%
47C	Woodbridge fine sandy loam, 3 to 15 percent slopes, extremely stony	6.0	2.4%
58B	Gloucester gravelly sandy loam, 3 to 8 percent slopes, very stony	4.9	1.9%
59C	Gloucester gravelly sandy loam, 3 to 15 percent slopes, extremely stony	11.9	4.7%
61B	Canton and Charlton fine sandy loams, 0 to 8 percent slopes, very stony	4.4	1.7%
62C	Canton and Charlton fine sandy loams, 3 to 15 percent slopes, extremely stony	43.1	17.1%
62D	Canton and Charlton fine sandy loams, 15 to 35 percent slopes, extremely stony	19.7	7.8%
73C	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	23.5	9.3%
73E	Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky	2.4	1.0%
101	Occum fine sandy loam	18.9	7.5%



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
102	Pootatuck fine sandy loam	16.6	6.6%
103	Rippowam fine sandy loam	0.2	0.1%
305	Udorthents-Pits complex, gravelly	0.0	0.0%
W	Water	6.8	2.7%
Totals for Area of Interest		253.0	100.0%



Imagery ©2020 CNES / Airbus, MassGIS, Commonwealth of Massachusetts EOEA, Maxar Technologies, RIGIS, USDA Farm Service Agency, Map data ©2020 United States



SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN FEBRUARY 2020, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN:
(A) "FARM OF MARY KAPITULIK, THOMPSON, CONN."
PREPARED BY WK PIKE. SCALE 1" = 200'. DATED 1942.
(B) "SUBDIVISION PLAN OF LAND OF JOSEPH KAPITULIK, BRICKYARD ROAD, THOMPSON CT." PREPARED BY KWP LAND SURVEYORS. SCALE 1" = 40'. DATED 1/21/1980.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 12107
DENNIS R. BLANCHETTE DATE LICENSE
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2020 J&D CIVIL ENGINEERS, LLC

LEGEND

- ANGLE POINT
- EXISTING IRON ROD OR IRON PIPE
- EXISTING PROPERTY LINE
- BUILDING SETBACK
- 100 YEAR FLOOD ZONE
- EDGE OF WATER
- WETLAND SOILS
- 100' UPLAND REVIEW AREA
- STONE WALL
- UTILITIES
- TREELINE
- WETLAND FLAG
- LIMIT OF DISTURBANCE

Received FEB 15 2023

Thompson Wetlands Office

SITE DEVELOPMENT PLAN

PREPARED FOR

GEORGE & KAREN MARRIER

0 BRICKYARD ROAD - THOMPSON, CT

MAP 38 BLOCK 87 LOT 6

J&D CIVIL ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: DDB
CHECKED: JJB

REVISIONS:

D.R. Blanchette

JOB NO: 20103

DATE: JANUARY 16, 2023

SCALE: 1" = 50'

SHEET: 1 OF 2

Application WA423003 (copy 1)

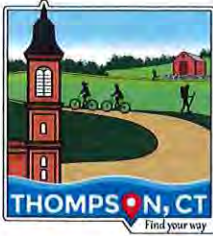
ZONING INFORMATION:

ZONE RA 80
MINIMUM LOT AREA 80,000 S.F.
MINIMUM FRONTAGE 150'
MINIMUM FRONT YARD 50'
MINIMUM SIDE YARD 25'
MINIMUM REAR YARD 25'

PROPERTY OWNER
JAMES AND GLORIA FOGARTY

REFERENCE DEED
THOMPSON LAND RECORDS
VOL. 305 PG. 47

ASSESSORS REFERENCE
MAP 38 BLOCK 87 LOT 6



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA23003

APPROVAL GRANTED TO:

George Marrier
26 Pinecrest Ridge
Woodstock, CT 06281

DATE OF APPROVAL: February 15, 2023

EXPIRATION DATE: February 15, 2028

LOCATION OF AUTHORIZED ACTIVITY: 0 Brickyard Road, Assessor's Map 38, Block 87, Lot 6

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with construction of a driveway & detached garage in the 100 -foot upland review area associated with new residential home as shown in Wetlands Agent Approval Application WAA23003 stamped received by the Thompson Wetlands Office February 15, 2023 and as shown in drawing(s) entitled "Site Development Plans prepared for George & Karen Marrier 0 Brickyard Road - Thompson, CT Map 38 Block 87 Lot 6" prepared by J&D Civil Engineers, LLC dated January 16, 2023 (2 sheets) and stamped received February 15, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: _____

February 15, 2023



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

YOU HAVE A WETLAND AGENT APPROVAL: Approval # WAA23003

You are expected to comply with the following:

1. State law requires that a notice of the Commission's decision be published at the applicant's expense in a newspaper having a general circulation in the Town of Thompson. Such notice must be published within fifteen (15) days of the decision. The Wetland Agent will forward the necessary legal notice to the newspaper. This fee is included in the application fee, and will not be collected after the approval process.
2. YOU MUST NOTIFY THE COMMISSION ONE WEEK PRIOR TO THE START OF YOUR SITE WORK. A notification card is enclosed for your convenience.
3. You may initiate your activity within five (5) years of the date the permit was issued. Your activity must be completed within 2 years of the start date. If the activities will not be completed and the site stabilized by that time, you will need to request an extension of the expected completion date.
4. Erosion and sediment controls (such as haybales or silt fence) **MUST** be in place as they appear on your approved site plan **PRIOR** to any site work which involves earth disturbance. Additionally, you must maintain all erosion controls during your construction activities until your site is stabilized.
5. You must adhere to all of the specific conditions of your approval.
6. If you have any revisions to your site plan, you must have those revisions approved by the Commission before you can implement them on your site.
7. You must limit your site disturbance. Any disturbance outside of that which is prescribed on your approved site plan may have negative impacts on wetland areas.
8. You must notify the Commission one week prior to your completion date. A notification card is enclosed for your convenience.
9. Note: If the work associated with this permit involves the disturbance of one or more acres of land, either individually or collectively as part of a larger common plan, then you are advised to contact the Connecticut Department of Energy and Environmental Protection on your need to obtain coverage under DEEP's General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities. For more information go to <http://www.ct.gov/deep/site/default.asp> and search for "construction stormwater GP" or call 860-424-3025.

If you have any questions or need assistance regarding your approved activities, please contact the Wetland Agent at 860-923-1852. We thank you for your cooperation.

(over for Approval)

Agenda Item E.b) 2. New Applications

2. IWA23003, Bernard P Mayo, 73 LaPorte Road, (Assessor's Map 55, block 65, lot 7A), filling of wetlands for the construction of new detached garage associated with existing single-family house, stamped received 3/3/23, to be statutorily received 3/14/23.

Original

for commission use:

rev 1/11

application # IWA23003
date received March 3, 2023

PERMIT APPLICATION

TO CONDUCT A REGULATED ACTIVITY

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee.....Applicants will be billed for professional review as needed,
see regulations booklet Section 18.5

For: **Conceptual Approval of Subdivisions use "Subdivision Review Application"**

Please complete the following application information.

Received

MAR 3 2023

Thompson Wetlands Office

Date _____

1) Name of Applicant Bernard P. Mayo

Home Address 73 Laporte Road, North Grosvenordale, CT 06255

Home Tele & Hrs 860-428-2766 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: X Owner _____ Other _____

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CL&P 2343

Street or Road Location 73 Laporte Road

Tax Assessor's Map # 55

Block # 65

Lot # that appears on site plan 7A

Deed Info : Volume # 724

Page # 78

5) The property to be affected by the proposed activity contains:

Soil Types _____

Wetland Soils X (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)

Watercourses _____ (Lake or Pond _____ Stream or River _____ Intermittent Stream _____)

Floodplain - Yes / No

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity Construction of a detached garage with connection to the existing septic system. Construction will require 1,400 SF of wetland disturbance.

If the above activity involves deposition or removal of material, what is the quantity? 400+/- CY

b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation with base flood elevations.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☒ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) Limit filling to the least extent practical to construct the proposed garage.

d. Have any alternatives been considered? Yes

If yes, explain why this proposal was chosen Moving the garage closer to the house will not allow for the desired space to turn vehicles in front of the garage.

7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? No

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

Elaine A. Antonson, 91 Laporte Road, North Grosvenordale, CT 06255

Hemlock Properties LLC, 8 Lind Street, Oxford, MA 01540

Jean Paul Bricault, 69 Laporte Road, North Grosvenordale, CT 06255

11) Estimated start date Spring 2023

Estimated date of completion (all disturbed areas are stabilized) September 2023

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

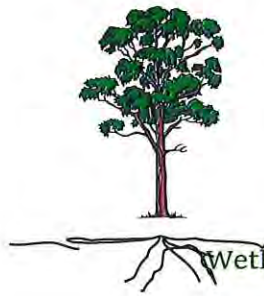
ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.
I understand that the commission is unable to act upon an incomplete application.

Digitally signed by Bernard P. Mayo
DN: C=US, E=bpmayo@msn.com,
CN=Bernard P. Mayo
Reason: I have reviewed this document
Date: 2023.02.24 16:40:37 -05'00'
Bernard P. Mayo 2/24/2023
Signature of Applicant Date

Consent of Landowner if other than applicant Date

Please attach a written consent by the owner if applicant is not the property owner.



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992 ~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments

Wetland Delineations and Permitting ~ E&S/Site Monitoring

Wetland function and value assessments

1/3/2023

Provost & Rovero, Inc.
57 East Main St.
P.O. Box 191
Plainfield, CT. 06374

Attn: Mr. David Held

Re: Wetland delineation, 73 Laporte Road, Thompson, CT.

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourse on the above referenced property.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and inland wetlands and watercourse.

These wetland soils have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Section 22A-38.

Flag numbers WF-1 through WF-20 delineate a palustrine forested wetland and intermittent watercourse located in the southern portion of the property adjacent to the existing driveway and yard areas. The watercourse flows to the east and extends off the parcel on its eastern boundary.

These wetlands and watercourse have formed from the persistent wetness from the high seasonal water tables trapped by compact till horizons and surface runoff.

The typical hydric soils found in these wetlands are characterized by thick organic topsoil horizons, shallow redoximorphic features and low chroma colors within 20 inches of the soil surface.

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

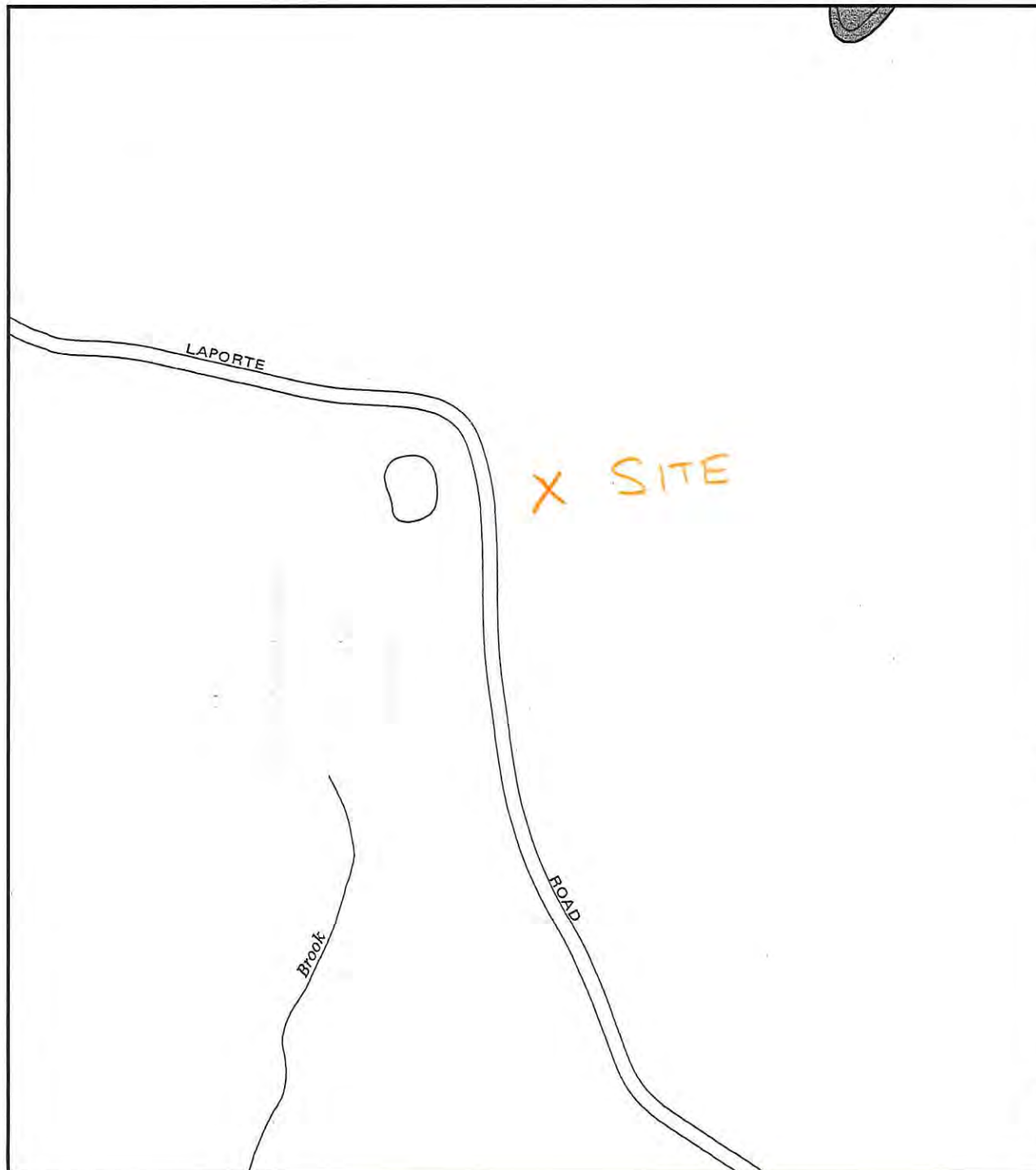
Received

MAR 3 2023

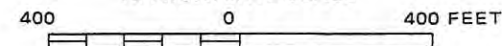
Thompson Wetlands Office

Joseph R. Theroux

Joseph R. Theroux
Certified Soil Scientist
Member SSSSNE, NSCSS, SSSA.



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
THOMPSON,
CONNECTICUT
WINDHAM COUNTY

PANEL 2 OF 20
(SEE MAP INDEX FOR PANELS NOT PRINTED)

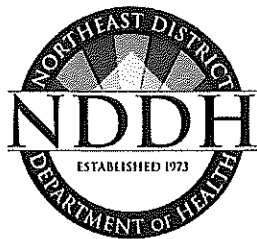
COMMUNITY-PANEL NUMBER
090117 0002 B

EFFECTIVE DATE:
NOVEMBER 1, 1984



Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET • UNIT 4 • BROOKLYN, CT 06234
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

February 24, 2023

Bernard P. Mayo
73 Laporte Road
No Grosvenordale, CT 06255

B100/APPLICATION

**SUBJECT: FILE #2001143 -- LAPORTE ROAD #73, MAP #55, BLOCK #65, LOT #7A,
THOMPSON, CT**

Dear Bernard P. Mayo:

On February 14, 2023 this department received an application proposing the addition of a detached garage with toilet and sink to your property.

Based on the information provided and paperwork in our files this request has been approved under the following conditions:

1. There should be no living quarters constructed in the garage.
2. Once the garage is completed, a water analysis must be submitted to this office. The water sample is to be taken from the new faucet in the half bath. This is to ensure that the new plumbing has been properly disinfected prior to use of the water for drinking purposes.
3. Septic system to be taped off during construction to ensure proper separating distance is maintained and to protect from heavy traffic or storage of building materials in this area.
4. Septic permit must be applied for the sewer line from garage to septic tank.
5. Central System request granted by the State of Connecticut Department of Health (see attached).

Approval is being granted under Section 19-13-B100a of the CT Public Health Code. This approval is given with the understanding that you will provide proper care and maintenance of the existing system (the septic tank is to be pumped every 3 years).

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Marcoux, RS
Senior Sanitarian-NDDH

cc: Thompson Building Official; Provost & Rovero, Inc., David Held

STATE OF CONNECTICUT

DEPARTMENT OF PUBLIC HEALTH

Manisha Juthani, MD
Commissioner



Ned Lamont
Governor
Susan Bysiewicz
Lt. Governor

Environmental Health Section

NOTICE OF EXCEPTION

An exception is hereby granted to the requirements of Section 19-13-B103d (d) of the Connecticut Public Health Code for a CENTRAL SUBSURFACE SEWAGE DISPOSAL SYSTEM serving a SINGLE-FAMILY HOUSE and a DETACHED GARAGE located at 73 LAPORTE ROAD in the Town of THOMPSON, CT. A central system has been found to be technically preferable for the following reasons:

1. The central system shall provide for an improved distribution and treatment of sewage effluent.
2. Wastewater that is not "sewage" as defined in Section 19-13-B103b (a) of the Connecticut Public Health Code shall not be discharged to the sewage disposal system.
3. The installation shall be inspected and approved by the local health department.

Recorded at the Department of Public Health, Hartford, Connecticut.

A handwritten signature in cursive script, appearing to read "Sean Merrigan".

Sean Merrigan
Sanitary Engineer III
Environmental Engineering Program

FEBRUARY 24, 2023

Date



Phone: (860) 509-7296 • Fax: (860) 509-7295
410 Capitol Avenue, MS#12SEW, P.O. Box 340308
Hartford, Connecticut 06134-0308

www.ct.gov/dph

Affirmative Action/Equal Opportunity Employer

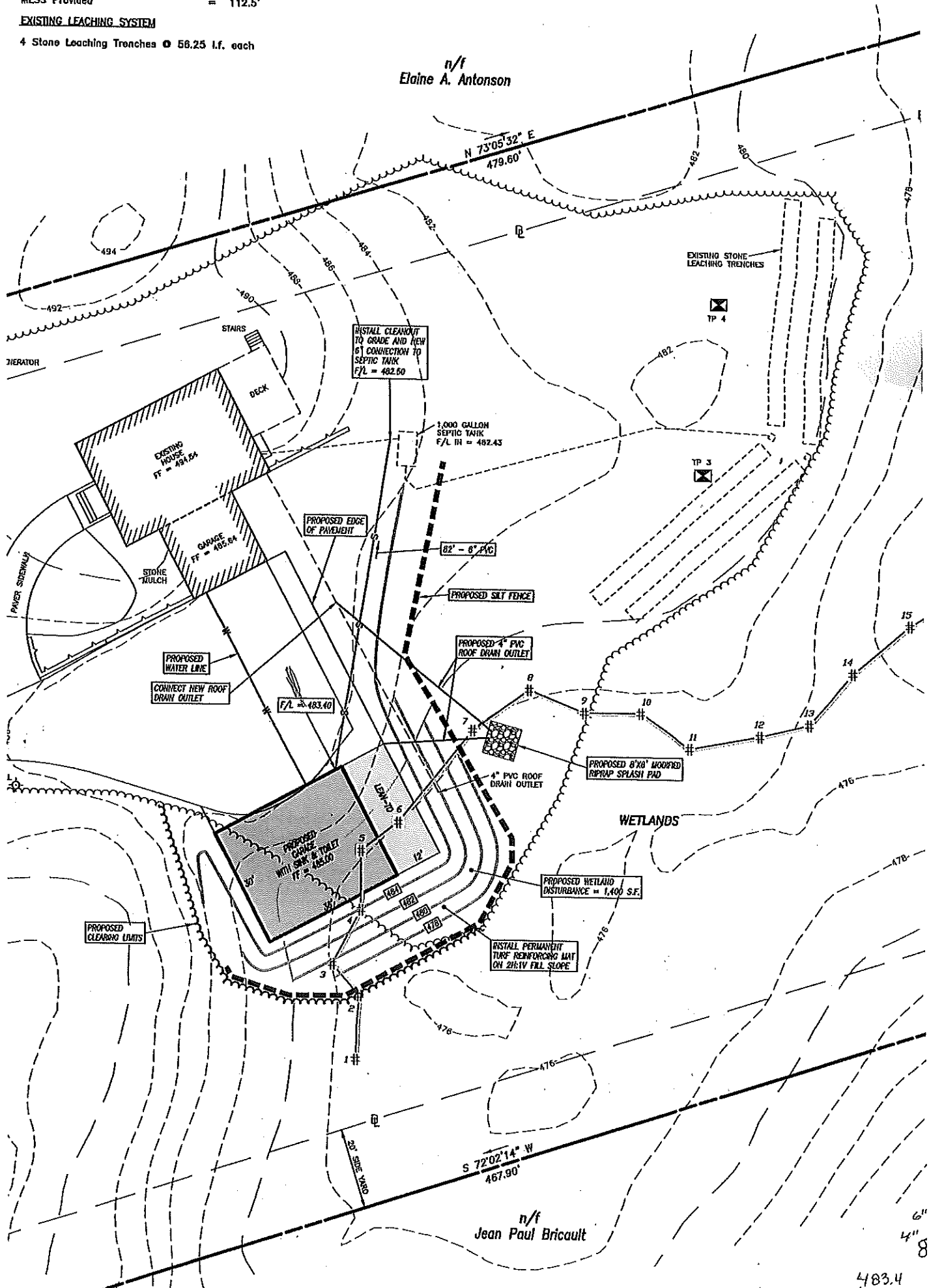
Min. Leaching system Spread (MLSS) = $30 \times 1.5 \times 1.25 = 56.25'$

MLSS Provided = 112.5'

EXISTING LEACHING SYSTEM

4 Stone Leaching Trenches @ 56.25 l.f. each

n/f
Elaine A. Antonson



n/f
Jean Paul Bricault

483.4

-- Survey type: General Location Survey.

