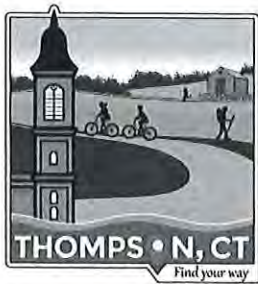


INLAND WETLANDS COMMISSION  
TUESDAY, February 13, 2024  
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C) a)  
Action on Minutes of Previous Meeting

1. Minutes of January 9th, 2024 – Regular Meeting
2. Minutes of January 25th, 2024 – Special Meeting
3. Minutes of January 30th, 2024 – Special Meeting
4. Minutes of February 10th, 2024 – Site walk



## TOWN OF THOMPSON Inland Wetlands Commission

815 Riverside Drive - P.O. Box 899  
North Grosvenordale, CT 06255  
office phone: (860) 923-1852  
www.thompsonct.org

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2024 JAN 11 P 1:05

TOWN CLERK *aml*

### MEETING MINUTES: Tuesday, January 9, 2024, 7:00PM

*Via ZOOM Online Meeting Portal*

- A) The Meeting was called to order at 7:00 PM by Chairman George O'Neil who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer), Fran Morano (Commissioner), Dan Malo (IWC Agent), Amy St. Onge (First Selectman), Gloria Harvey (Recording Secretary)

Members of the Public: Marla Butts, Brian Falke, John and Cheryl Lowinski, and others.

- B) Appointment of Alternates - None

- C) Action on Minutes of Previous Meetings

1. Minutes of December 12, 2023 - Regular Meeting

The Minutes of December 12, 2023 were unanimously accepted as presented.

- D) Citizens Comments on Agenda Items - None

- E) Applications

- a. Old Applications - None

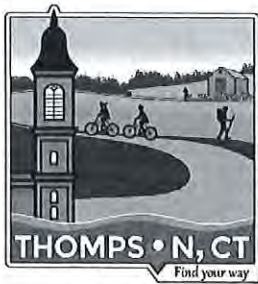
- b. New Applications

1. **SUB24001**, John & Cheryl Lowinski, 90 Thompson Road (map 87, block 38, lot 16), Three (3)-Lot Subdivision containing wetlands. Stamped received 1/3/24.

Applicants are working with Killingly Engineering Associates for a proposed 3-Lot Subdivision (1 existing residence and 2 new lots) with activity in the upland review area. There is no direct impact on wetlands. A silt fence will be utilized to prevent sediment transport from activities in the upland review area. A site plan was reviewed and a site walk was scheduled for the morning of February 10, 2024. Mrs. Lowinski stated that their intentions with the property when they purchased it was to live in the existing home and give their two sons each a lot to build on.

2. **DEC24002**, Brian Falke, 0 Reardon Road (map 63, block 97, lot 1), clearing of invasives and overgrowth within upland review area and surrounding pond. Stamped received 1/5/24.

This property doesn't have a residence on it. It's a vacant lot and contains a pond for the majority of the property. In the past Mr. Falke's family maintained the brush around this pond, and since his family members passing the property has become overgrown and Mr. Falke is seeking a Declaratory ruling from the Commission so he can clear some of the overgrowth and invasive brush around this pond. He doesn't plan to cut down any trees. He's seeking permission to trim and remove overgrown brush. There will be no earth moving activity. He will perform the work himself with hand tools and a leaf blower, no heavier



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*[Signature]*  
TOWN CLERK

### Inland Wetland & Watercourses Meeting

#### SPECIAL MEETING MINUTES:

**Thursday, January 25, 2024, 6:00PM**

*Room 3 – Thompson Public Library*

- A) The Meeting was called to order at 6:00 PM by Chairman George O'Neil to discuss proposed amendments to the Thompson Inland Wetlands & Watercourses Regulations

Present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer), Fran Morano (Commissioner), Christopher Dustin (Commissioner), Dan Malo (IWC Agent), & Marla Butts

- B) Marla Butts, under contract to develop regulation amendments, opened the discussion:

A parcel map of wetlands and '10 Significant Wetlands' developed in 2020 by former Conservation Agent Carolyn Werge was discussed and designated as the 'Wetlands Map' to be referenced in the regulations. Adoption of the map will be part of the Public Hearing process.