2. The subject parcel is shown as lot #7A, block #65 on assessor's map #55.
3. Zone: RRAD.
4. Owner of record: Bernard P. Mayo
P.O. Box 802
North Grosvenordale, CT 06255
5. The intent of this survey is to show a proposed garage and connection to the existing septic system on the subject property.
6. Elevations based on NAVD 1988. Contour interval = 2'.
7. Reference is made to a warranty deed in Volume 724, Page 78 of the Thompson land records for the subject parcel.
8. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
9. Wetlands were flagged in the field by Joseph Theroux in January 2023.
10. The proposed garage will not have a tub, shower or any bedrooms.
11. The location of the existing septic system is taken from the as-built survey prepared by Provost & Rovero, Inc.

MAP REFERENCES:

1. "General Location Survey -- Prepared for -- Marc Ayotte -- Laporte Road -- Thompson, Connecticut -- Scale: 1" = 30' -- Dated: 12/6/2001 -- Provost Rovero Fitzback"

GENERAL LOCATION SURVEY
PROPOSED SITE PLAN
PREPARED FOR
BERNARD P. MAYO

73 LAPORTE ROAD
THOMPSON, CONNECTICUT

NORTHEAST DISTRICT
DEPT OF HEALTH
2023 FEB 17 P 1:21

20
FEET

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

DESCRIPTION

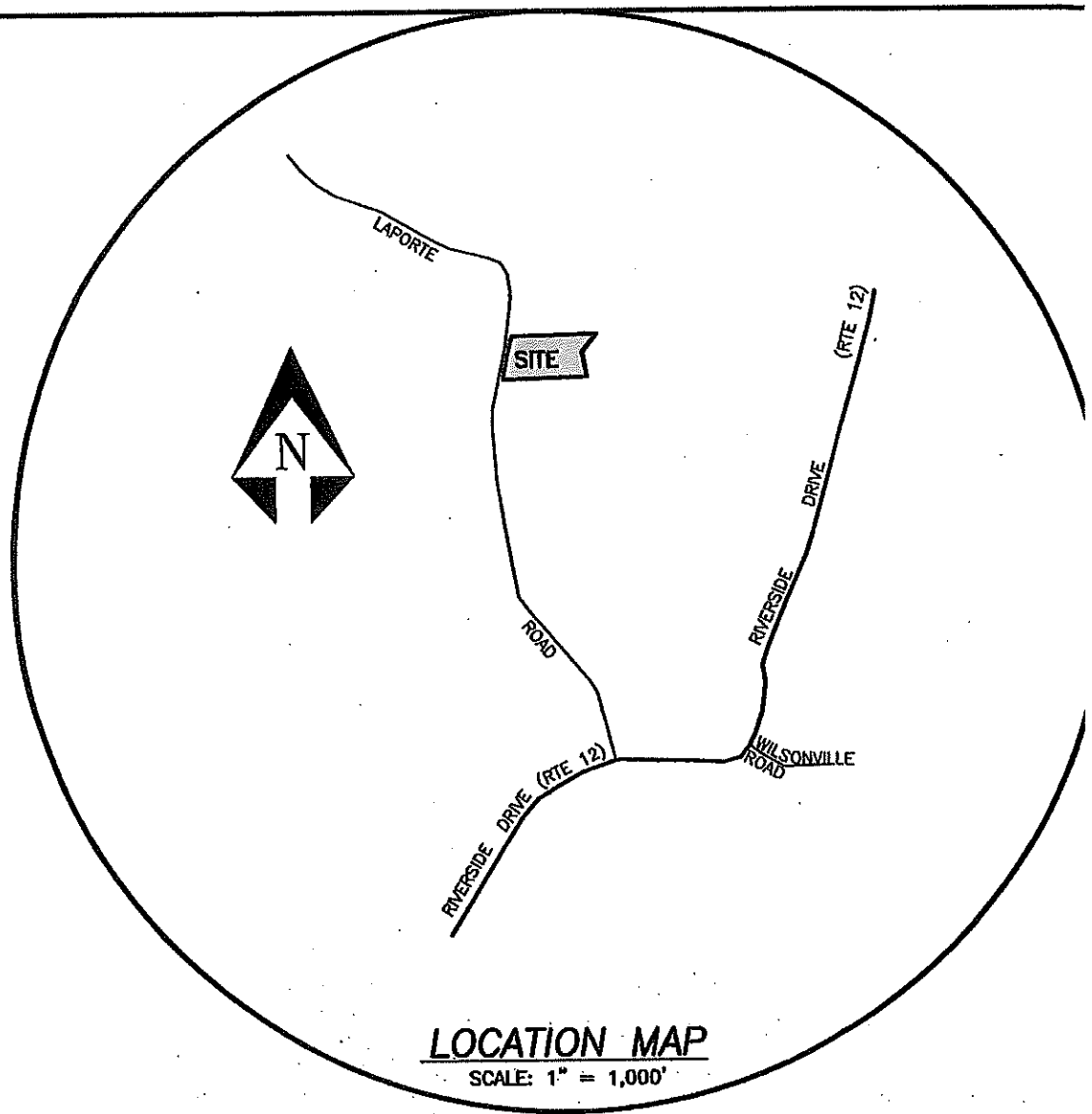
DRAWN: DJH

SIGN: DJH

CHECKED BY: ----

PROJECT No: 223043

Block 41 sewer line



LEGEND

	TEST PIT
	EXISTING MAIL BOX
	IRON PIN FOUND
	EXISTING UTILITY POLE
	EXISTING WELL
	INLAND WETLAND FLAG
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING RETAINING WALL
	EXISTING TREE LINE
	PROPOSED CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED SILT FENCE
	PROPOSED CLEARING LIMITS

**Statewide Inland Wetlands & Watercourses Activity Reporting Form**

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street – 3rd Floor, Hartford, CT 06106

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
- ACTION TAKEN (enter one code letter): _____
- WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Thompson
Does this project cross municipal boundaries (check one)? Yes _____ No x
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
- LOCATION (see directions for website information): USGS Quad Map Name: Webster or Quad Number: 13
Subregional Drainage Basin Number: 3300
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Bernard P. Mayo
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): 73 Laporte Road
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent x
Description: construction of detached garage
- ACTIVITY PURPOSE CODE (enter one code letter): A
- ACTIVITY TYPE CODE(S) (enter up to four code numbers): 1, 2, 12, 14
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 0.03 acres Open Water Body: 0 acres Stream: 0 linear feet
- UPLAND AREA ALTERED (type in acres as indicated): 0.05 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

C:\Users\Down\Desktop\J085\223043\Drawings\SITE PLAN.dwg Feb 14, 2023 - 3:28 PM

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Windham County Connecticut, U.S.D.A. Soil Conservation Service 1983.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover", if necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the Inland Wetlands Commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

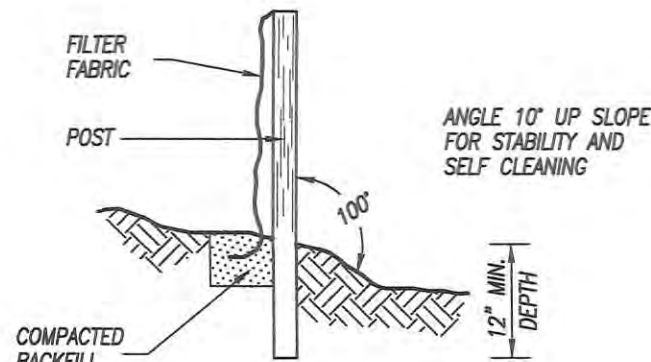
Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

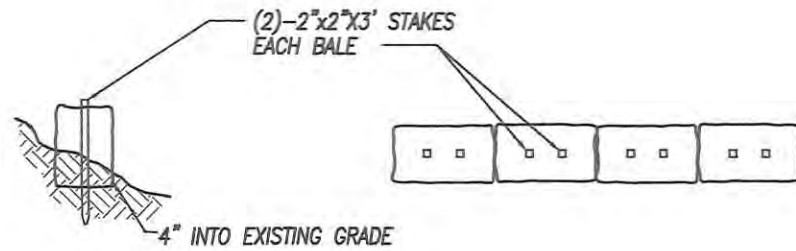
While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned, and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.



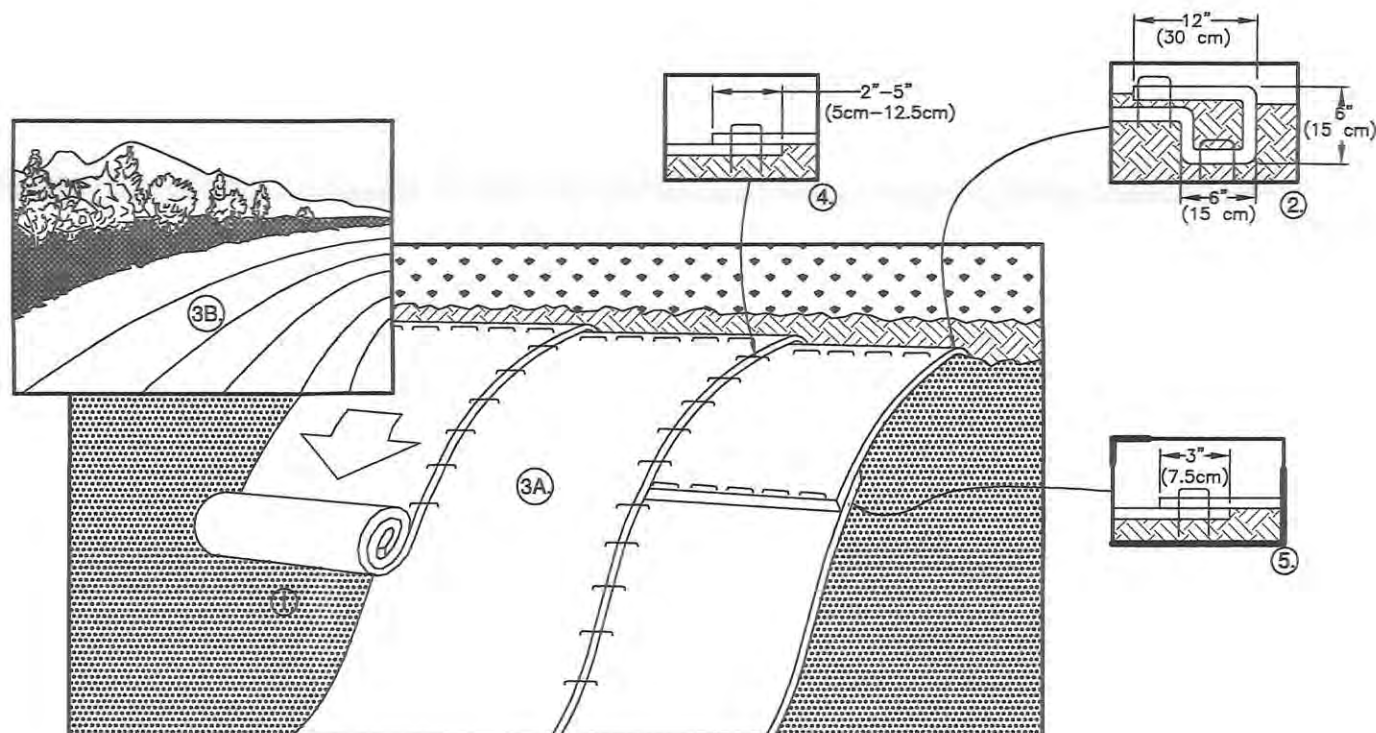
SILT FENCE

NOT TO SCALE



HAYBALE BARRIER

NOT TO SCALE



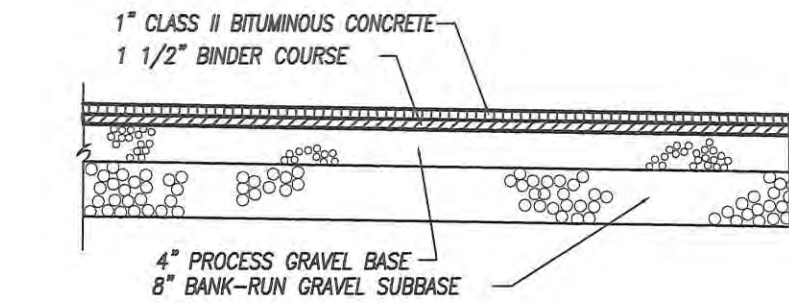
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM*, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTES:

1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
2. TURF REINFORCEMENT MAT SHALL BE NORTH AMERICAN GREEN P-300B OR APPROVED EQUIVALENT.

TURF REINFORCEMENT MAT INSTALLATION

NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

DETAIL SHEET

PREPARED FOR

BERNARD P. MAYO

MAR 3 2023

73 LAPORTE ROAD

THOMPSON, CONNECTICUT

Thompson Wetlands Office

Provost & Rovero, Inc.

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Structural • Mechanical • Architectural Engineering

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REVISIONS	
DATE	DESCRIPTION
DATE: 2/14/2023	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 2 OF 2	CHK BY: ---
DWG. No: Client File	JOB No: 223043



Application IWA23003, 73 Laporte Rd, Alternative Garage Location not Involving Wetlands Destruction

Marla Butts <wetlands@thompsonct.org>

Mon 3/6/2023 3:27 PM

To: bpmayo@msn.com <bpmayo@msn.com>

Cc: dheld@prorovinc.com <dheld@prorovinc.com>

 1 attachments (569 KB)

Alternate garage location IWA23003.pdf;

Bernie, As we discussed on the phone earlier today attached you will find a scan of your application drawing with red marking showing a possible location for the proposed garage that would not involve the destruction of wetlands but would meet your basic needs. I note that your proposal would involve importing fill. My suggestion would involve the balancing of cuts and fills and it might better address your concerns about managing the costs of construction.

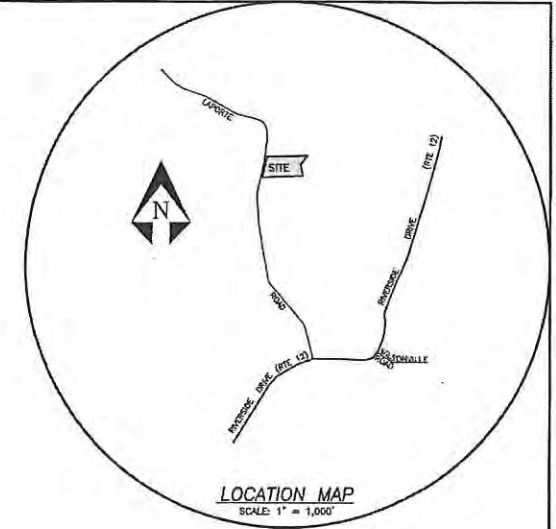
As I noted on the phone, your application will be formally received at the next Inland Wetlands Commission meeting to be held virtually on March 14, 2023, as 7:00 pm via ZOOM. The agenda will be posted on the Town's webpage by the end of the week containing the ZOOM link and passcode to the meeting. I will try to email you a pdf of the agenda on the Monday before the meeting. Please plan on attending the meeting to explain why the alternative is not possible or that you are willing to amend the application to relocate the garage to a location that doesn't involve the filling of wetlands. Thanks for your cooperation. - Marla Butts Thompson Wetlands Agent, 860-923-1852, ext. 1

TEST HOLE DATA - January 27, 2023
Northeast District Department of Health File #02001143

TEST PIT	DEPTH	PROFILE
3	0" - 3"	Topsoil / Organics
	3" - 23"	Fine Sandy Loom Roots
	23" - 30"	Stoney Gravelly Loom Sand w/silt light
	30" - 90"	Tight Moist Stoney Gravelly Sand Watermarks
	Ledge	N/A
	GMF	N/A
	Mottling	N/A
	Washed	30"
4	0" - 3"	Topsoil / Organics
	3" - 28"	Fine Sandy Loom roots
	28" - 90"	Tight Moist Stoney Gravelly Loom Sand with Large Rocks Washed
	Ledge	70" possible large Rock
	GMF	N/A
	Mottling	N/A
	Washed	28"

DESIGN DATA - EXISTING SEPTIC SYSTEM

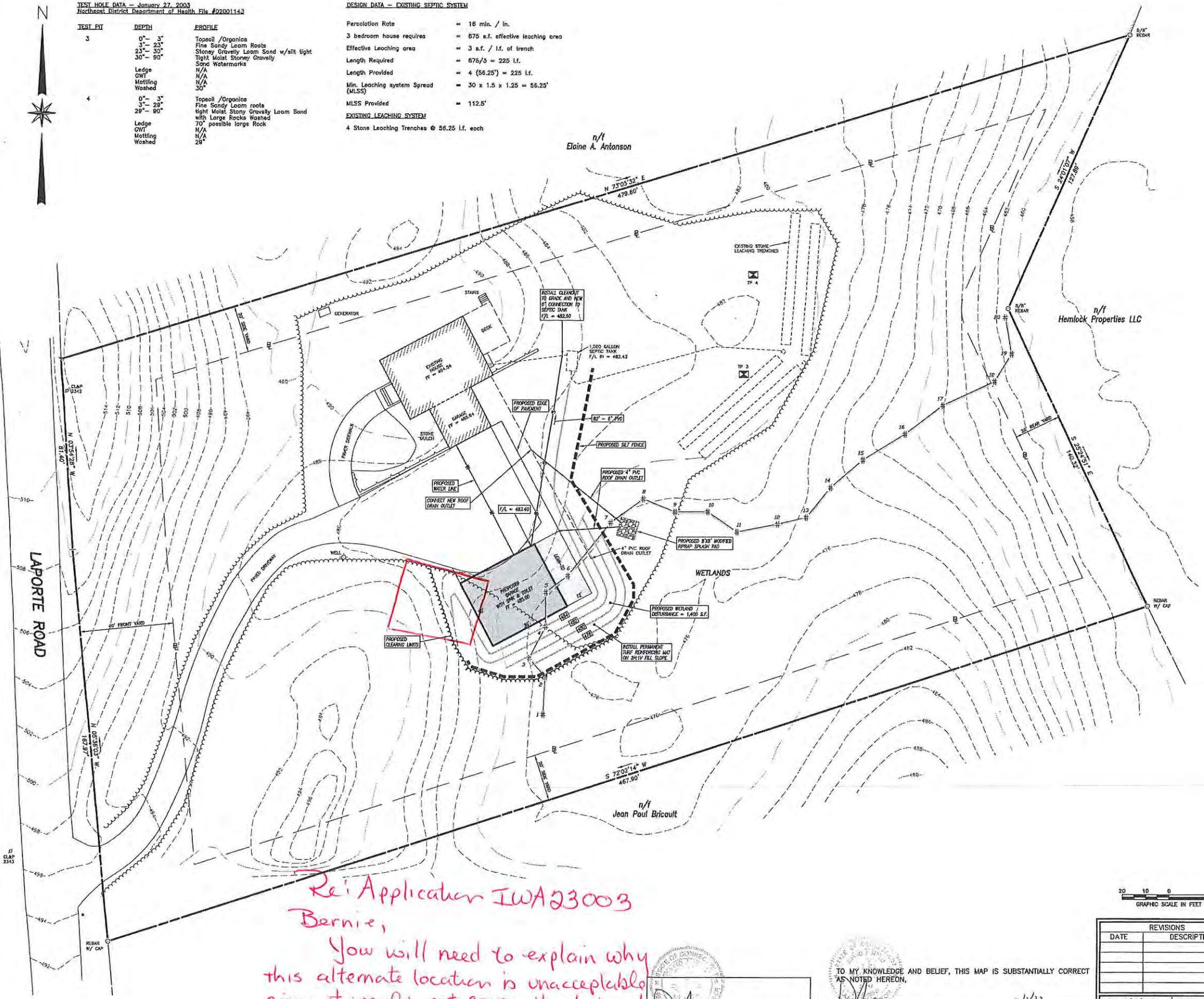
Percolation Rate = 16 min. / in.
3 bedroom house requires = 675 s.f. effective leaching area
Effective Leaching area = 3 s.f. / l.f. of trench
Length Required = 675/3 = 225 l.f.
Length Provided = 4 (56.25') = 225 l.f.
Min. Leaching system Spread (MLSS) = 30 x 1.5 x 1.25 = 56.25'
MLSS Provided = 112.5'
EXISTING LEACHING SYSTEM
4 Stone Leaching Trenches @ 56.25 l.f. each



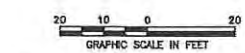
LEGEND

- TEST PIT
- EXISTING MAIL BOX
- IRON PIN FOUND
- EXISTING UTILITY POLE
- EXISTING WELL
- INLAND WETLAND FLAG
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- EXISTING RETAINING WALL
- EXISTING TREE LINE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SILT FENCE
- PROPOSED CLEARING LIMITS

- NOTES:
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 26-500b-1 through 26-500b-20 as amended on October 26, 2018.
This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
- This survey conforms to a Class "C" horizontal accuracy.
- Topographic features conform to a Class "T-2" accuracy.
- Survey Type: General Location Survey.
 - The subject parcel is shown as lot #7A, block #85 on assessor's map #55.
 - Zone: RRAD.
 - Owner of record: Bernard P. Mayo
P.O. Box 802
North Groveland, CT 06255
 - The intent of this survey is to show a proposed garage and connection to the existing septic system on the subject property.
 - Elevations based on NAVD 1988. Contour interval = 2'.
 - Reference is made to a warranty deed in Volume 724, Page 78 of the Thompson land records for the subject parcel.
 - The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.
 - Wetlands were flagged in the field by Joseph Theroux in January 2023.
 - The proposed garage will not have a tub, shower or any bedrooms.
 - The location of the existing septic system is taken from the as-built survey prepared by Provost & Rovers, Inc.
- MAP REFERENCES:
- "General Location Survey - Prepared for - Marc Ayotte - Laporte Road - Thompson, Connecticut - Scale: 1" = 30' - Dated: 12/6/2001 - Provost Rovers Fitzback"



Re: Application IWA23003
Bernie,
You will need to explain why
this alternate location is unacceptable
given it would not cause the destruction
of any wetlands
Marilyn Butts 3/6/23



REVISIONS	
DATE	DESCRIPTION

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON.
DAVID U. HELD, L.S. LIC. NO. 24267 DATE 3/3/23
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

GENERAL LOCATION SURVEY
PROPOSED SITE PLAN
PREPARED FOR
BERNARD P. MAYO
73 LAPORTE ROAD
THOMPSON, CONNECTICUT

Received
MAR 3 2023
Thompson Wildlife Office

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Structural • Mechanical • Architectural Engineering
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Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

Agenda Item E.b) 3. New Applications

DEC23004, Town of Thompson, 15 Thatcher Road (Assessor's Map 63, block 58, lot 24), demolish and reconstruct Thompson Schools track in upland review area, stamped received 3/6/23.



Town of Thompson
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

For Commission Use Only
Application #: DEC 23004
Received

MAR 6 2023

Thompson Wetlands Office

APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

Part I Request for Use Permitted as of Right or Non-Regulation Use (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
 - a. ☐ Grazing, farming, nurseries, gardening and harvesting of crops.
 - b. ☐ Farm pond three (3) acres or less essential to the farming operation.
 - c. ☐ Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
 - d. ☐ Boat anchorage or mooring.
 - e. ☐ Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
 - f. ☐ Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
 - g. ☐ Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
 - a. ☐ Conservation of soil, vegetation, water, fish or wildlife.
 - b. ☒ Outdoor recreation
 - c. ☐ Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
 - a. ☐ The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
 - b. ☐ The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
 - c. ☐ The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)



1) Applicant Contact Information

a) Applicant Name: Town of Thompson, c/o Amy St. Onge, 1st Selectmanb) Mailing Address: 815 Riverside Dr(include town state zip) North Grosvenordale, CT 06255c) Daytime Phone #: 860-923-9561d) Evening Phone #: 860-923-9561

e) Cell Phone # (optional): _____

f) Email Address (optional): firstselectman@thompsonct.org

2) Applicant's Interest in Property (check one only)

☐ property owner☐ lessee☐ easement holder

3) Owner Contact Information (required if applicant is not property owner)

a) Name: _____

b) Mailing Address: _____

(include town state zip) _____

c) Daytime Phone #: _____

d) Evening Phone #: _____

e) Cell Phone # (optional): _____

f) Email Address (optional): _____

Part III Site Information

1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot
15 Thatcher Rd	63	58	24

2) Attach an 8 ½ inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable – see <https://thompsonct.mapgeo.io>)

3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

a) Wetlands: 0 (in square feet)b) Open Water Body: 0 (in square feet)c) Stream: 0 (in linear feet)4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf - check one) ☒ No ☐ Yes (If Yes, then upland review area = 200 ft.)5) Upland Review Area altered: 7,200 (in square feet)For 6 & 7 below see http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf

6) U.S.G.S. Topographic Quadrangle (check all involved)

- ☐ #13 Webster MA
☐ #14 Oxford MA
☒ #28 Putnam
☐ #29 Thompson

7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

- French River ☒ 3300 ☐ 3301
 Quinebaug River ☐ 3700 ☐ 3708
 Five Mile River ☐ 3400 ☐ 3401 ☐ 3402

Part IV Description of Activity Proposed

1. Detailed project description and purpose: The work consists of the demolition of an existing track facility and construction of a new six (6) lane track around an existing natural turf field. Existing drainage system with two (2) outfalls located in the 100-foot upland review area to remain. The proposed construction of a new rain garden located outside of the 100-foot upland review area will have any potential overflow draining into the existing drainage system.
- _____
- _____
- _____

2. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

Part V Application Permissions & Certifications**1) Owner's Permission¹**

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposed of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

James First Selectman
(Signature of property owner)

3-6-23
Date

For all persons excluding individuals print name and title of signatory above

2) Applicant's Certification¹

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

(Signature of applicant)

Date

For all persons excluding individuals print name and title of signatory above

***** For Commission Use Only *****

Agency Response:

IWC Chair Signature:

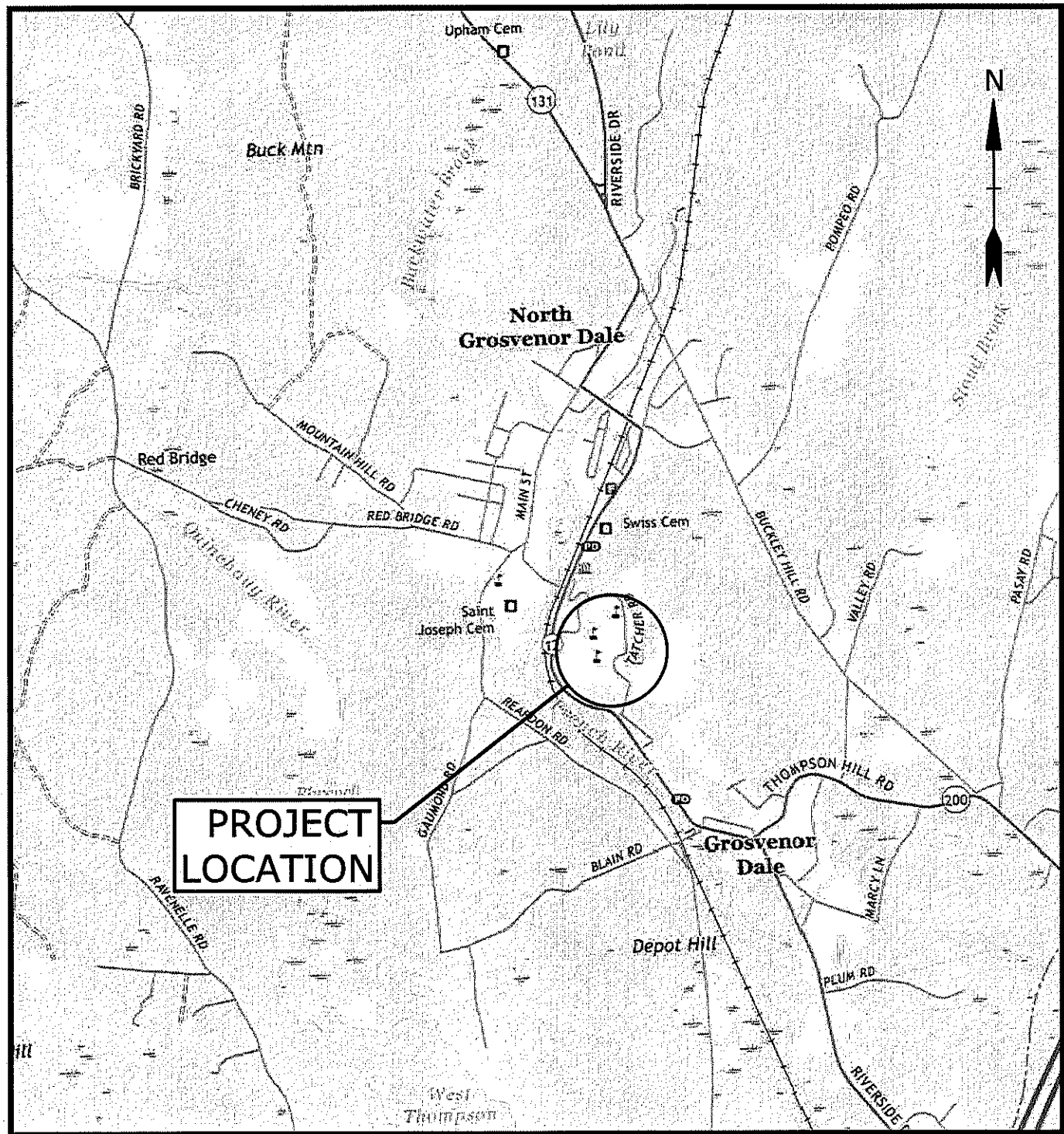
Date:

¹ If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.

THOMPSON PUBLIC SCHOOL DISTRICT THOMPSON TRACK REPLACEMENT

ISSUED FOR BIDDING
FEBRUARY 2023

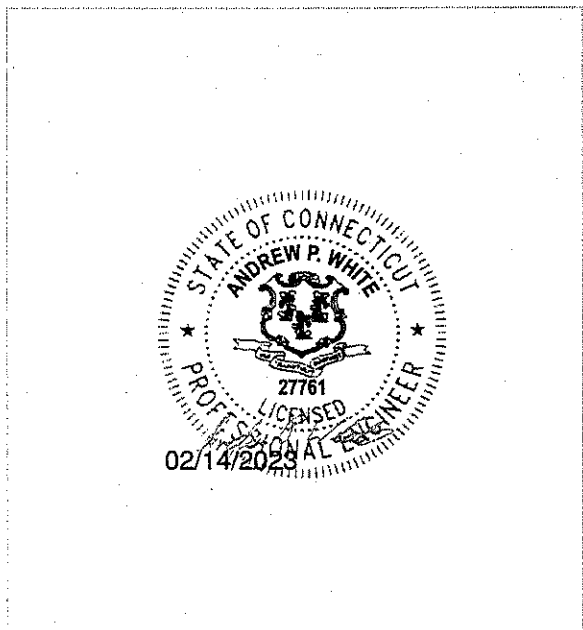
LIST OF DRAWINGS		
SHEET NO.	DRAWING NO.	DRAWING TITLE
1	G-001	COVER
2	G-002	GENERAL NOTES, LEGEND AND ABBREVIATIONS
3	C-101	EXISTING CONDITIONS PLAN
4	C-102	EROSION & SEDIMENT CONTROL AND DEMOLITION PLAN
5	C-201	PROPOSED CONDITIONS PLAN
6	C-301	SITE DETAILS - 1
7	C-302	SITE DETAILS - 2
8	C-303	SITE DETAILS - 3
9	C-304	SITE DETAILS - 4
10	C-305	SITE DETAILS - 5



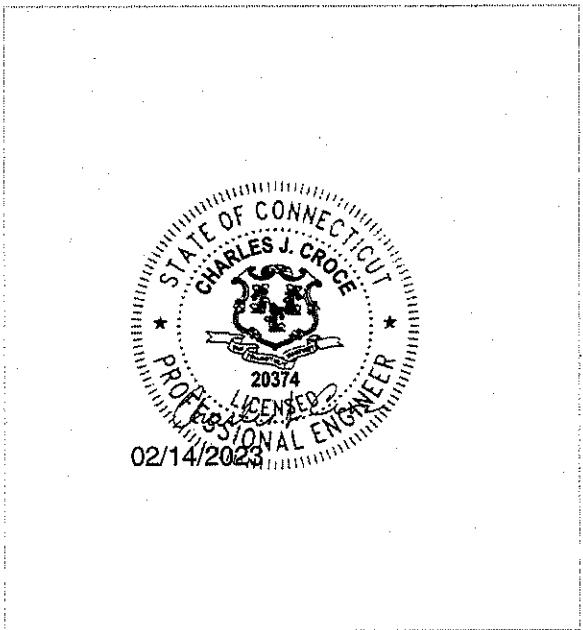
LOCATION MAP
SCALE: 1" = 2000'
SOURCE: 2021 U.S.G.S 7.5 TOPOGRAPHIC QUADRANGLE
CONNECTICUT - WINDHAM COUNTY

PREPARED BY:

Tighe & Bond



ANDREW WHITE, PE, ENV SP



CHARLES CROCE, PE

PREPARED FOR:
THOMPSON PUBLIC SCHOOL DISTRICT
785 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Received
FEB 21 2023

Thompson Wetlands Office

COMPLETE SET 10 SHEETS

DESCRIPTION	EXISTING	PROPOSED
INTERMEDIATE CONTOURS	- - - - -	- - - - -
INDEX CONTOURS	- - - - - - 25 -	- - - - - [25]
SPOT GRADE	X 141.2	+ 32.0
MAGNITUDE & DIRECTION OF SLOPE		← 0.0%
STORM DRAIN	SD SD	SD
IRRIGATION LINE	- - - - -	- - - - -
EDGE OF PAVEMENT	- - - - -	- - - - -
FENCE - CHAIN LINK	x x x x x	x x x x x x x x x x
STORM DRAIN STRUCTURES	MANHOLE Ⓒ CATCH BASIN Ⓢ CB	MANHOLE Ⓒ AREA DRAIN Ⓜ CATCH BASIN Ⓢ Ⓤ
PAVED WALKWAY	- - - - -	- - - - -
TRACK LANE LINES	- - - - -	- - - - -
EDGE OF TRACK SURFACE	- - - - -	- - - - -
PROPOSED PAVEMENT		[]
PROPOSED FULL DEPTH TRACK		[]
RECLAIMED TRACK		[]
SITE ELECTRIC		E E

RESOURCE AREAS	
VEGETATED WETLAND LIMIT 100-FOOT BUFFER ZONE	

ABDN('D)	ABANDON(ED)	N	NORTH
CB	CATCH BASIN	OC	ON CENTER
CLF	CHAIN LINK FENCE	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PVC	POLYVINYLCHLORIDE
DMH	DRAIN MANHOLE	PVMT	PAVEMENT
E	EAST	RCP	REINFORCED CONCRETE PIPE
EG	EXISTING GRADE	REQ	REQUIRED
EL/ELEV	ELEVATION	REV	REVISION
EOP	EDGE OF PAVEMENT	R&D	REMOVE AND DISPOSE
EXIST	EXISTING	S	SOUTH
HDPE	HIGH DENSITY POLYETHYLENE	SAN	SANITARY
HMA	HOT MIX ASPHALT	SCH	SCHEDULE
IN	INCHES	SF	SQUARE FOOT
INV	INVERT	SMH	SEWER MANHOLE
MAX	MAXIMUM	STA	STATION
MH	MANHOLE	STL	STEEL
MIN	MINIMUM	STRM	STORM
		TP	TEST PIT
		TYP	TYPICAL

1. THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
 - SURVEY DRAWINGS PROVIDED BY J&D CIVIL ENGINEERS, LLC TITLED EXISTING CONDITIONS SURVEY AND DATED NOVEMBER 4, 2021
2. UTILITY LOCATIONS SHOWN WERE PLOTTED FROM INFORMATION SUPPLIED BY RESPECTIVE UTILITY COMPANIES AND DATA OBTAINED FROM FIELD SURVEYS AND AS BUILT DRAWINGS. THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS IS NOT GUARANTEED. DETERMINE THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WHICH MAY AFFECT CONSTRUCTION OPERATIONS.
3. THE DRAWINGS ARE BASED ON THE FOLLOWING DATUMS: HORIZONTAL NAD83 ; VERTICAL NAVD88
4. THE EXISTING CONDITIONS SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS.

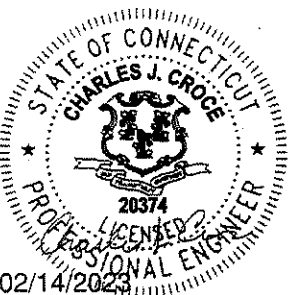
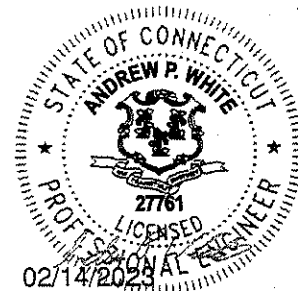
1. NOTIFY CALL BEFORE YOU DIG AT 1-800-922-4455 AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE CALL BEFORE YOU DIG LIST AT LEAST 72 HOURS PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
2. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IN ADDITION, SOME UTILITIES MAY NOT BE SHOWN. DETERMINE THE EXACT LOCATION OF UTILITIES BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND/OR INTERRUPTIONS IN UTILITY SERVICE. PERFORM TEST PIT EXCAVATIONS AND OTHER INVESTIGATIONS TO LOCATE UTILITIES, AND PROVIDE THIS INFORMATION TO THE ENGINEER, PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS. LOCATE ALL EXISTING UTILITIES TO BE CROSSED BY HAND EXCAVATION.
3. NOT ALL OF THE UTILITY SERVICES TO BUILDINGS ARE SHOWN. THE CONTRACTOR SHALL ANTICIPATE THAT EACH BUILDING HAS SERVICE CONNECTIONS FOR THE VARIOUS UTILITIES.
4. BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.
5. TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.
6. EXCAVATE ADDITIONAL TEST PITS TO LOCATE EXISTING UTILITIES AS DIRECTED OR APPROVED BY THE ENGINEER.
7. NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
8. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.

3. OBTAIN, PAY FOR AND COMPLY WITH PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK. ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE JURISDICTIONAL AUTHORITIES.
10. SHORE UTILITY TRENCHES WHERE FIELD CONDITIONS DICTATE AND/OR WHERE REQUIRED BY LOCAL, STATE AND FEDERAL HEALTH AND SAFETY CODES.
11. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THE DRAWINGS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
12. PROTECT AND MAINTAIN ALL UTILITIES IN THE AREAS UNDER CONSTRUCTION DURING THE WORK. LEAVE ALL PIPES AND STRUCTURES WITHIN THE LIMITS OF THE CONTRACT IN A CLEAN AND OPERABLE CONDITION AT THE COMPLETION OF THE WORK. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SAND AND SILT FROM DISTURBED AREAS FROM ENTERING THE DRAINAGE SYSTEM.
13. NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER.
15. TAKE NECESSARY MEASURES AND PROVIDE CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE, AND STRENGTH TO PREVENT ACCESS TO ALL WORK AND STAGING AREAS AT THE COMPLETION OF EACH DAY'S WORK.
16. NO OPEN TRENCHES WILL BE ALLOWED OVER NIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL/SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA. PERFORM TRAFFIC CONTROL IN ACCORDANCE WITH THE CONTRACTOR'S APPROVED TRAFFIC CONTROL PLAN.
18. MAINTAIN EMERGENCY ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES DURING CONSTRUCTION.
19. THE TERM "DEMOLISH" USED ON THE DRAWINGS MEANS TO REMOVE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
20. REMOVE AND DISPOSE OF ALL CONSTRUCTION-RELATED WASTE MATERIALS AND DEBRIS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
21. THE TERM "ABANDON" USED ON THE DRAWINGS MEANS TO LEAVE IN PLACE AND TAKE APPROPRIATE MEASURES TO DECOMMISSION AS SPECIFIED OR NOTED ON THE DRAWINGS.
22. ALL PROPOSED WORK MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S PROJECT REPRESENTATIVE TO MEET EXISTING CONDITIONS.

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATION OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DEEP BULLETIN NO 34, AND ALL AMENDMENTS AND ADDENDA THERETO AS PUBLISHED BY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND ELSEWHERE AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE THOMPSON PUBLIC SCHOOLS BUILDING COMMITTEE.
3. ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS, HAYBALE RING, SILT FENCE OR BLOCK AND STONE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. WHEREVER POSSIBLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION
5. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION PERIOD AS ORDERED BY THE

1. ALL PAVEMENT DAMAGES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. PROVIDE SITE GRADING AT HANDICAPPED RAMPS, SIDEWALKS, AND BUILDING ENTRANCES THAT IS CONSISTENT WITH THE RELEVANT ACCESS REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT (ABA), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MA ARCHITECTURAL ACCESS BOARD REQUIREMENTS (AAB). SMALL CHANGES IN GRADE OVER RELATIVELY SHORT DISTANCES (E.G. AT PARKING SPACES, ACCESSIBLE ROUTES, AND RAMPS) MIGHT NOT BE CLEARLY DEPICTED WITHIN THE CONTOUR INTERVAL SHOWN. COMPLY WITH THE CRITERIA IN THESE STANDARDS. SELECT MAXIMUM SLOPE CRITERIA ARE REPRODUCED BELOW:
 - LONGITUDINAL SLOPE ALONG ACCESSIBLE ROUTES < 5.0%
 - CROSS SLOPE ALONG ACCESSIBLE ROUTES < 2.0%
3. PROTECT PROJECT FEATURES (E.G., WALLS, FENCES, MAIL BOXES, SIGNS, SIDEWALKS, CURBING, STAIRS, WALKWAYS, TREES, ETC.) FROM DAMAGE DURING CONSTRUCTION, INCLUDING PROVIDING TEMPORARY SUPPORTS, WHEN APPROPRIATE.
4. IF REMOVAL OF PROJECT FEATURES IS REQUIRED IN ORDER TO PERFORM THE PROPOSED WORK, REMOVE THOSE SITE FEATURES ONLY UPON APPROVAL OF ENGINEER. REPLACE ALL REMOVED PROJECT FEATURES; NEW ITEMS SHALL BE EQUAL OR BETTER IN QUALITY AND CONDITION TO THE ITEMS REMOVED.
5. EXISTING SURVEY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE WORK IS PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
6. COORDINATE THE ADJUSTMENT OF EXISTING UTILITY STRUCTURES WITH EACH RESPONSIBLE UTILITY OWNER PRIOR TO RECONSTRUCTION AND/OR PAVING OPERATIONS. RAISE ALL STRUCTURES TO FINISHED GRADES PRIOR TO THE END OF THE CONSTRUCTION SEASON AND PRIOR TO FINISHED PAVING.
7. REPAIR DISTURBED PAVED SURFACES AT THE END OF EACH WORK WEEK, UNLESS OTHERWISE APPROVED/REQUIRED BY THE OWNER.
8. TRANSFER ALL TEMPORARY BENCHMARKS, AS NECESSARY.
9. ACCOMMODATE PEDESTRIAN TRAFFIC WHERE A SIDEWALK IS TO BE CLOSED FOR SAFETY. "SIDEWALK CLOSED HERE" SIGNS SHALL BE USED AT THE NEAREST SAFE INTERSECTION. SEE TRAFFIC CONTROL DETAILS FOR SIGN INFORMATION.
10. RESTORE ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE PAYLINE LIMITS TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
11. REGRADE ALL UNPAVED AREAS DISTURBED BY THE WORK AS REQUIRED. REPAIR/REPLACE PAVED SURFACES DISTURBED BY THE WORK IN-KIND, UNLESS OTHERWISE NOTED. RESTORE SURFACES TO EXISTING OR PROPOSED CONDITIONS AS INDICATED ON THE DRAWINGS.
12. PROVIDE A SMOOTH, FLUSH TRANSITION BETWEEN ALL NEW AND EXISTING PAVEMENTS AND WALKING SURFACES.

1. ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF EXISTING AND PROPOSED SANITARY/STORM/WATER MANHOLES, CATCH BASINS, AREA DRAINS, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
2. MAKE SMOOTH TRANSITIONS BETWEEN ALL SLOPE CHANGES AND FEATHER EDGES OF ALL CUTS AND FILLS TO BLEND WITH EXISTING CONDITIONS.
3. ALL EXCAVATED MATERIAL NOT REQUIRED FOR GRADING OR FILLING SHALL BE REMOVED PROMPTLY FROM THE SITE AND DISPOSED OF LEGALLY OFF-SITE PER THE PROJECT SPECIFICATIONS.
4. EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY FOR ANY DAMAGED INCURRED DURING EXCAVATION OPERATIONS. ALL EXCAVATION SHALL BE IN CONFORMANCE WITH THE LATEST OSHA REQUIREMENTS.
5. ALL WORK TO BE CONFINED WITHIN THE PROJECT LIMIT LINE WITH NO CLEARING, EXCAVATION, OR DEPOSITION OF FILL TO TAKE PLACE WITHIN REGULATED AREAS OUTSIDE OF THE PROJECT LIMITS.
6. ALL DRIVEWAYS, ROADS, STAIRS, AND SIDEWALKS DISTURBED BY THE CONSTRUCTION IN OR OUTSIDE OF THE PROJECT AREA LINE SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE GRADED TO MEET THE PROPOSED CONSTRUCTION AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
7. ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND IS NOT PROVIDED WITH A SPECIFIC SITE IMPROVEMENT (PAVING, SIDEWALK, LANDSCAPING, ETC.) SHALL HAVE 4" TOPSOIL AND TURF ESTABLISHMENT IN ACCORDANCE WITH THE PROJECT LANDSCAPE SPECIFICATIONS.
8. THE LOCATIONS OF ITEMS NOT DIMENSIONED ON THE DRAWINGS SHALL BE FIELD STAKED BY THE CONTRACTOR AND THEIR LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. INSTALL "FERRO" STYLE FLEXIBLE COUPLINGS AT ALL LOCATIONS WHERE JOINING PIPES OF DIFFERENT MATERIALS AND/OR SIZES PER MANUFACTURER'S RECOMMENDATIONS.
10. ALL- ON SITE STORM SEWER PIPES AND FITTINGS SPECIFIED AS HDPE SHALL BE ADS N-12 WT (WATERTIGHT) PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, HILLIARD, OHIO UNLESS OTHERWISE NOTED.
11. NOT ALL PIPE FITTINGS, BENDS, AND/OR COUPLINGS ARE SHOWN OR CALLED OUT ON THE PLANS. THE CONTRACTOR IS REQUIRED TO SUPPLY ALL THE MATERIALS AS REQUIRED TO MEET THE STORM DRAINAGE, ROOF LEADER, UNDERDRAIN, ETC. DESIGN INTENT.
12. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.



Thompson Track Replacement

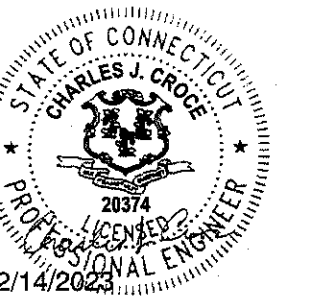
North
Grosvenordale, CT

[illegible]

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.d	
DRAWN BY:	RMM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

SCALE: AS SHOW

G-002
SHEET 2 OF 10



ISSUED FOR
BIDDING

Thompson
Track
Replacement

Thompson
Public School
District

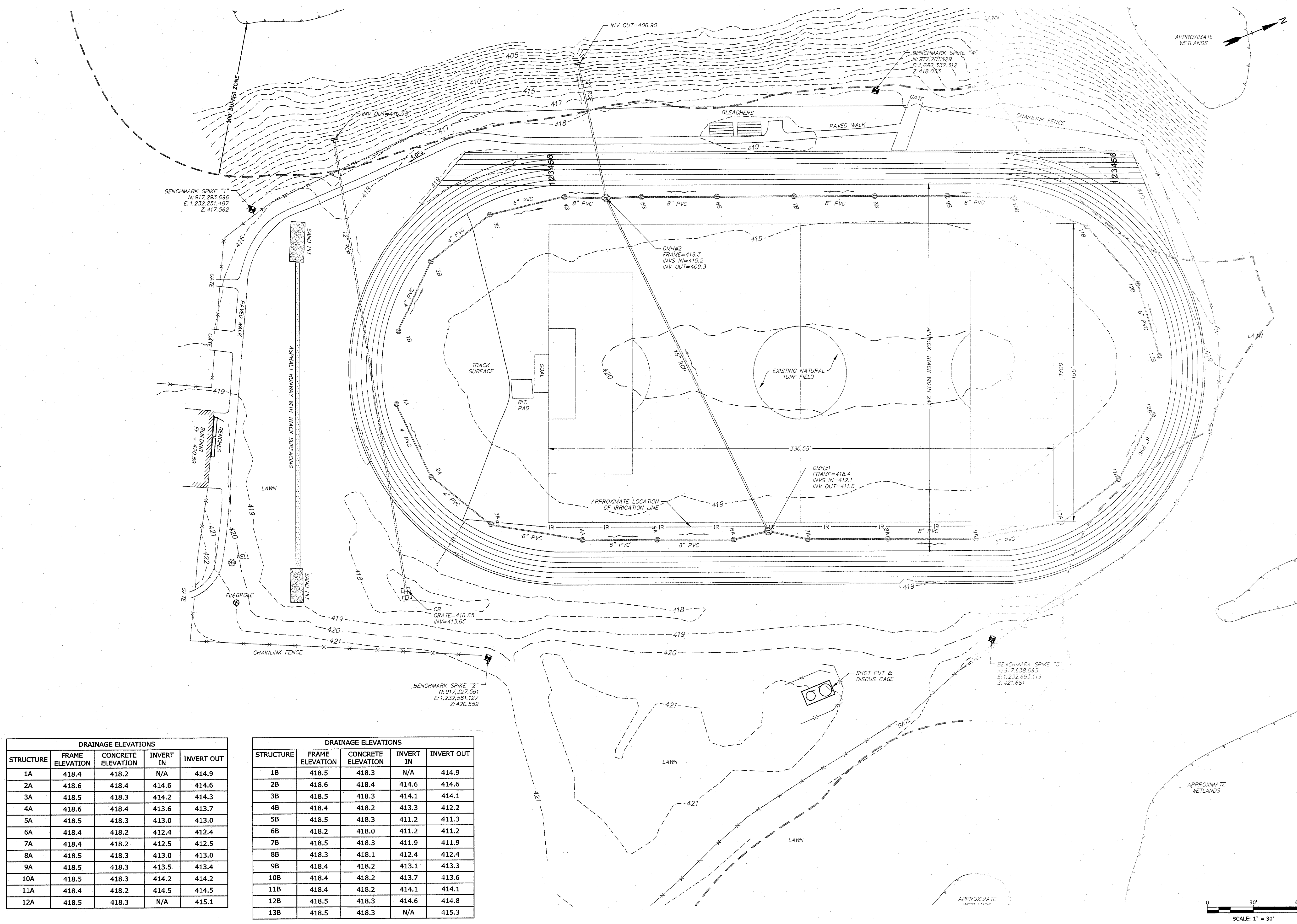
North
Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.dwg	
DRAWN BY:	RHM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

EXISTING CONDITIONS
PLAN

SCALE: AS SHOWN

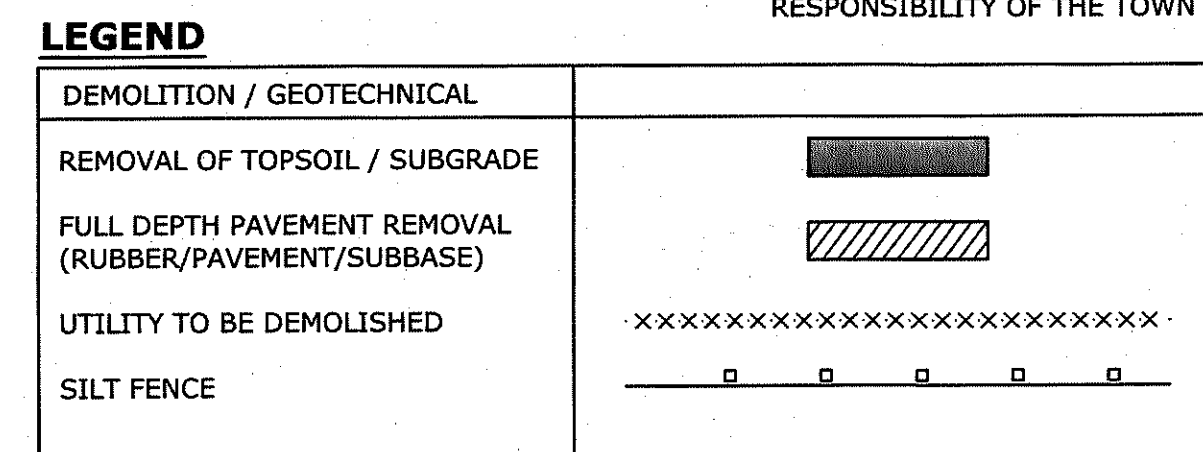
C-101
SHEET 3 OF 10



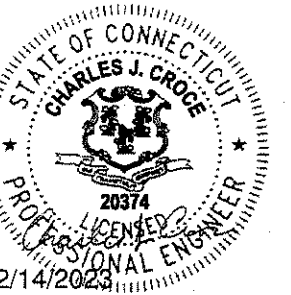
DRAINAGE ELEVATIONS				
STRUCTURE	FRAME ELEVATION	CONCRETE ELEVATION	INVERT IN	INVERT OUT
1A	418.4	418.2	N/A	414.9
2A	418.6	418.4	414.6	414.6
3A	418.5	418.3	414.2	414.3
4A	418.6	418.4	413.6	413.7
5A	418.5	418.3	413.0	413.0
6A	418.4	418.2	412.4	412.4
7A	418.4	418.2	412.5	412.5
8A	418.5	418.3	413.0	413.0
9A	418.5	418.3	413.5	413.4
10A	418.5	418.3	414.2	414.2
11A	418.4	418.2	414.5	414.5
12A	418.5	418.3	N/A	415.1

DRAINAGE ELEVATIONS				
STRUCTURE	FRAME ELEVATION	CONCRETE ELEVATION	INVERT IN	INVERT OUT
1B	418.5	418.3	N/A	414.9
2B	418.6	418.4	414.6	414.6
3B	418.5	418.3	414.1	414.1
4B	418.4	418.2	413.3	412.2
5B	418.5	418.3	411.2	411.3
6B	418.2	418.0	411.2	411.2
7B	418.5	418.3	411.9	411.9
8B	418.3	418.1	412.4	412.4
9B	418.4	418.2	413.1	413.3
10B	418.4	418.2	413.7	413.6
11B	418.4	418.2	414.1	414.1
12B	418.5	418.3	414.6	414.8
13B	418.5	418.3	N/A	415.3

Last Saved: 2/13/2023 10:51 AM By: RHM/tjb
Tighe & Bond: J:\T0377 Thompson School\006 Thompson Track\Drawings_Figures\AutoCAD\Sheet\T0377-TRACK REPLACEMENT PLAN SET.dwg



1. FIELD STAKE THE LIMITS OF CONSTRUCTION.
2. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER OR OWNER'S REPRESENTATIVE, TOWN ENGINEER, DESIGN ENGINEER, CONTRACTOR AND SITE SUPERINTENDENT TO ESTABLISH THE LIMITS OF CONSTRUCTION, CONSTRUCTION PROCEDURES, AND MATERIAL STOCKPILE AREAS. CONTRACTOR TO "CALL BEFORE YOU DIG" (1-800-922-4455) PRIOR TO HOLDING PRE-CONSTRUCTION MEETING,
3. INSTALL ALL APPLICABLE SOIL AND EROSION CONTROL MEASURES AROUND THE PERIMETER OF THE SITE TO THE EXTENT POSSIBLE. THIS WILL INCLUDE SILT FENCE AROUND THE PROJECT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
4. INSTALL ANTI-TRACKING PAD IN THE AREAS AS SHOWN ON THE PLANS. ALL CONSTRUCTION ACCESS SHALL BE INTO THE SITE THROUGH THE ANTI-TRACKING PADS.
5. ESTABLISH TEMPORARY STOCKPILE AREA AND STAGING AREA. PROVIDE SILT FENCE/HAYBALE BARRIER AROUND SOIL STOCKPILE AREA.
6. REMOVE EXISTING TRACK INCLUDING RUBBER SURFACING, ASPHALT AND SUBBASE.
7. REMOVE EXISTING BLEACHER PADS.
8. MAKE NECESSARY CUTS AND FILLS REQUIRED AND ESTABLISH THE SUBGRADE FOR THE NEW TRACK AND ALL OTHER PAVED SURFACES. STABILIZE AREA.
9. INSTALL ALL DRAINAGE TO THE MAXIMUM EXTENT PRACTICABLE. GRADE THE AREA AROUND THE STORM DRAINAGE SYSTEM AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
10. INSTALL ALL OTHER SITE UTILITIES.
11. INSTALL CONCRETE BLEACHER PAD.
12. FINE GRADE ALL SUBGRADE AND PROVIDE SUBBASE FOR TRACK AREA, WALKWAYS, AND OTHER PAVED AREAS.
13. PAVE FIRST & SECOND COURSE OF PAVEMENT IN TRACK AREA, WALKWAYS, AND OTHER PAVED AREAS.
14. COMPLETE ALL LANDSCAPING ACTIVITIES INCLUDING LOAM AND SEED OF ALL DISTURBED AREAS.
15. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR TRACK SURFACING. INSPECT DRAINAGE SYSTEM AND CLEAN AS NEEDED.
16. INSTALL TRACK SURFACING
17. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS (SILT FENCE, HAYBALE, ETC.).



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Thompson Track Replacement

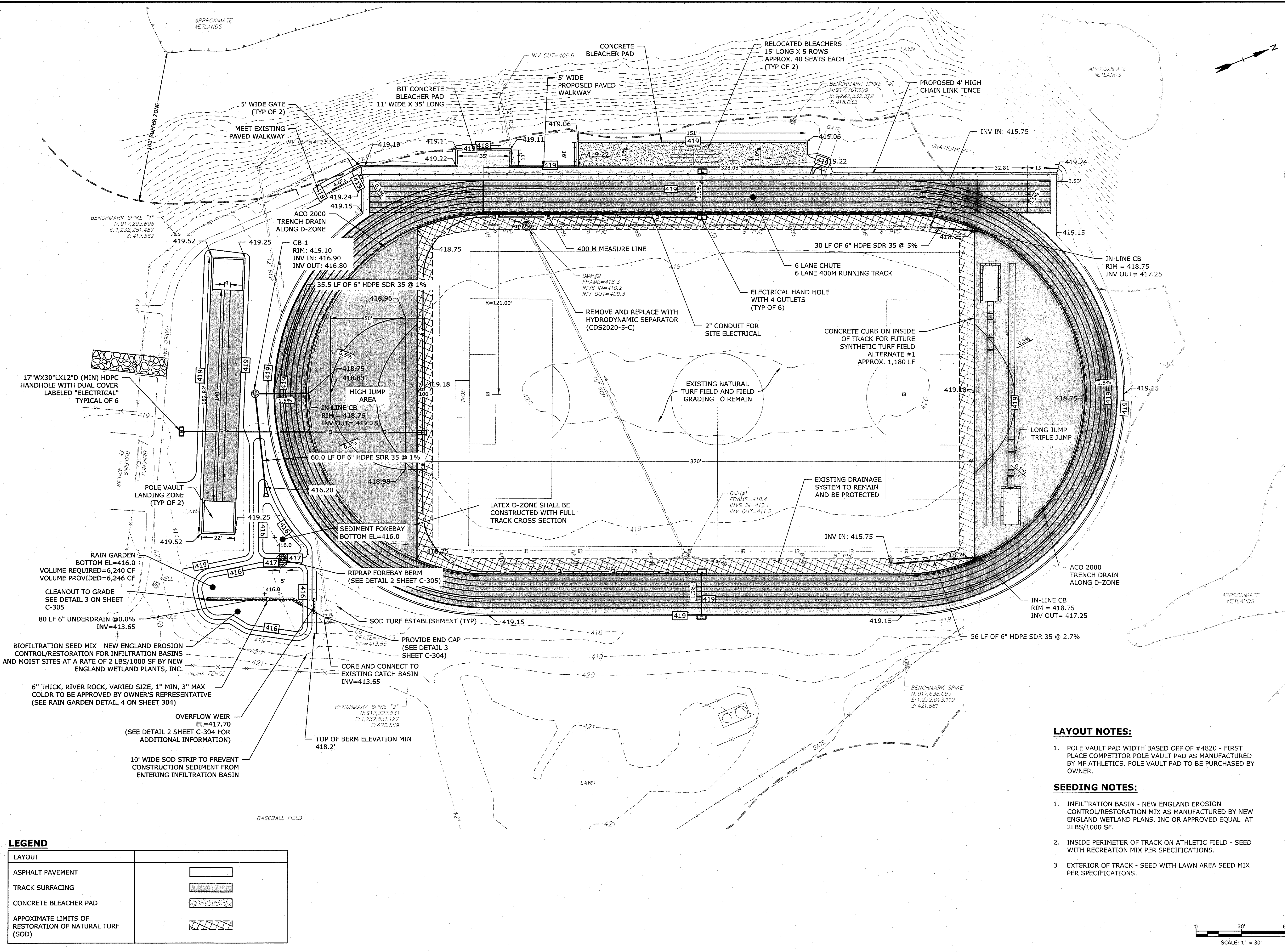
Thompson
Public School
District

North
Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.dwg	
DRAWN BY:	RMM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

PROPOSED CONDITIONS
PLAN

SCALE:
C-201
SHEET 5 OF 10



LAYOUT NOTES:

- POLE VAULT PAD WIDTH BASED OFF OF #4820 - FIRST PLACE COMPETITOR POLE VAULT PAD AS MANUFACTURED BY MF ATHLETICS. POLE VAULT PAD TO BE PURCHASED BY OWNER.

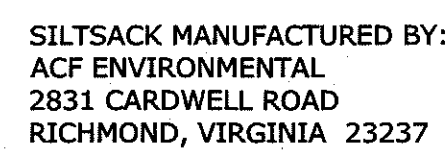
SEEDING NOTES:

- INFILTRATION BASIN - NEW ENGLAND EROSION CONTROL/RESTORATION MIX AS MANUFACTURED BY NEW ENGLAND WETLAND PLANS, INC OR APPROVED EQUAL AT 2LBS/1000 SF.
- INSIDE PERIMETER OF TRACK ON ATHLETIC FIELD - SEED WITH RECREATION MIX PER SPECIFICATIONS.
- EXTERIOR OF TRACK - SEED WITH LAWN AREA SEED MIX PER SPECIFICATIONS.

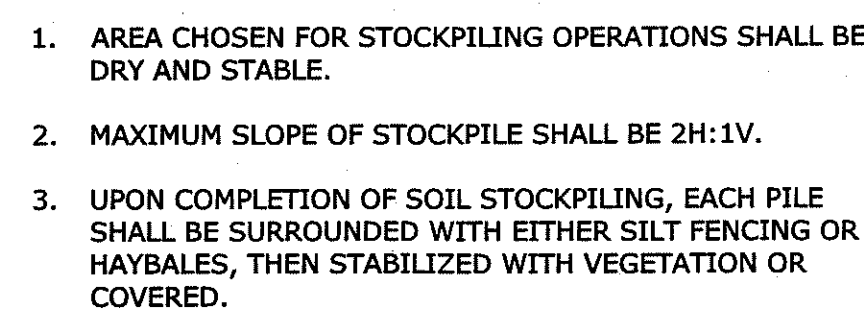
LEGEND

LAYOUT	
ASPHALT PAVEMENT	
TRACK SURFACING	
CONCRETE BLEACHER PAD	
APPROXIMATE LIMITS OF RESTORATION OF NATURAL TURF (SOD)	

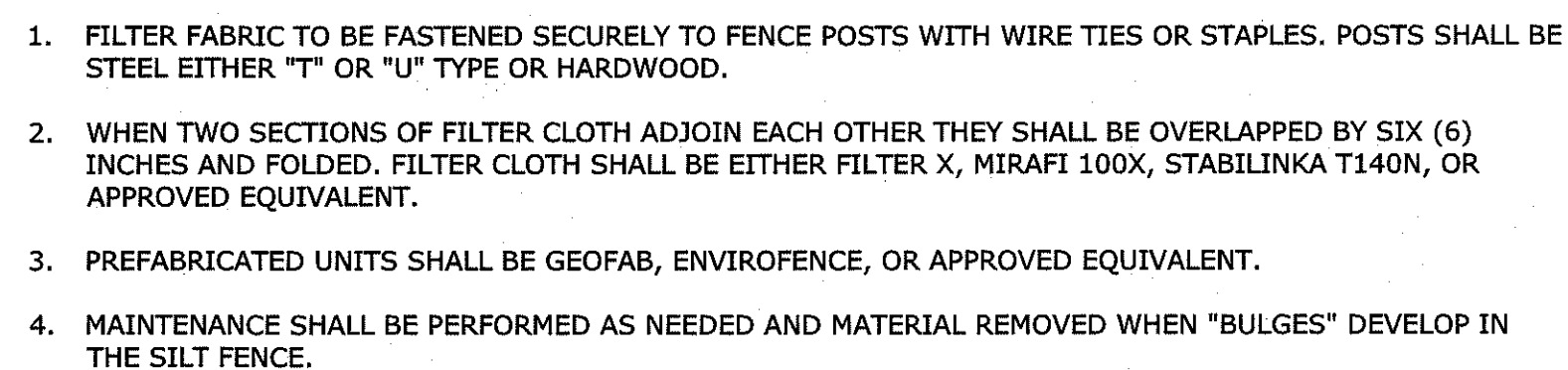
0 30' 60'
SCALE: 1" = 30'