Review of the redline version of the regulations with proposed changes commenced. Proposed changes to the definitions section were generally correction of scrivener's errors and topical changes to references for congruency throughout the document. Marla provided context for the terms 'license' versus 'permit' and 'application'; Agent Approvals and Declaratory Rulings are considered licenses, but not permits. An Individual Wetlands Permit is a type of license.

Shared driveways and roadways were discussed. Roadways standards were proposed for driveways shared by 4 structures or more. It was debated that the intention of the regulation should be consistent with Zoning requirements of 'shared driveways', allowed for subdivisions of 3 lots or less.

The meeting recessed at 7:25pm and reconvened at 7:33pm.

Provisions for future updates were discussed. If numbering changes occur with state statutes, language could be incorporated in regulations to accommodate those changes without re-revision.

The Commission concluded their review on page 16 of 41 of the redline copy and will meet again January 30<sup>th</sup> to continue review of the proposed changes.

**Charlie Obert motioned to adjourn the meeting, seconded by Fran Morano. Motion passed 5-0.**

Meeting adjourned at 7:58pm.

Respectfully submitted, Dan Malo

Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.



equipment such as a loader or excavator will be used. The Commission discussed this request and agreed that a landowner whose land gets a little bit overgrown has the right to maintain it. Commissioner Murano commented that if he's not doing any earth disturbance and he's just using hand tools, she couldn't see that being something that would really cause an impact. The question was raised about the disposal of the brush and Mr. Falke stated he would apply for a burn permit, stack it in the wooded area, chip it or trailer it to the transfer station. The Commission didn't see any problem with this application and the consensus was to grant as a Use Permitted as of Right.

c. Applications Received After Agenda was Published

1. **WAA24003**, Morning Star Farm Pet Resort, LLC, 317 County Home Road (map 109, block 34, lot 16), Teardown and rebuild of barn within upland review area. Application pending 1/5/24.

This application from Morning Star Farms was received for Wetland Agent Approval because they had an old barn that was falling down, which they demolished, a pre-existing nonconforming structure near the roadway with a very small pond smaller than the barn. After the demolition, upon review of the materials they sent to the Building Department, Dan recognized that this was in an upland review area and would require Wetlands Agent Approval. Morning Star took the initiative to install a silt fence and hay bales but the tear down had occurred and so now they are seeking to work with the Wetlands Commission to get the appropriate permit to finish their project. This is an after the fact application and Morning Star is seeking guidance on rebuilding the barn.

Lisa from Morning Star Farms stated the original building permit to tear down the barn that was pulled in 2019 expired and there was no mention about wetlands jurisdiction. In December 2023 they pulled another Building Permit to reinstate this project and were informed by Building or Zoning that this was in an upland review area and required a Wetlands Agent Approval. Commissioner O'Neil stated a building that's falling apart is a life safety hazard for the town so a rebuilt barn will certainly improve the property. The rebuilding of the barn has stopped and they are currently working with the Inland Wetlands Commission to reinstate this project. Dan will notify the Town of Putnam of this project because it is within 500 feet of the town line. No further action is required by the Commission at this time.

F) Permit Extensions / Changes - None

G) Violations & Pending Enforcement Actions

1. **VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on 2/9/21.

Dan Malo reported that there are no updates. As his workflow allows, he will reach out to Mr. Baer about his progress and then confirm/advise the listing agent for the property of the violation.

2. **VIOL23013**, Wojciech Sudyka, 1574 Riverside Drive, (map 55, block 65, lot 14), grading work exceeded scope of work authorized by Permit IWA21028, issued 5/22/23.

Dan Malo reported that in order to communicate the issues associated with this property to Dudley's part-time consultant, DEEP, DOT, the Sudykas', and the complainants, he needs to understand them and this will require focus and research. He will update the Commission when there is progress. Commissioner Obert commented on reaching out to the Massachusetts state government level because of their longer term staffing they would be in a better position to provide productive information.

3. **VIOL23035**, James Quaiel, 0 Hill Road, aka 6 Hill Rd, (map 109, block 34, lot 32),

fill and earthmoving within upland review area without permit. Violation issued 11/1/23.

Dan Malo stated that there are no updates. He will reach out to Daniel Blanchette regarding potential prescriptions or permitting approaches as discussed, but at this time, this appears to be a civil matter. He visited the site and didn't see any standing water or evidence of any kind of a pipe that's blocked. The site plan for 8 Hill Road references that they should have a sump pump in their basement and they don't have a sump pump in their basement. This site plan also references a drain from the house to the wetlands area and Marla and Dan couldn't locate the exit. Dan stated he didn't see punitive measures against Mr. Quaiel solving their issues. Dan will reinspect the driveway after the impending heavy rain.