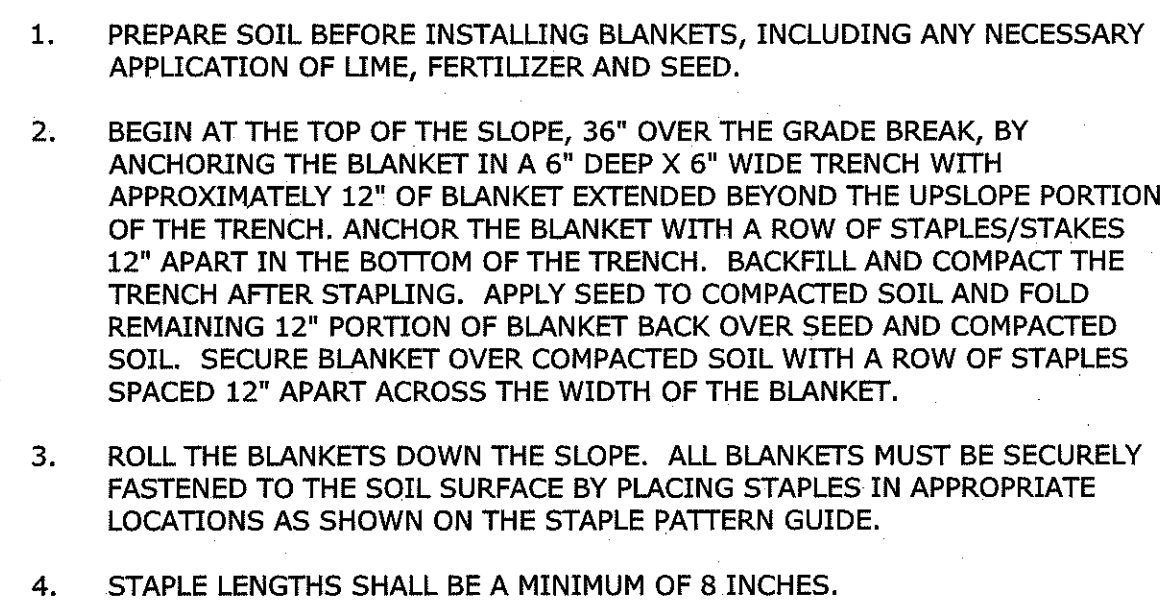
DETAIL	1
NO SCALE	-



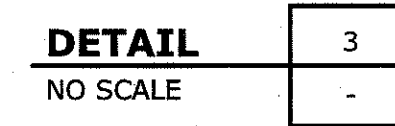
DETAIL	4
NO SCALE	-



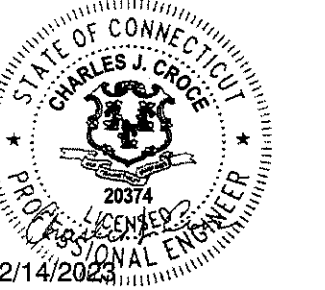
DETAIL	2
NO SCALE	-



DETAIL	5
NO SCALE	-



STATE OF CONNECTICUT
ANDREW P. WHITE
27761
LICENSED
MECHANICAL ENGINEER
02/14/2022



North
Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:		T0377-006
DATE:		02/09/2023
FILE: T0377-TRACK REPLACEMENT PLAN SET.dwg		
DRAWN BY:		RMM
DESIGNED/CHECKED BY:		BLM
APPROVED BY:		APW/CJC

SITE DETAILS - 1

SCALE: AS SHOWN

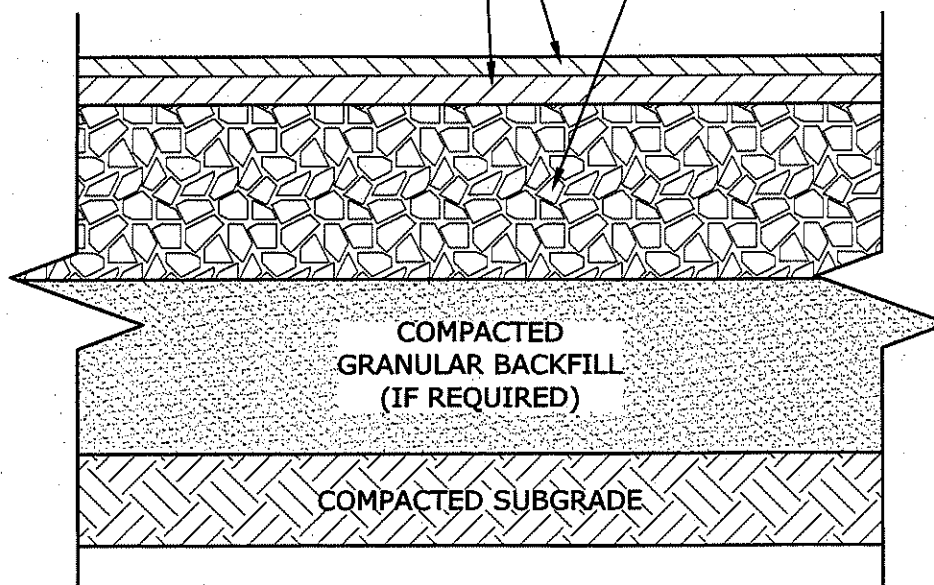
C-301
SHEET 6 OF 10

Last Saved: 2/13/2023 9:52am By: R Morrison
Plotted On: Feb 14, 2023 9:52am By: R Morrison
Tighe & Bond 2/13/2023 Thompson Track Replacement Plan Set.dwg

1 1/2" THICK BITUMINOUS CONCRETE CLASS 2
SURFACE COURSE, CTDOT, FORM 818, ARTICLE
M.04.01

2 1/2" THICK BITUMINOUS CONCRETE CLASS 1
BINDER COURSE, CTDOT, FORM 818, ARTICLE
M.04.01

12" THICK PROCESSED AGGREGATE
BASE, CTDOT, FORM 818, ARTICLE
M.05.01

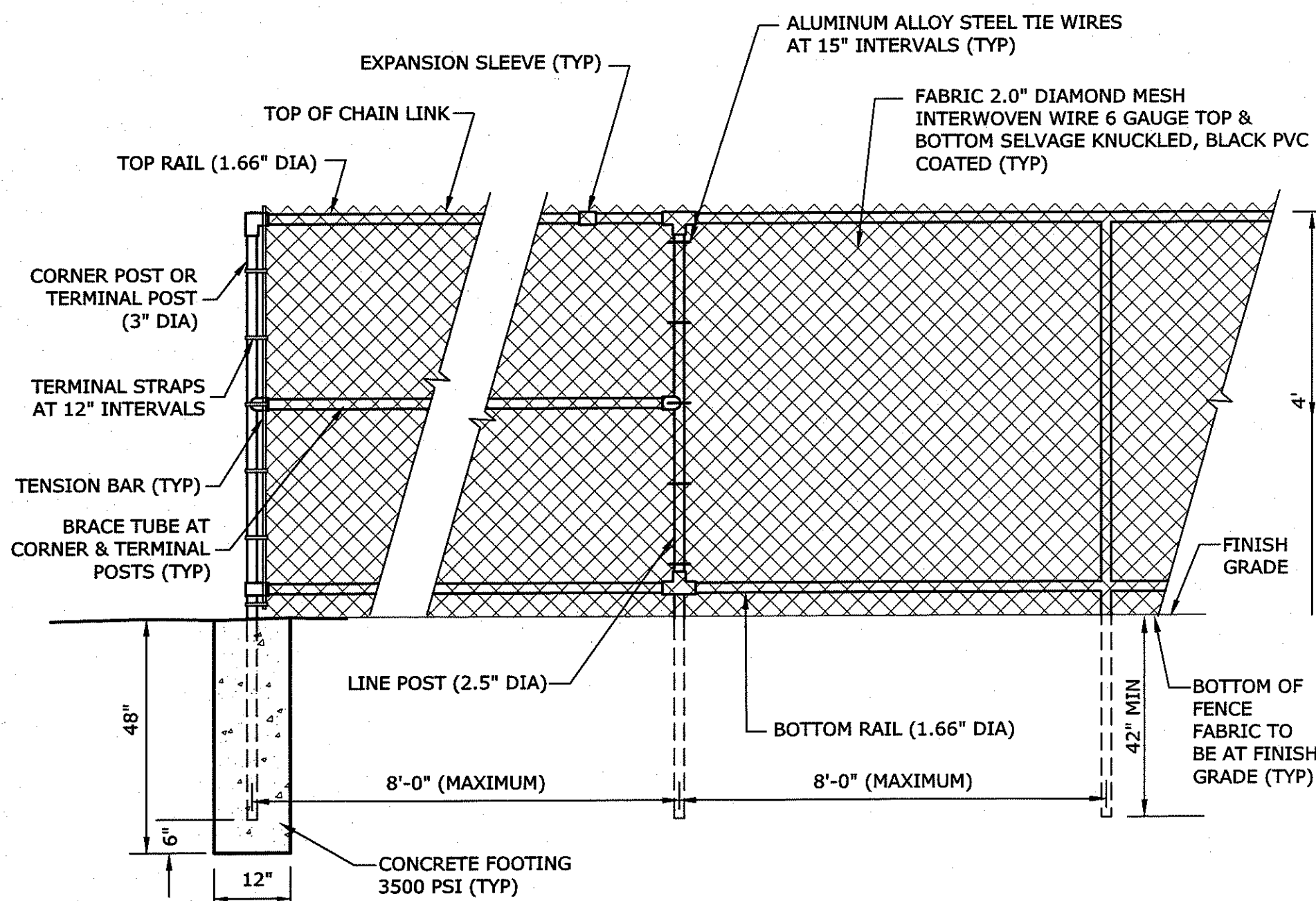


NOTES

- SEE SITE PLAN FOR PAVEMENT WIDTH, LOCATION, SLOPE, AND CROSS-SLOPE.
- A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING SURFACE COURSE.
- PROCESSED AGGREGATE BASE GRADATION SHALL CONFORM WITH CTDOT, FORM 818, ARTICLE M.05.01-1. THE RECLAIMED MISCELLANEOUS AGGREGATE ARTICLE M.05.01-2(C) IS NOT ACCEPTABLE.
- ALL BITUMINOUS CONCRETE, SUBBASE, AND LIQUID BITUMEN SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND SPECIFICATION REQUIREMENTS IN CTDOT FORM 818, INCLUDING ALL ADDENDA.

TYPICAL PAVEMENT SECTION

DETAIL	1
NO SCALE	-

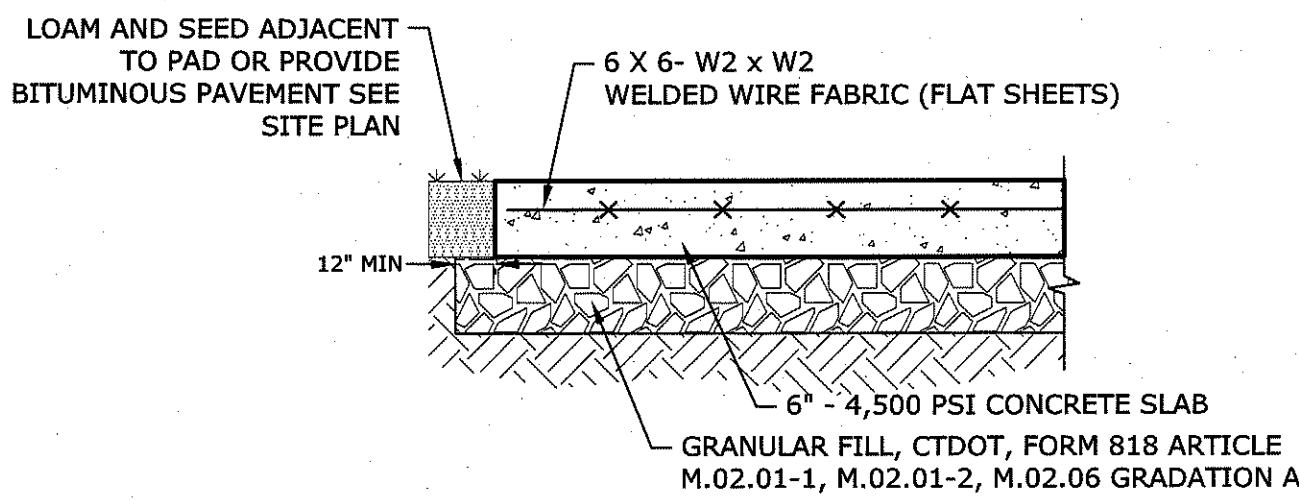


NOTES

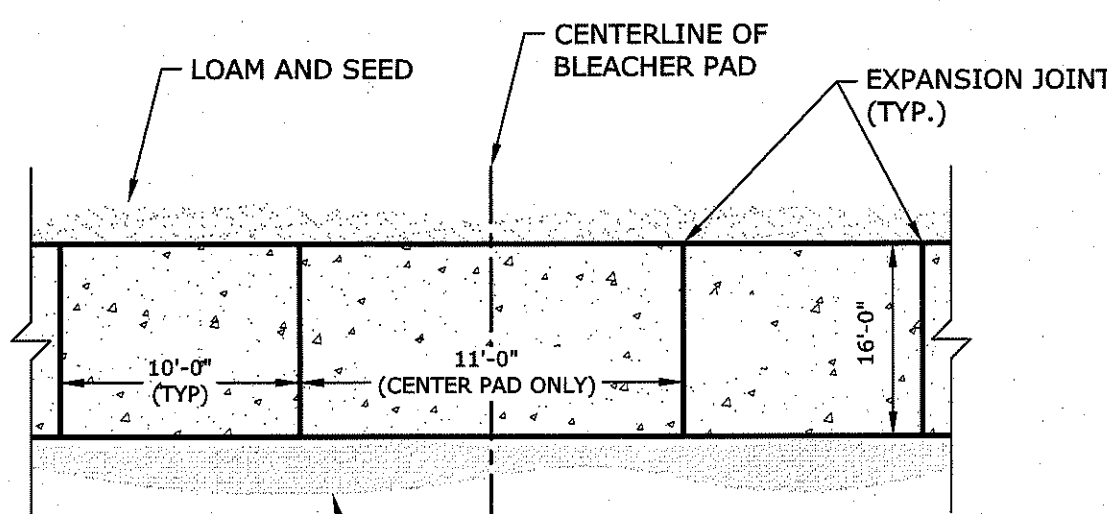
- POST SPACING SHALL BE 8' MAX.
- ALL FENCE FABRIC, POST AND RAILS SHALL BE BLACK PVC COATED, FUSE BONDED.
- USE MID RAIL ON FENCES AT ALL END POSTS AND AT ALL GATES.

CHAIN LINK FENCE

DETAIL	4
NO SCALE	-



SECTION



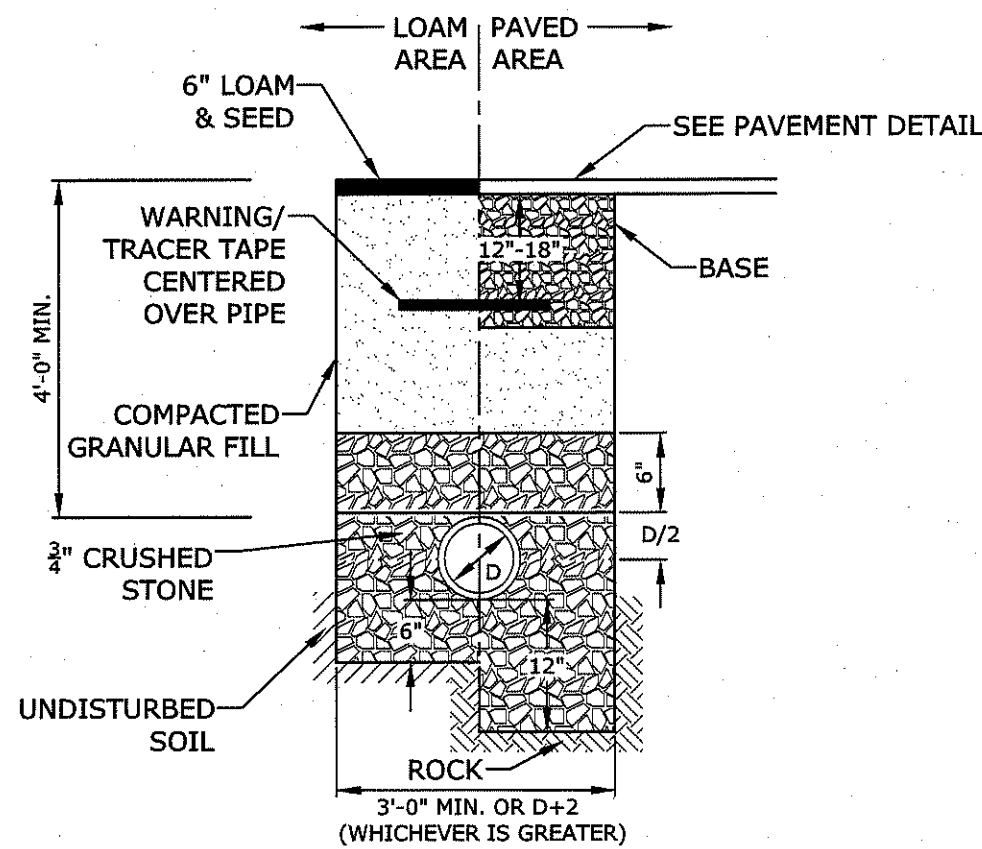
PLAN

NOTES:

- CONCRETE BLEACHER PAD DESIGN PER DANT CLAYTON 141' LONG - 6 ROW NON-ELEVATED, 475 PERSON BLEACHER PAD DESIGN.
- CONTRACTOR TO CONFIRM FINAL BLEACHER PAD DESIGN WITH OWNER PRIOR TO POURING PAD.

CONCRETE BLEACHER PAD

DETAIL	2
NO SCALE	-

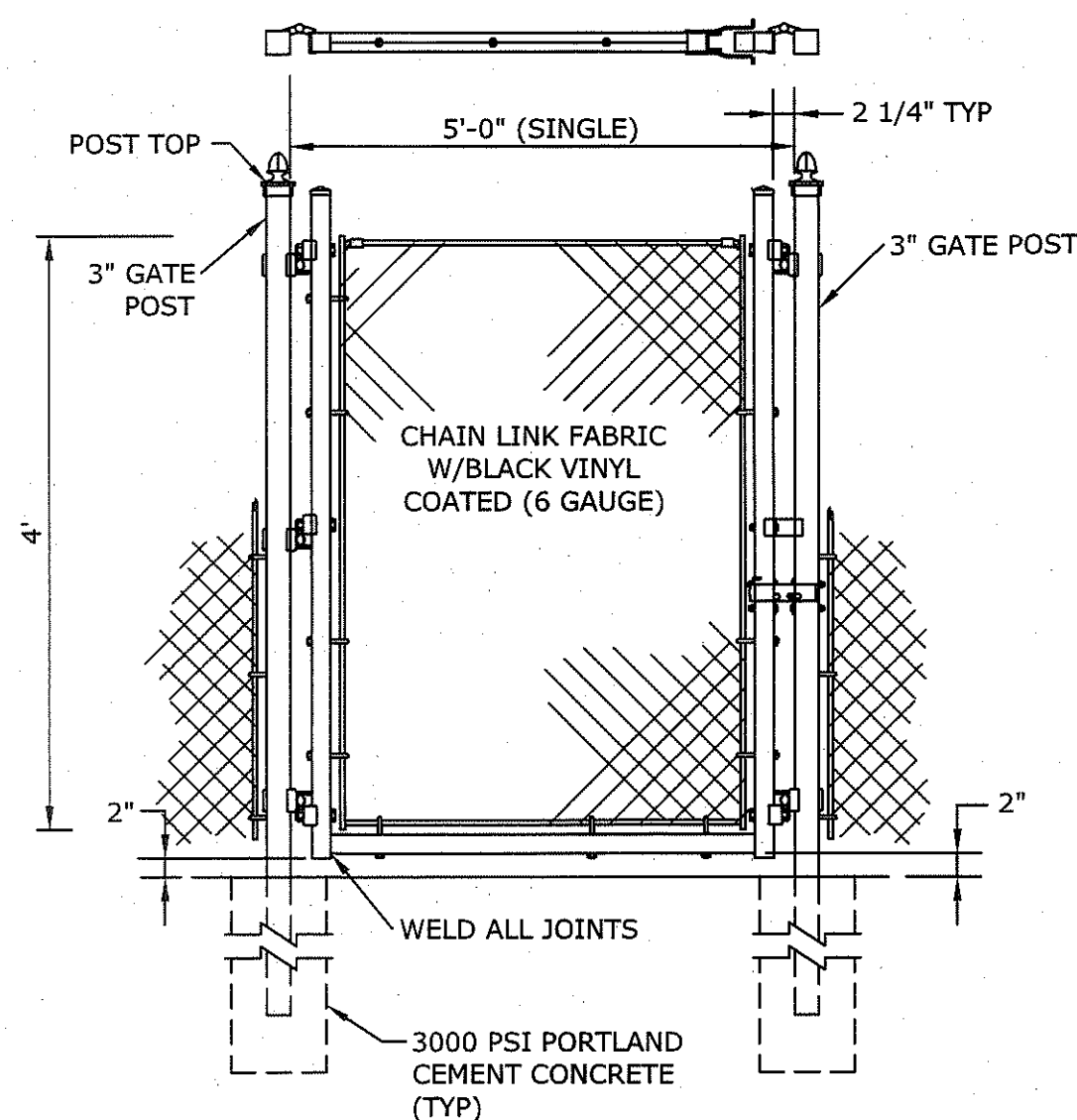


NOTES

- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
- ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES.

STORM DRAIN TRENCH

DETAIL	5
NO SCALE	-

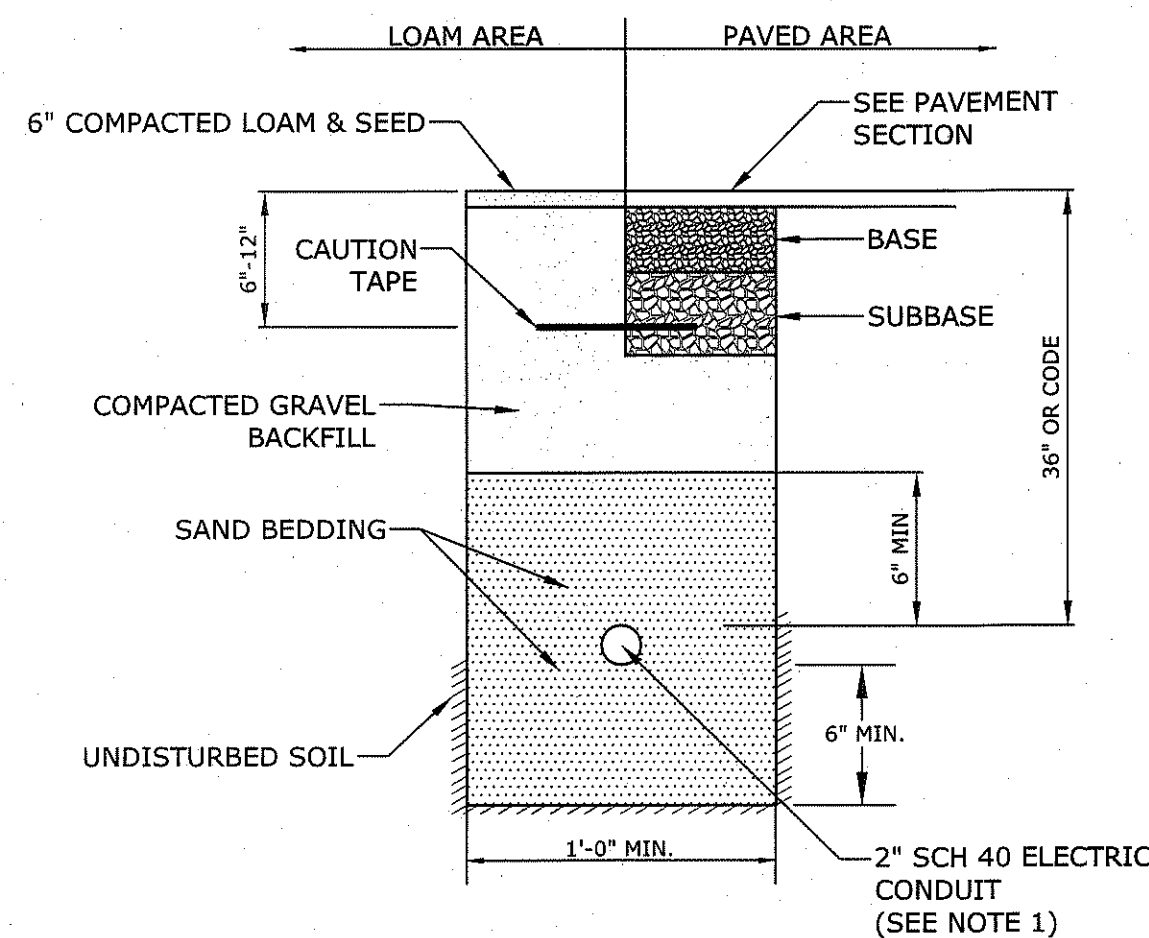


NOTES

- FOOTING WIDTH TO BE (4)X POST WIDTH 5'-0".
- GATES MAY BE MANUALLY OPERATED.

SWING GATE

DETAIL	3
NO SCALE	-



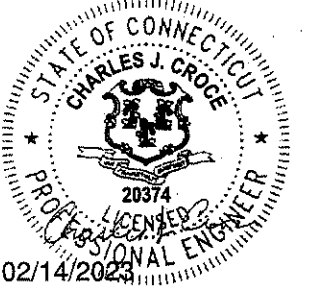
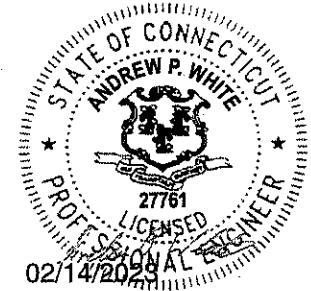
NOTES

- CONDUITS ARE TO BE INSTALLED WITH TWO (2) WIRE PULL CORDS INSTALLED.
- NO CONDUCTORS TO BE PROVIDED. CONDUIT BE PROVIDED FOR FUTURE PHASES.

SITE ELECTRIC CONDUIT TRENCH

DETAIL	6
NO SCALE	-

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Thompson
Track
Replacement

Thompson
Public School
District

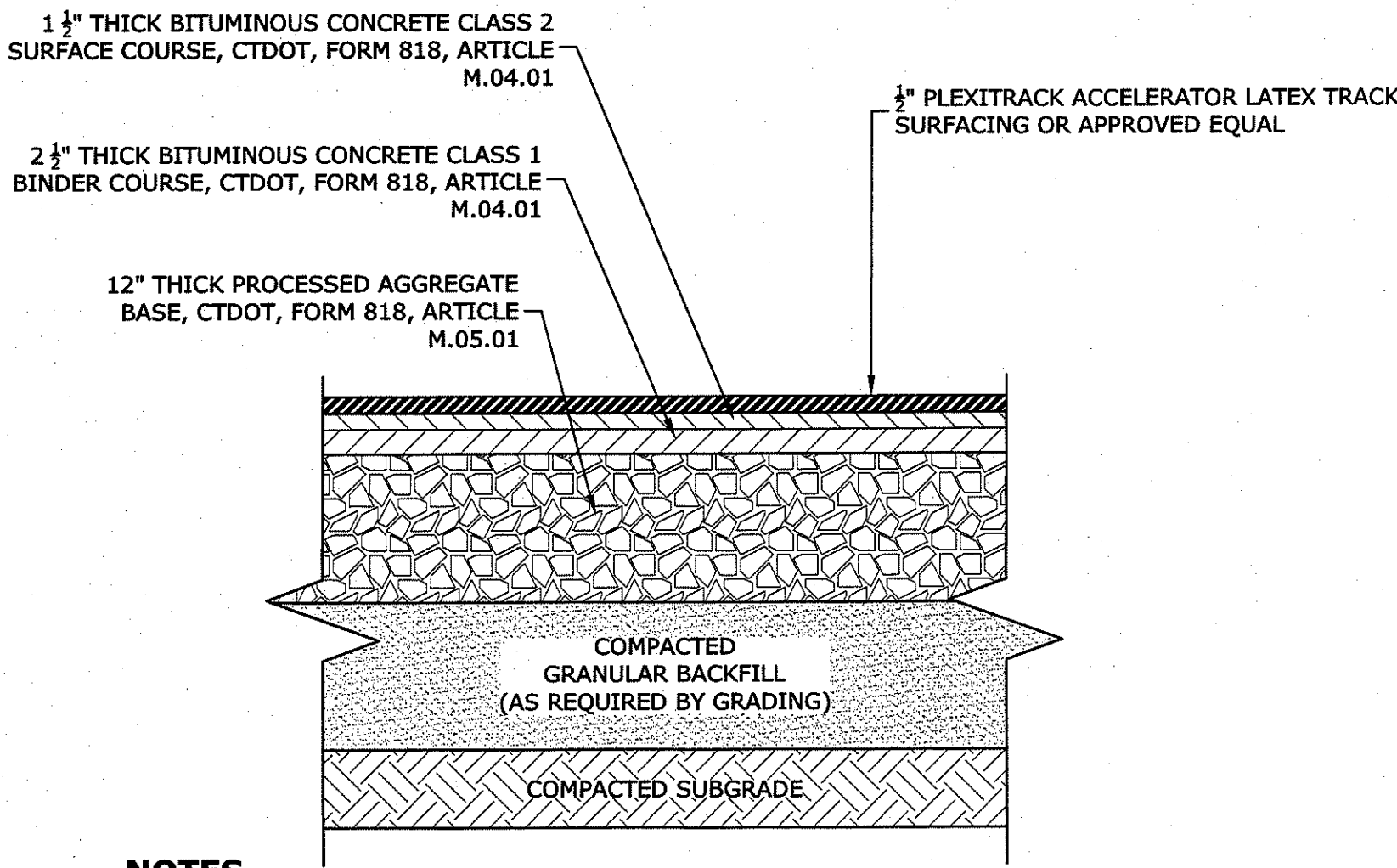
North
Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.dwg	
DRAWN BY:	RMM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

SITE DETAILS - 2

SCALE: AS SHOWN

C-302
SHEET 7 OF 10

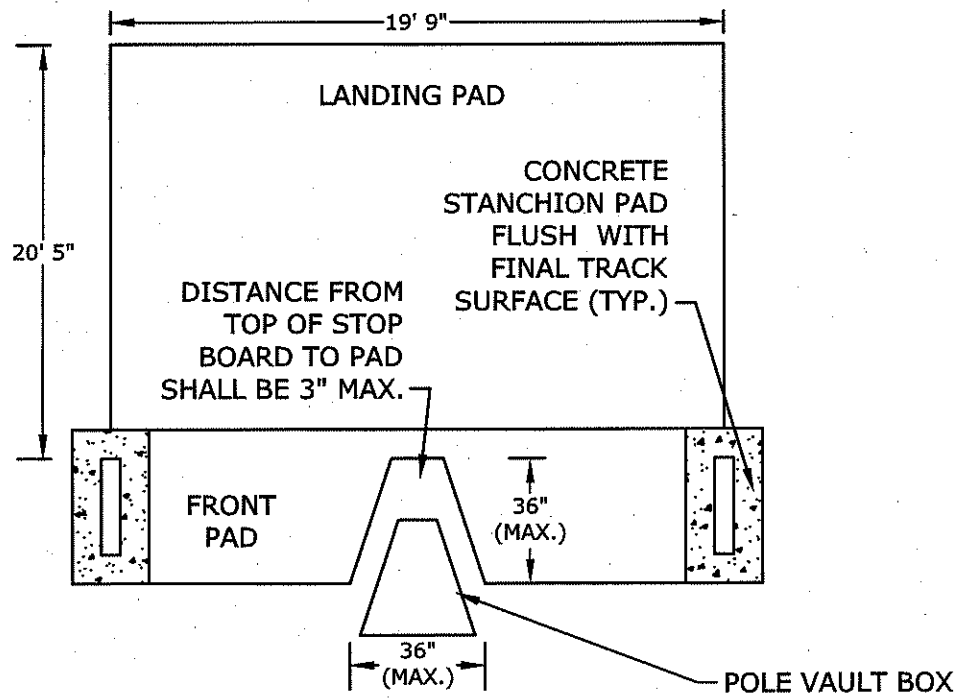


NOTES

- SEE SITE PLAN FOR PAVEMENT WIDTH, LOCATION, SLOPE, AND CROSS-SLOPE.
- A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING SURFACE COURSE.
- PROCESSED AGGREGATE BASE GRADATION SHALL CONFORM WITH CTDOT, FORM 818, ARTICLE M.05.01-1. THE RECLAIMED MISCELLANEOUS AGGREGATE ARTICLE M.05.01-2(C) IS NOT ACCEPTABLE.
- ALL BITUMINOUS CONCRETE, SUBBASE, AND LIQUID BITUMEN SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND SPECIFICATION REQUIREMENTS IN CTDOT FORM 818, INCLUDING ALL ADDENDA.
- CONTRACTOR TO MEET WITH OWNER AND TRACK SURFACE INSTALLER TO ESTABLISH SPECIAL REQUIREMENTS, PROPER SEQUENCE AND METHOD OF INSTALLATION.

TRACK SECTION

DETAIL	1
NO SCALE	-

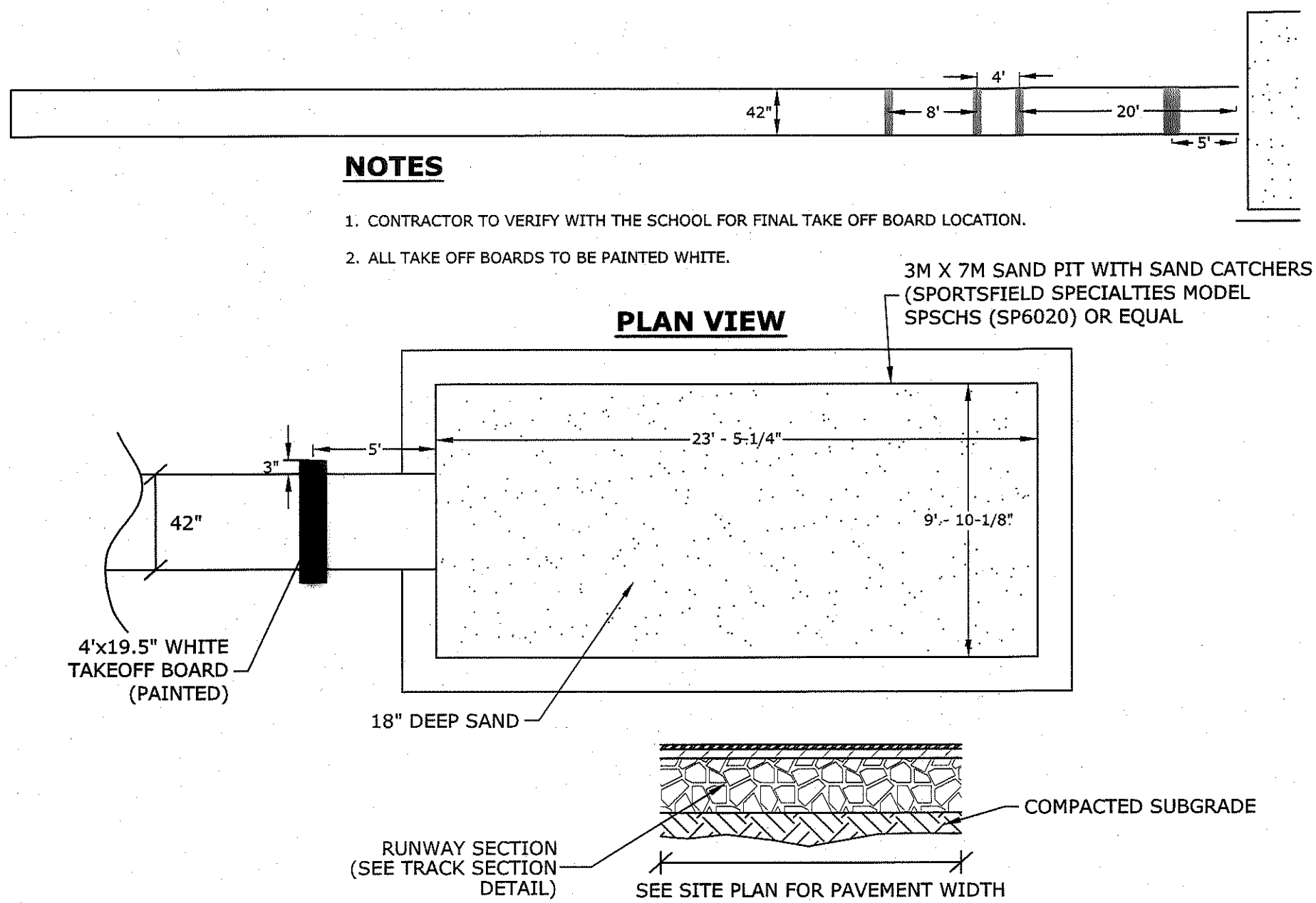


NOTES

- LANDING PAD (PROVIDED BY OTHERS) IS TO BE THE #4820 - FIRST PLACE COMPETITOR AS MANUFACTURED BY MF ATHLETICS.
- STANCHION AND PAD DIMENSIONS ARE TO BE PROVIDED BY OWNER.
- INCLINATION SHALL BE LIMITED TO 2% LATERALLY AND 1% IN THE RUNNING DIRECTION.
- THE RUNWAY SHALL BE MINIMUM 130 FEET LONG MINIMUM AND 48" WIDE.
- THE PLANTING BOX SHALL BE CONSTRUCTED OF CONCRETE, METAL, OR OTHER HARD SURFACED MATERIAL INTO WHICH THE VAULTING POLE IS PLACED. THE BOX SHALL BE IN THE DIMENSIONS SHOWN ABOVE AND SHALL BE PLACED SO THE TOP EDGES ARE AT GROUND LEVEL. THE STOP BOARD AT THE END OF THE PLANTING PIT SHALL BE PLACED AT AN ANGLE OF 105 DEGREES WITH THE BASE OF THE BOX.

POLE VAULT LANDING PAD

DETAIL	2
NO SCALE	-

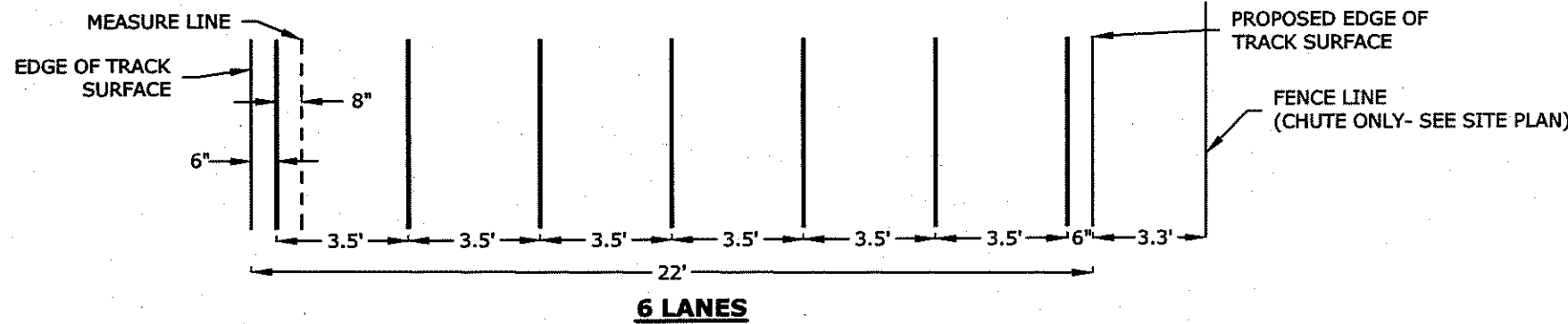


NOTES

- THE INCLINATION SHALL BE 2% MAX LATERALLY AND 1% IN THE JUMPING DIRECTION.
- THE RUNWAY SHALL HAVE A WIDTH OF 42".
- THE LANDING PIT SHALL BE FILLED WITH SAND OR OTHER SOFT MATERIAL AND LEVEL WITH TAKE OFF BOARD.
- CONTRACTOR TO PROVIDE PIT COVERS (SPORTSFIELD SPECIALTIES SP6800 OR EQUAL) WITH SYNTHETIC TRACK SURFACE APPLIED.

LONG JUMP

DETAIL	3
NO SCALE	-

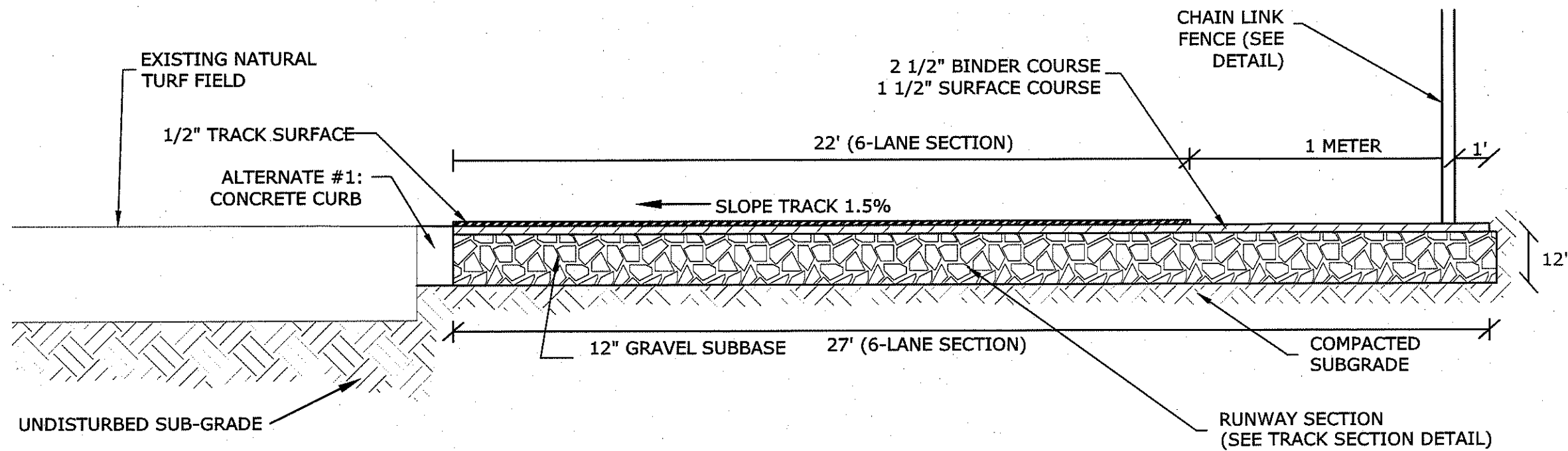


NOTES

- CONTRACTOR TO VERIFY WITH ENGINEER LOCATION OF FINAL STRIPING PRIOR TO SURFACING, TO ESTABLISH INNER LANE LINES OF LANE 1 AND OUTER LANE LINE OF LANE 6.