4. **VIOL23037**, St. Joseph's Church, 12-18 Main Street, (map 63, block 94, lot 3), fill along Reardon Road within upland review area and wetlands. Violation issued 12/15/23.

Dan Malo issued a Notice of Violation on December 13, 2023 to the church and requested that they attend this meeting to discuss the work that has occurred and potential remedies. Prior to issuing the notice of violation, Dan stated he tried to reach the Church through phone calls, contact forms, and emails to deliver that message to them prior to having to issue this Notice of Violation. Chairman O'Neil asked if anyone was present or listening representing the Church and there was no response. Since the Inland Wetlands Commission's efforts to work with the property owner, Saint Joseph Catholic Society, through correspondence and other means has proved fruitless, options to resolve this issue were discussed including consulting town attorney, hire a contractor to remove the material and send them the bill, stop any activity in the cemetery until they remediate. Absent of them just willing to do what we're asking, it appears the only other course would be a legal route. The Commission didn't feel speaking with the contractor would resolve this issue and asked Dan to contact the Town Attorney, provide this case history, and have the town attorney provide some specific guidance as to next steps for this Commission for the next meeting.

First Selectman, Amy St. Onge stated her observation of this situation by saying the letter went out on December 15<sup>th</sup>, and it hasn't even been a month so we should not go into panic mode or enforcement mode assuming that the church isn't going to respond. She further stated that the letter probably had to go to the diocese but in the meantime maybe Dan or myself can reach out to the minister of the church and try to get some type of an answer from somebody local. The Commission agreed to consult with the First Selectman and the Town Attorney about how to stop the filling, improve the situation, and remedies for the violator to resolve this issue.

#### H) Other Business

1. Preliminary discussion of draft regulation amendments

Marla Butts presented a Gantt chart for the project of amending the Inland Wetlands Regulations and adopting a new map. The chart set forth a proposed schedule of activities for the finalization and adoption of the draft revised regulations and a new wetlands and watercourses map as follows:

- tonight's regular meeting to discuss and adjust the schedule
- 2 Special Meeting to discuss proposed amendments (via Zoom)
- February 13<sup>th</sup> regular meeting to finalize the draft amendments
- a Special Meeting for public input (a.k.a. informational meeting recommended but not required) and decide on further changes based on public input (via Zoom)
- March 12<sup>th</sup> regular meeting to review and finalize language for a public hearing based on comments from the public, DEEP and the Town's legal counsel

- a Special Meeting to the public hearing to be held before the May 14<sup>th</sup> regular meeting (via Zoom)
- May 12<sup>th</sup> regular meeting to adopt the final language and new map

Two Special Meetings were scheduled: January 16<sup>th</sup> and January 30<sup>th</sup>. Both meetings will take place at 7:00 PM in the Second Floor Conference Room. If anyone cannot attend these meetings, they can e-mail Marla with any input they have on the red line/ black line draft before the February meeting. Once the modifications have been made, Marla will send the draft to the Town Attorney for his comment based on the modifications. At the February 13<sup>th</sup> regular meeting, the Commission will talk about finalizing the language and come to an agreement to set the date for a public informational meeting. Marla will set up the agenda and all of the notifications and advertising. Comments from the informational meeting will then be incorporated in the draft regulations and then Marla will send it to DEEP for their review and comment along with the legal notice for the public hearing at least 35 days in advance of the Public Hearing. The Inland Wetlands Commission is the only Commission in the town that has state agency oversight over what goes into the regulations. The DEEP comments and Town Council Comments will then be incorporated into the draft regulations and then ready for Public Hearing.

## 2. Budget Request from Finance Department

Budget request received from Bill Steglitz, Finance Director, regarding how to approach the salary lines for both Conservation and the Wetlands Commissions. Since the salaries for both of these combined positions come from different sources, the details are still being worked out. As far as the remaining line items in our budget are concerned, Dan believes our current numbers could be repeated. A proposed 2.25% increase for salaries will also be worked into the budget. Assessing balances in the budget by switching between object codes, and budget cuts were also discussed.

### I) Citizen's Comments - None

### J) Reports

#### a. Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2023 to December 30, 2023 has an available balance of \$26,186.17 and has expended 20.1% of the budget.