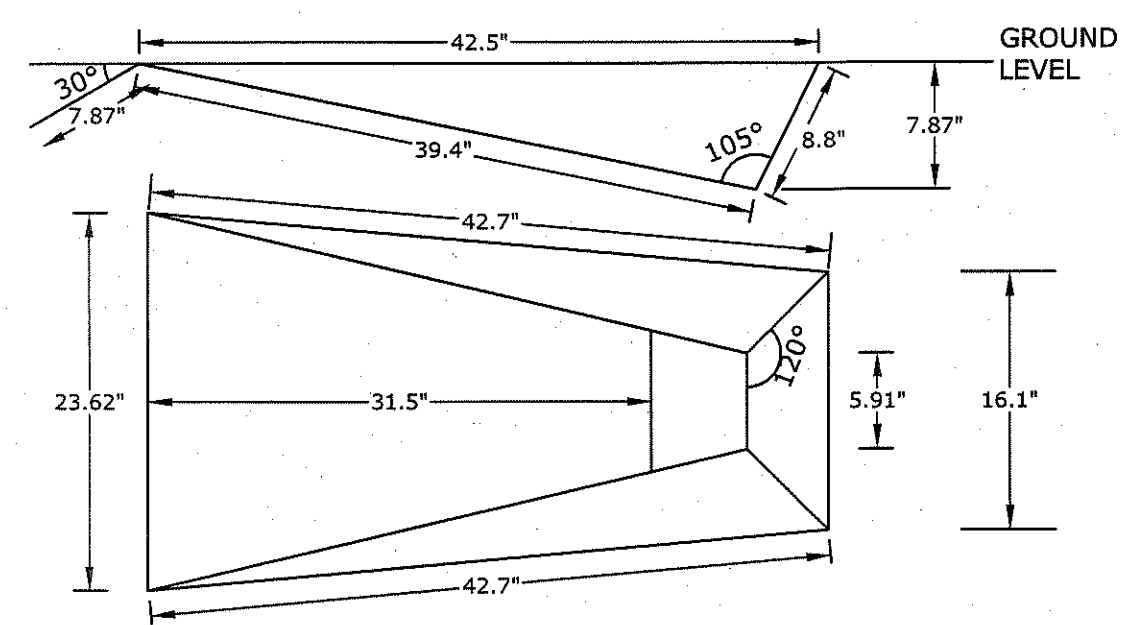
TRACK SURFACING AND LINE MARKING

DETAIL	4
NO SCALE	-



NOTES

- SURFACE SHALL BE PLEXITRAC ACCELERATOR OR EQUAL (RED).
- ATHLETIC TRACK INSTALLERS TO PROVIDE SPECIFIC MATERIAL CERTIFICATIONS, WARRANTIES, LANE MARKINGS ETC. PRIOR TO CONSTRUCTION.
- EXISTING SUBGRADE TO BE VERIFIED BY CONTRACTOR IN FIELD AND APPROVED BY THE PROJECTS GEOTECHNICAL ENGINEER.
- THE EXISTING SUBGRADE MATERIAL BENEATH THE EXISTING TRACK MAY BE USED IF THE BASE MATERIAL MEETS THE GRADATION AND COMPACTION REQUIREMENTS AS APPROVED BY THE PROJECTS GEOTECHNICAL ENGINEER.



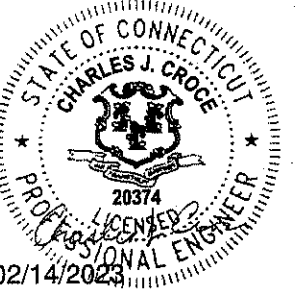
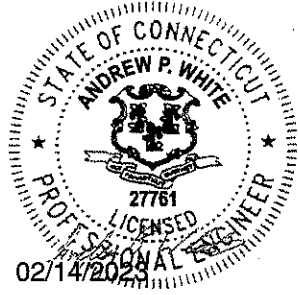
NOTES

- VAULT BOX SHALL BE SPORTSFIELD SPECIALTIES PVBACW CAST ALUMINUM POLE VAULT BOX OR APPROVED EQUAL.
- VAULT BOX COVER SHALL SPORTSFIELD SPECIALTIES PVBPCP COVER/PLUG FOR CAST ALUMINUM POLE VAULT BOX OR APPROVED EQUAL.

POLE VAULT PLANTING PIT

DETAIL	5
NO SCALE	-

Tighe & Bond



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Thompson Track Replacement

Thompson Public School District

North Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.dwg	
DRAWN BY:	RMM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

SITE DETAILS - 3

SCALE: AS SHOWN

C-303
SHEET 8 OF 10



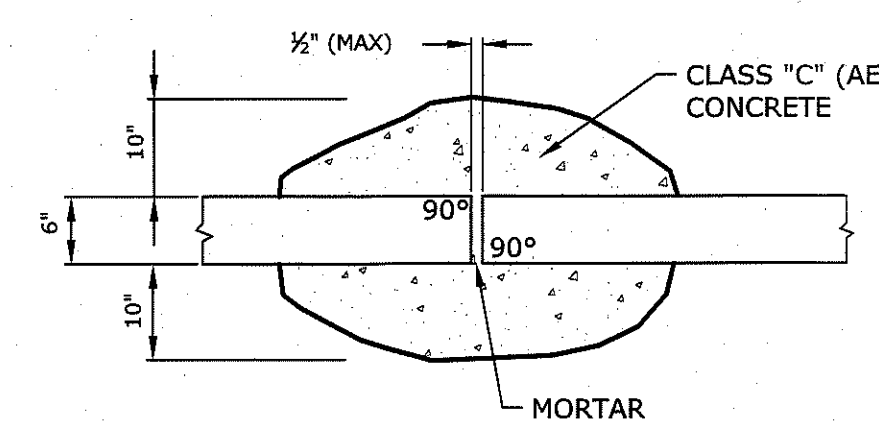
1. THE INCLINATION OF THE HIGH JUMP APPROACH SHALL BE 1% OR LESS (SEE GRADING PLAN).
2. SEE TRACK SECTION FOR HIGH JUMP AREA CROSS-SECTION.

HIGH JUMP

DETAIL	1
NO SCALE	-



GRANULAR FILL, CTDOT, FORM 818
ARTICLE M.02.01-1, M.02-01-2, M.02.06
GRADATION A

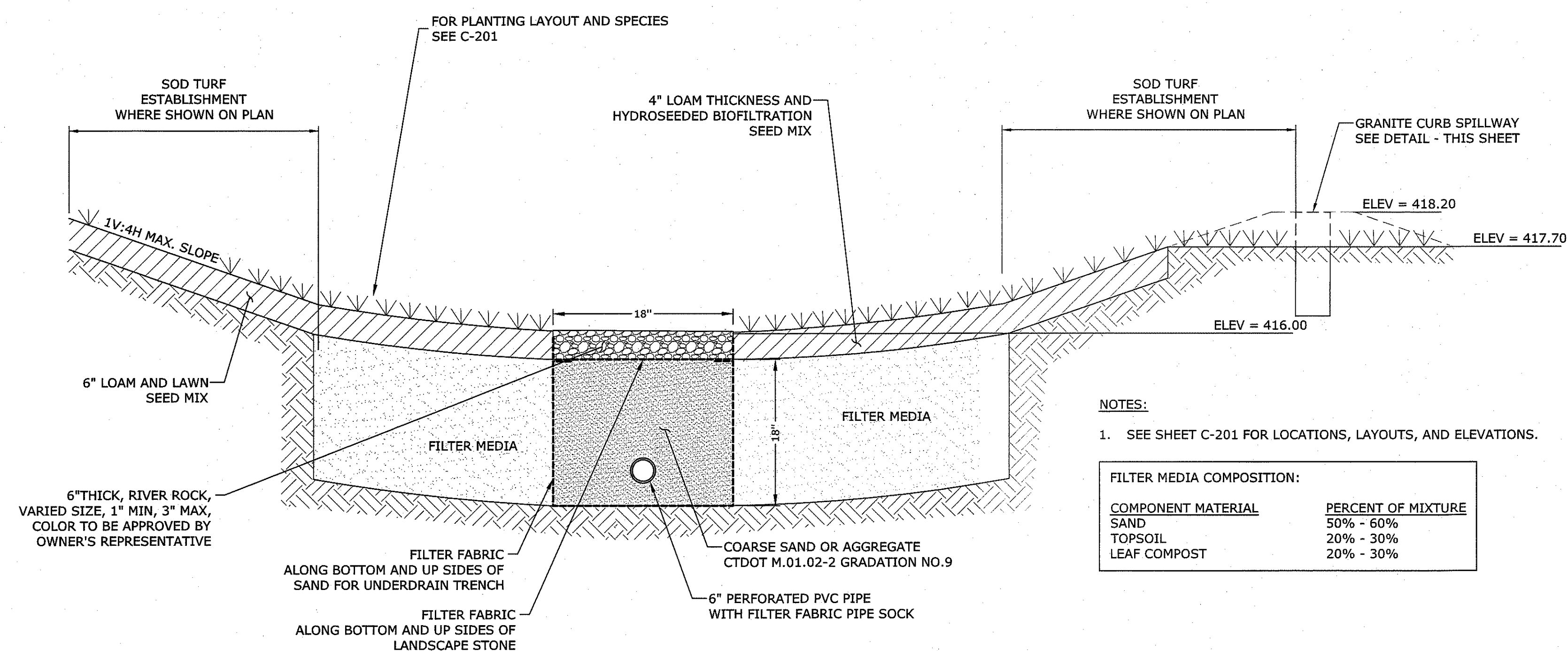


GRANITE CURB SPILLWAY DETAIL
NO SCALE

DETAIL	2
NO SCALE	-



DETAIL	3
NO SCALE	-



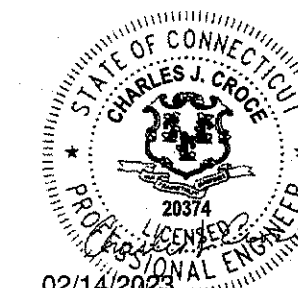
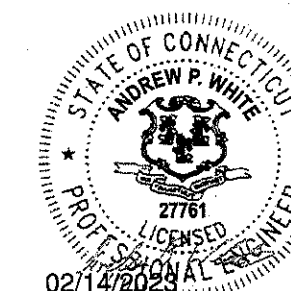
RAIN GARDEN TYPICAL CROSS SECTION
NO SCALE

DETAIL	4
NO SCALE	-

NOTES:

1. SEE SHEET C-201 FOR LOCATIONS, LAYOUTS, AND ELEVATIONS.

FILTER MEDIA COMPOSITION:	
<u>COMPONENT MATERIAL</u>	<u>PERCENT OF MIXTURE</u>
SAND	50% - 60%
TOPSOIL	20% - 30%
LEAF COMPOST	20% - 30%

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Thompson Track Replacement

Thompson
Public School
District

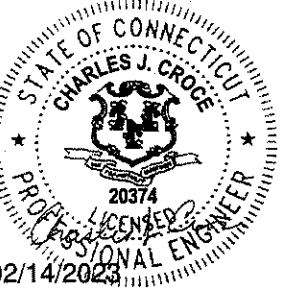
North
Grosvenordale, CT

[illegible]

SITE DETAILS - 4

SCALE: AS SHOWN

C-304
SHEET 9 OF 10



ISSUED FOR
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Thompson
Track
Replacement

Thompson
Public School
District

North
Grosvenordale, CT

MARK	DATE	DESCRIPTION
PROJECT NO:	T0377-006	
DATE:	02/09/2023	
FILE:	T0377-TRACK REPLACEMENT PLAN SET.dwg	
DRAWN BY:	RMM	
DESIGNED/CHECKED BY:	BLM	
APPROVED BY:	APW/CJC	

SITE DETAILS - 5

SCALE: AS SHOWN

C-305
SHEET 10 OF 10

CDS2020-5-C DESIGN NOTES

THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
- SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:			
INLET PIPE 1	I.E.	MATERIAL	DIAMETER
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
		*	*
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES

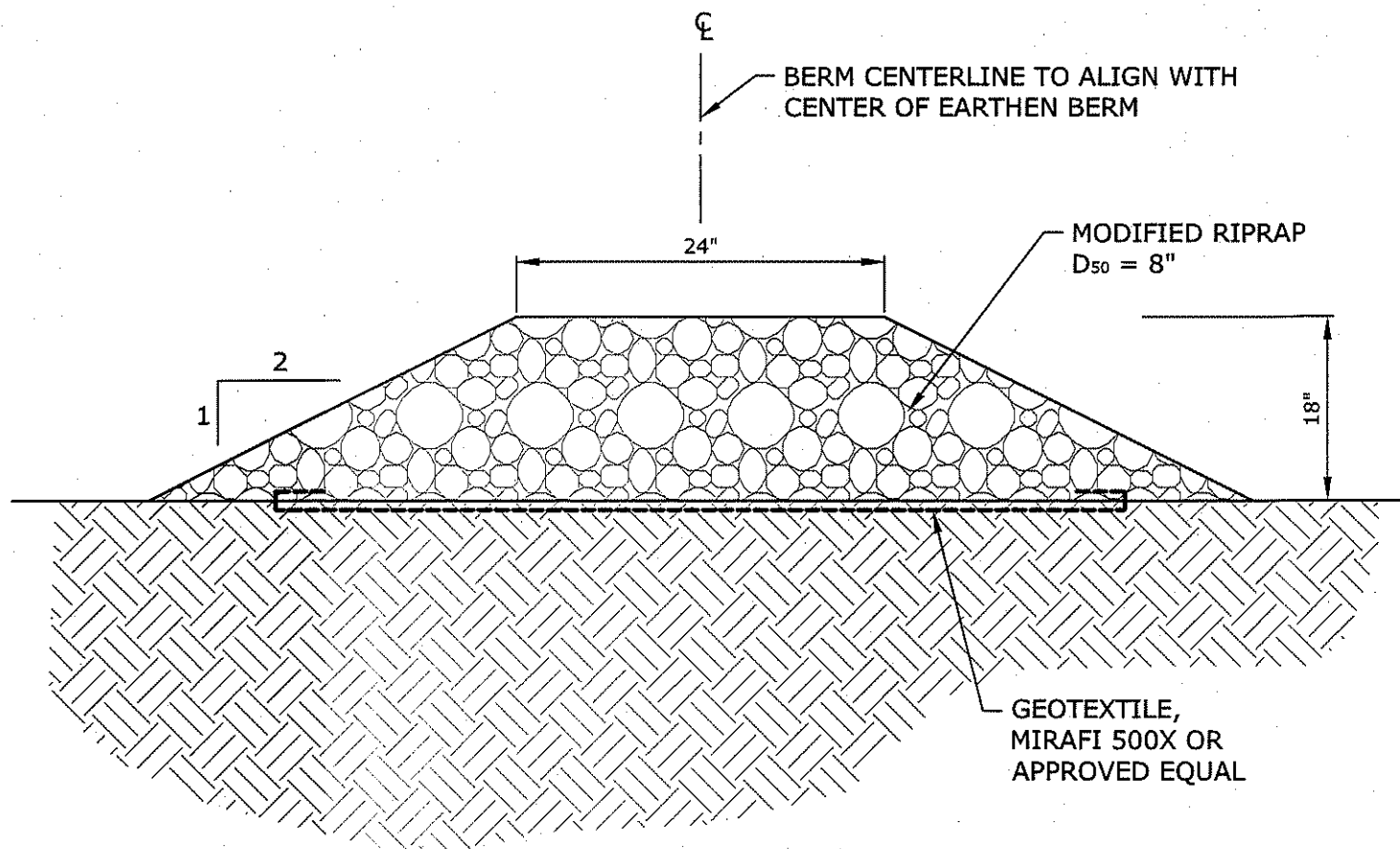
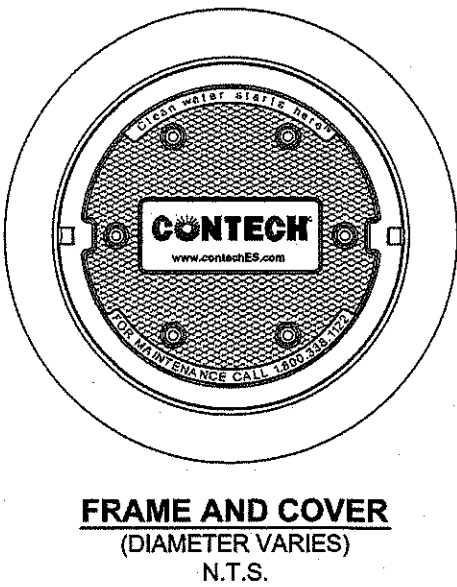
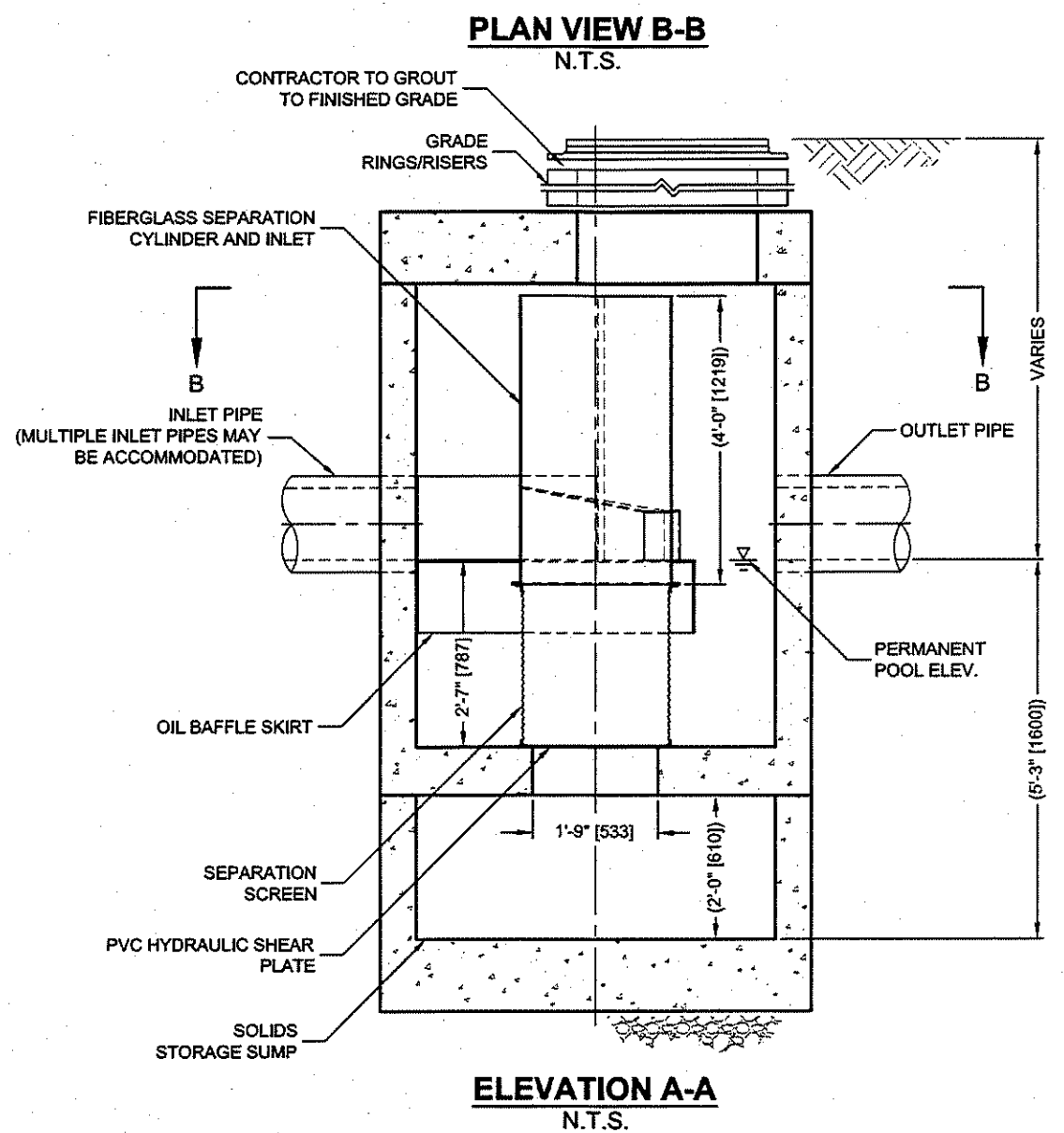
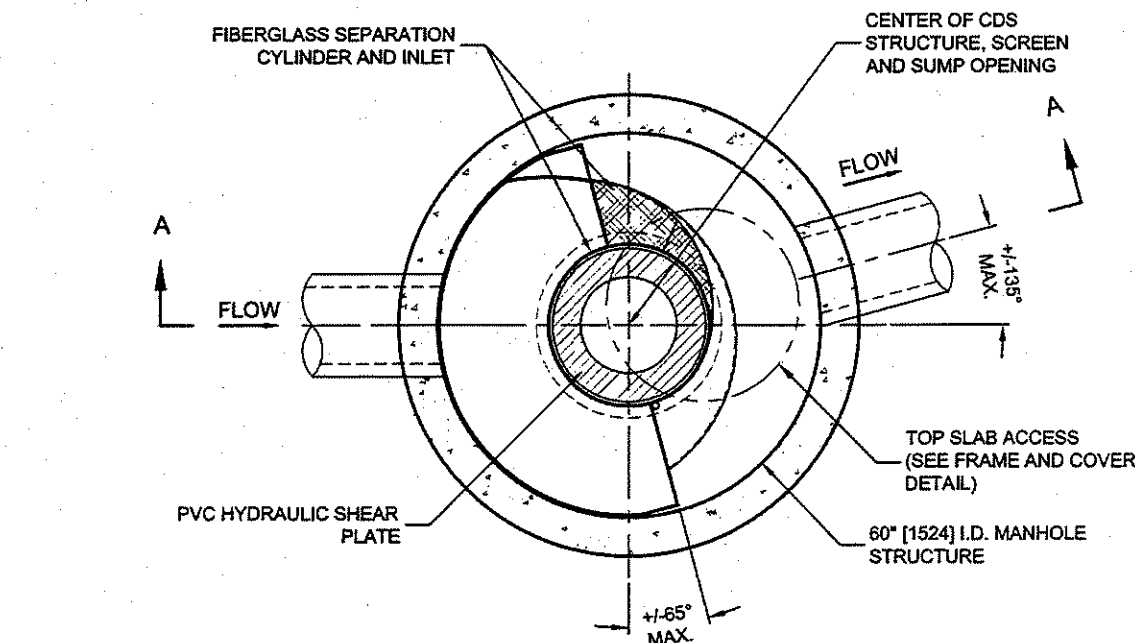
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET H20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS2020-5-C
INLINE CDS
STANDARD DETAIL

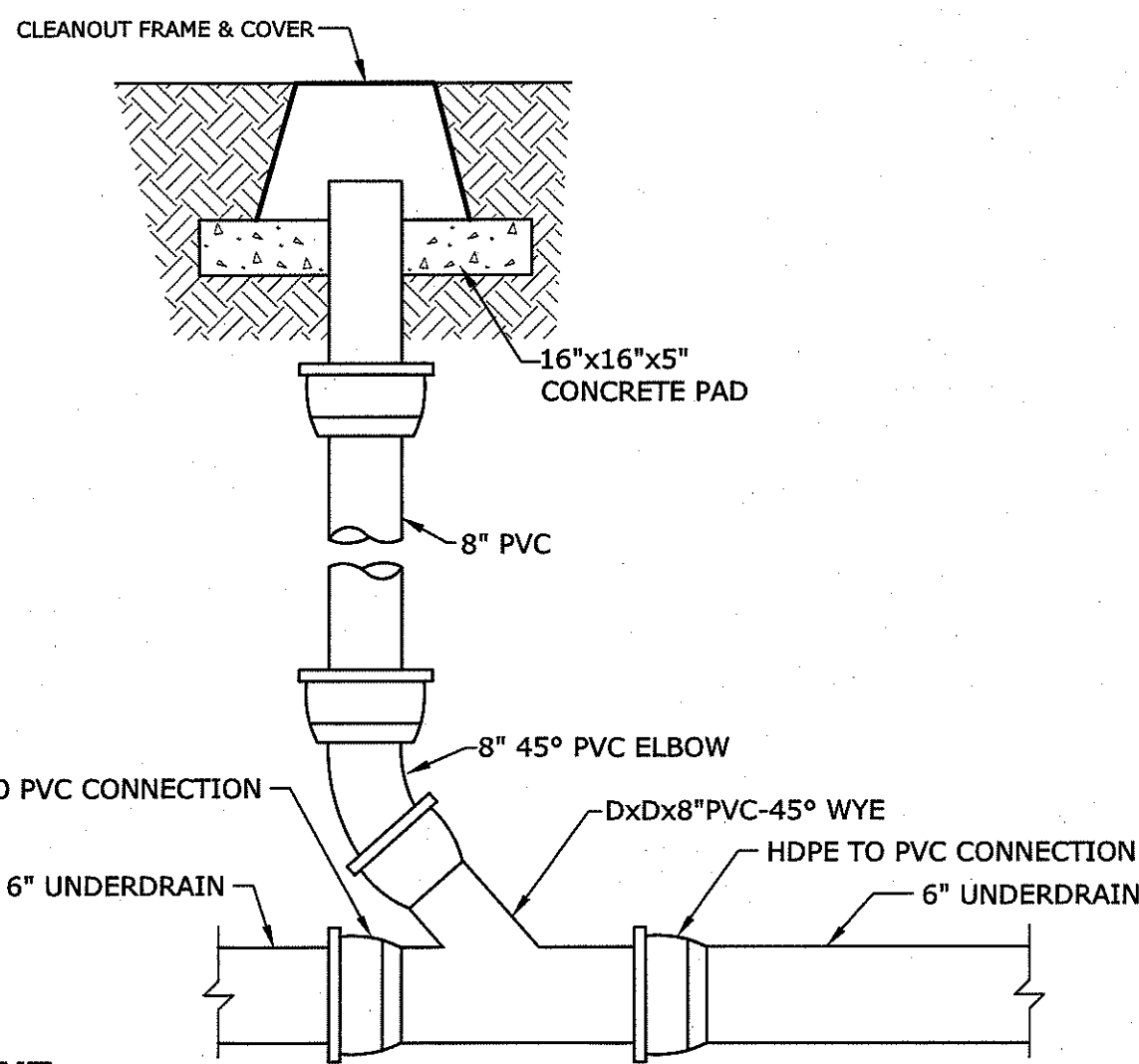
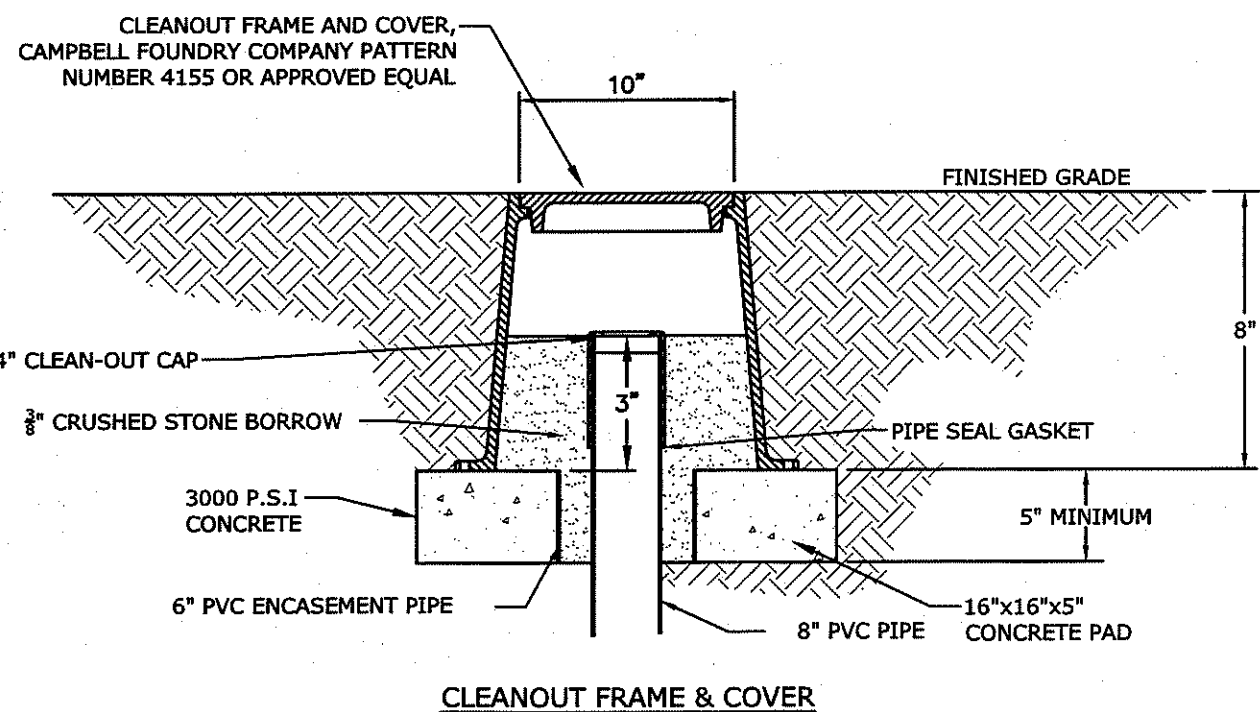


RIPRAP FOREBAY BERM NO SCALE

DETAIL	2
NO SCALE	-

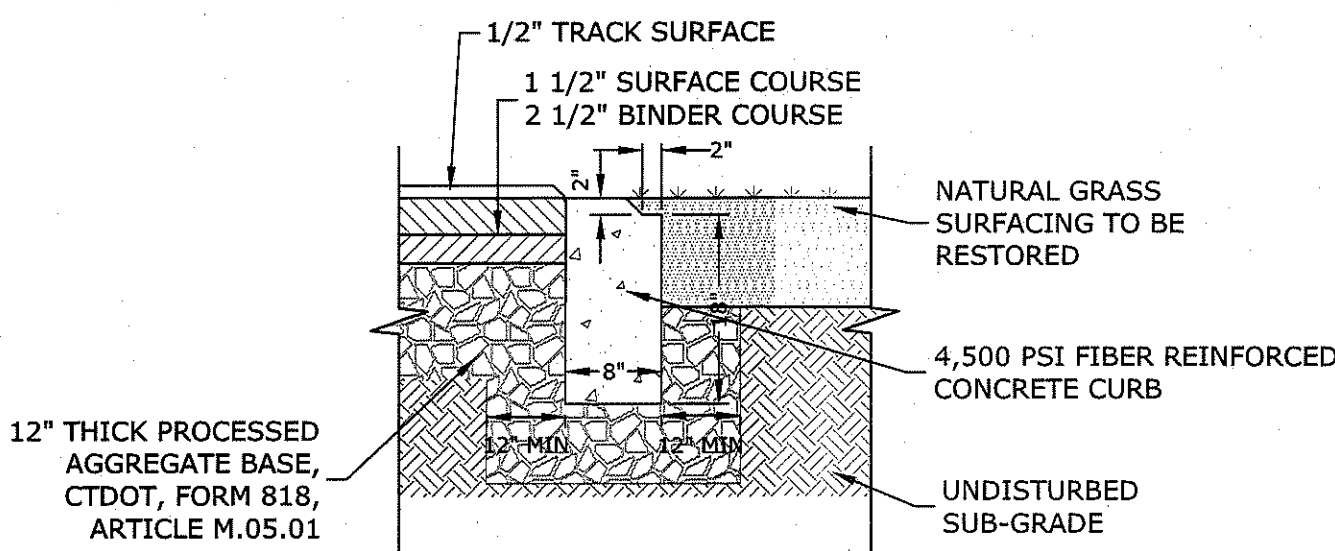
HYDRODYNAMIC SEPARATOR DETAIL NO SCALE

DETAIL	1
NO SCALE	-



UNDERDRAIN CLEANOUT SCALE: N.T.S.

DETAIL	3
NO SCALE	-



NOTES:

- CONTRACTOR SHALL PROVIDE CONCRETE DESIGN MIX SUBMITTAL TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

CONCRETE CURB - ALTERNATE #1

DETAIL	4
NO SCALE	-

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Agenda Item E.c) Applications Received After Agenda
was Published

None

Agenda Item F) Permit Extensions / Changes - None

Agenda Item G.a) Violations & Pending Enforcement Actions

Notice of Permit Violation VIOL21036, Permit
IWA20022, Marc Baer, 1227 Thompson Rd
(Assessor's map 116, block 24, lot 10), grades not
as authorized in modified plan approved by the
Commission on February 9, 2021 - status.

Agenda Item G.b) Violations & Pending Enforcement Actions

Notice of Violation VIOL22031, Douglas and Roberta Gray, 0 New Road, (Assessors map 154, block 3, lot2J), watercourse alternative causing flooding, issued 11/23/22 - status.

Agenda Item H.a) Other Business

Update on Proposed Revisions Subdivision Regulations

**Next PZC Subcommittee Special Meeting to be held March 22,
2023 - Agenda to be posted in the future**

Agenda Item H.b) Other Business

FY23-24 Budget

**For Board of Finance Budget Workshop Meeting
Schedule see BOF 3/16/23 Posted Agenda**

Agenda Item H.c) Other Business

Review of By-laws

**TOWN OF THOMPSON
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT. 06255**

BYLAWS OF THE THOMPSON INLAND WETLANDS COMMISSION

Revised ~~May 10, 2022~~???

ARTICLE I PURPOSE AND AUTHORIZATION

The objectives and purposes of the Town of Thompson Inland Wetlands Commission are those set forth in the Connecticut General Statutes section 22a-36 through 22a-45, as amended, and those powers and duties delegated to the Town of Thompson Inland Wetlands Commission by the aforementioned statutes and by ordinances enacted by the Town of Thompson in accordance with its regulations established there under (hereafter referred to as “the IWC Regulations”).

ARTICLE II NAME

The Commission shall be known as the Thompson Inland Wetlands Commission.

ARTICLE III OFFICE OF AGENCY

The office of the Thompson Inland Wetlands Commission shall be the Municipal Building at 815 Riverside Drive, North Grosvenordale, CT, where all Commission records will be kept.

ARTICLE IV MEMBERSHIP

1. The membership, terms of members and the filling of vacancies shall be as specified in the ordinance adopted on May 20, 1974, as amended May 6, 2019, establishing the Commission and the aforementioned general statutes. The number of members shall be five (5) and two (2) alternates, with terms of office of five (5) years for staggered terms of five (5) years beginning on March 15th wherein no more than two (2) terms expire in the same calendar year.
2. Resignations from the Commission shall be in writing and transmitted to the Chair, who will then forward it to the Board of Selectmen and the Town Clerk.
3. The Chair may recommend to the Board of Selectmen the removal of any member who misses more than 50% of the Commission's regular meetings in a calendar year.

ARTICLE V OFFICERS AND THEIR DUTIES

1. The officers of the Commission shall consist of a Chair, Vice-Chair, and a Treasurer.

2. The Chair shall preside at all meetings and hearings of the Commission and shall have the duties normally conferred by parliamentary usage on such officers. The Chair shall have the authority to seat alternates, appoint committees, call special meetings, establish the agenda, and generally perform other duties as may be prescribed in these bylaws.
3. The Chair shall have the privilege of discussing all matters before the Commission and of voting thereon.
4. In the absence of the Chair, the Vice-Chair shall preside and have all the powers and duties of the Chair as stated in these bylaws. In the event that the Vice-Chair is acting Chair at the start of the meeting, he or she shall remain as Chair throughout the entire meeting.
5. The Treasurer shall be responsible for reporting on account balances in the Commission's budget at its regular meetings and shall on the request of the Commission conduct an investigation of expenditures from the inland wetlands budget and report to the Commission with the results of the requested investigation. The Treasurer may from time to time conduct an investigation of expenditures from the inland wetlands budget and report to the Commission any concerns regarding such expenditures.

ARTICLE VI STAFF AND THEIR DUTIES

1. The Commission may by a majority vote appoint a duly authorized agent to carry out specific functions and duties as prescribed by the Commission. These duties may include:
 - a) making determinations of regulated activities except for those identified in section 4 of the IWC Regulations and issuing wetlands agent approvals provided the duly authorized agent has provided proof of completing the comprehensive training program developed pursuant to § 22a-39(l) of the Connecticut General Statutes²⁵
 - b) issuing notices of violation and enforcement orders²⁵
 - c) making permit compliance inspections²⁵
 - d) investigating complaints²⁵ and
 - e) authorize the expenditure of funds up to \$100 without the prior approval of the Commission.
2. The duly authorized agent shall make a report to the Commission at its regular meeting. Such report shall consist of a list and description of all determination, approvals and activities performed.
3. Any determination or approval made by the duly authorized agent is subject to appeal and/or approval by the Commission.
4. The Commission shall include in its annual fiscal budget proposal funding for a Recording Secretary who may be hired by the chief elected official. The Recording Secretary shall in coordination with the Chair or the duly authorized agent produce and file agendas, minutes, draft and arrange for the publication of legal notices, draft permits for approved applications, keep records of the Commission all in accordance with the Freedom of Information Act (Chapter 14 of the Connecticut General Statutes), the Inland Wetlands and Watercourses Act

(§ 22a-36 through 22a-45 of the Connecticut General Statutes) and other applicable statutes and perform other such duties as may be identified in a job description for the Recording Secretary.

ARTICLE VII ELECTION OF OFFICERS

1. An Annual organizational meeting shall be held on the second Tuesday in April at which time officers will be elected and bylaws reviewed and be made a part of the minutes of the annual meeting. A majority of the members must be present before election of officers can take place.
2. Nominations shall be made from the floor at the annual organizational meeting and elections of the officers specified in Section 1 of Article V shall follow immediately thereafter.
3. A candidate receiving a majority vote of those present shall be declared elected and shall serve for one year or until his successor shall take office.
4. Vacancies in offices shall be filled by election at a meeting warned for the purpose.

ARTICLE VIII MEETINGS

1. In the event that both Chair and Vice-Chair are absent at the start of a meeting, the Treasurer shall preside and have all the powers and duties of the Chair as stated in these bylaws and he or she shall remain as Chair throughout the meeting.
2. Alternates shall be seated by the Chair as regular members in alphabetical order by last name on a rotating basis. Unseated alternates may take part in Commission discussions but shall not vote except for election of officers.
3. An annual schedule of regular meetings shall be adopted at the November meeting for the following calendar year to be forwarded to the Town Clerk for filing under the Freedom of Information Act (see § 1-225(b) of the Connecticut General Statutes). Regular meetings will be scheduled for the second Tuesday of every month at 7:00 P.M. to be held either in a municipal building, virtually via ZOOM or in a hybrid format via ZOOM, except when there is a conflict with holidays or other events. Conflicts may be resolved by scheduling a regular meeting to an alternative date or alternatively by cancelling the regularly scheduled meeting and holding a special meeting in accordance with the requirements of the Freedom of Information Act (see § 1-225 of the Connecticut General Statutes).
4. Three (3) members constitute a quorum and no action on an agenda item may be taken in the absence of a quorum. If a member recuses himself/herself from any agenda item that results in a lack of a quorum, then no business on that item may be transacted.
5. All Commission meetings shall be open to the public unless closed by a two-thirds vote of the members present for an executive session.

6. Executive sessions closed to the public shall be limited to types of discussions specified in the state Freedom of Information Act, including but not limited to the following:
 - a) Specific employees (unless the employee agrees to an open session)²⁵
 - b) Strategy relating to negotiations regarding pending claims to litigation²⁵
 - c) Security matters²⁵ and
 - d) Real estate acquisition
7. The Chair shall govern the proceedings at the meetings of the Commission using as a guide Robert's Rules of Order, 11th edition in all cases to which they are applicable and in which they are not inconsistent with these bylaws and any special rules of order the Commission may adopt.

ARTICLE IX CONFLICT OF INTEREST AND DISQUALIFICATION

No member of the Commission shall participate as a Commission member in a hearing or decision of the Commission upon any matter in which he/she (or any member of his/her immediate family) is directly or indirectly involved financially and/or is an abutter of the property in question. If a member declares a conflict of interest, he/she must state that they have this interest and abstain from voting.

ARTICLE X ORDER OF BUSINESS

1. Unless otherwise determined by the Chair, the order of business at regular meetings shall be:
 - A. Call to Order & Role Call
 - B. Appointment of Alternates
 - C. Action on Minutes of Previous Meetings
 - D. Citizen's Comments Pertaining to Agenda Items
 - E. Applications
 - a. Old Applications
 - b. New Applications
 - c. Applications Received After Agenda was Published
 - F. Permit Extensions / Changes
 - G. Active Violations and Pending Enforcement Actions
 - H. Other Business
 - I. Citizen's Comments
 - J. Reports
 - a. Budget and Expenditures
 - b. Wetlands Agent Report
 - K. Correspondence
 - L. Signing of Mylars
 - M. Comments by Commission
 - N. Adjournment
2. A motion from the floor must be made and passed by a majority vote of the Commission members present in order to dispense with any item on the agenda or change the order of business.

ARTICLE XI

PUBLIC HEARINGS

1. A public hearing shall only be held by the Commission on any application in accordance with section 9 of the IWC Regulations and § 8-7d of the Connecticut General Statutes. All applications, maps, and documents relating to the hearing shall be open for public inspection. Any person may appear and be heard at any public hearing.
2. Where possible, public hearings shall be completed in a single session. However, the hearing may be continued (to a date and place certain) where necessary for the full development of the evidence, for the full participation of the parties, or for such other substantial purposes, provided that the public hearing shall be completed within thirty-five (35) days from the date it commenced, unless the applicant consents to an extension. Verbal notice at the public hearing as to the date and place where the continuation will take place shall be considered sufficient notice to interested parties.

ARTICLE XII

CONDUCTING THE PUBLIC HEARING

1. If a recording by a sound-recording device is made at the direction of the Commission, then such recording shall be maintained as a public document in accordance with the Freedom of Information Act and § 7-109 of the Connecticut General Statutes. An order of presentation and documents offered shall be submitted into the minutes of the Commission.
2. An officer of the Commission shall preside as Chair at the public hearing in accordance with Article V and Article VIII of these bylaws.
3. At the opening of the public hearing the Chair shall state a summary of the question or issue that is the subject of the public hearing and shall describe the method of conduct of the hearing including the order presentations, the reading of the legal advertisement and the involvement of the public at the hearing.
4. Comments shall be limited to the subject advertised for hearing.
5. Each party and members of the public shall make their presentation as provided for in the Chair's opening statement in succession without allowing an interruption of comments pro or con.
6. The Chair shall make clear to the hearing participants that all questions and comments must be directed through the Chair only after being properly recognized.
7. All persons recognized shall approach the hearing table in order to facilitate proper recording of comments. Before commenting on the matter before the hearing, each persons shall give his/her name and address.

8. The Chair shall assure an orderly hearing and shall take necessary steps to maintain the order and decorum of the hearing at all times. The Chair shall reserve the right to terminate the hearing in the event the discussion becomes unruly and unmanageable.
9. The polling of persons present at the hearing shall not be allowed on any general question presented to the Commission or applicant at the public hearing. The hearing shall be conducted only for the purpose of taking testimony to be considered in deliberations during the regular meeting of the Commission.

ARTICLE XIII THE HEARING RECORD

1. The hearing record shall consist of the following:
 - a) any recording of the hearing made at the direction of the Commission²;
 - b) minutes of the hearing²; and
 - c) all physical evidence and material received (i.e.: legal documents, reports, plans, etc).
2. Reports, documents, and plans received at previous meetings may be entered into the record of the public hearing.
3. Decisions shall be based solely on the contents of the hearing record. Documentary evidence not entered into the record of the hearing shall not be considered when rendering a final decision.

ARTICLE XIV COMMITTEES

Committees may be appointed by the Chair for purposes and terms that the Commission approves.

ARTICLE XV EMPLOYEES

Within the limits of the funds available for its use, the Commission may seek the employment of such staff personnel and/or consultants as it sees fit to aid the Commission in its work. Appointments shall be made by the Board of Selectmen.

ARTICLE XVI AMENDMENTS

These bylaws may be amended by a majority (3) vote of the entire voting membership of the Commission only after the proposed change has been read and discussed at a previous regular meeting except that the bylaws may be changed at any meeting by the unanimous vote of the entire voting membership (5) of the Commission.

Agenda Item H.d) Other Business

IWC Regulation Revisions

Special Meeting Dates for discussion of Substantive Changes

Agenda Item I

Citizens Comments on Agenda Items

Agenda Item J Reports

a) Budget & Expenditures

b) Wetlands Agent Report

Agenda Item K, Correspondence

None

Agenda Item L, Signing of Mylars - None

Agenda Item M, Comments by Commissioners

Agenda Item N, Adjournment