#### b. Wetlands Agent Report

Dan took over twenty researchable inquiries since the last meeting. He also received new applications, visited ongoing and prospective job sites, and investigated concerns and petty complaints. Many obstacles, among them holiday closures, illness, family illness and car troubles stood in the way of his ability to make headway on long-standing issues and keep up with the volume of new business.

He believed it is important to make the Commission and historical record aware as very few people may appreciably understand the totality of work that needs to be done. Task saturation and the volume of work, especially that which has been generated by recent changes to Zoning and Subdivision Regulations, are tremendous. There has been no winter slowdown, in fact it appears that this year will be busier than ever, with many special projects on the horizon.

He has spent almost no time on my Conservation Commission responsibilities since the consolidation of the position in September. In his 8 years of experience across three towns, he has administered 8 different land use commissions. Thompson Inland Wetlands has been the most challenging, and it is impacting his mental and physical well-being. He can no longer internalize the immense workload or expectation. He is doing the best he can and will try to continue.

He has an appointment with the First Selectman and Human Resources on January 10, 2024 to discuss the challenges of the combined positions and he will be recommending that the hours allocated are not nearly enough to complete the work at the level expected by the Commission and the public. The positions need, at minimum, shared part-time or full-time administrative help for the entire land use staff, a secretary would help as a point of first contact with residents to help screen and triage interruptions to the technical work of the position. Too much time has been devoted to purchase orders, printers, IT tickets, giving directions, etc. and causes an extremely unproductive atmosphere. Additionally, the spaces utilized by the land use staff need optimization to confront inefficiency and miscommunication. There is presently no coordination.

#### **WETLANDS AGENT PERMITS ISSUED**

- WAA23035, Lorkiewicz, 193 Linehouse Road (map 36, block 69A, lot 2), Construction of 16x24 shed within upland review area, received 12/13/23. Approved 12/13/23.
- No Building Permits were reviewed. Morning Star pending release following tonight's meeting. Donna Hall was on vacation part of last month and Dan anticipates work to be forwarded from the Building Department within the next few days.

#### **PURCHASE REQUESTIONS STATUS**

- Encumbered \$45.00 (P.O. 124184), Stonebridge Press  
- *legal notice for Kuhar WAA23033, Quaiel WAA 23034.*
- Encumbered \$45.00 (P.O. 124193), Stonebridge Press  
- *legal notice for Camelio WAA23028, Camelio WAA23029.*
- Encumbered \$45.00 (P.O. 124204), Stonebridge Press  
- *legal notice for Lorkiewicz WAA23035.*

Calabro Property: Dan visited the Calabro property and noted that the berm has been bolstered and appears to be doing its work, the water flows in a defined channel along the Calabro property line and it's not overtopping the driveway and affecting the Arpins. The berm sequesters the paddock area so the hillside run off doesn't run through this paddock and get into that spring fed channel that runs down the driveway. Mr. Calabro established a small degree of lawn along with four or five plants. The driveway is in fine condition and the water flows to the roadway. Dan informed Mr. Gray that it is a closed violation and didn't see any reason to reopen it but would welcome his questions if he had any.

The discussion of a shared secretary is a great idea and feels like a leadership question or a management issue. Commissioner O'Neil suggested Dan quantify the number of applications over the last five years by year, show the trend, give objective, measurable and verifiable support to the argument by breaking out the number of requests, inquiries or agent reviews and that breakout could help in his discussion with the First Selectman and Human Resources. He also said that proving measurable numbers of activity have increased could provide a strong case to say we need 40 hours in the Wetlands office.

#### **c. Correspondence**

An engineering report that the DEEP requested was submitted. Commissioner Obert stated that he didn't see any remediation for the dam in the report. He did see that they addressed the low water gates but they don't know whether they work or not. Commissioner Obert also mentioned to Dan that whoever got the copy of this engineering report at DEEP is the person that will know who to contact in Massachusetts who is involved with dam safety and should be able to advise us who to contact regarding the Dudley dam issue. Dan reported that Mr. Lesniewski is proposing a



pre-application meeting, and Dan will reach out to him to see if he can participate in that pre-application meeting and pose his questions on dam safety. Commissioner O'Neil encouraged Dan to get all the expertise he can as we want to make sure it's being addressed right because the lives of the people of the Town of Thompson that live below that dam could be affected.

K) Signing of Mylars - None

L) Comments by Commissioners

Commissioner Obert commented he liked the idea about a shared administrative assistant for all the land use departments in the town. He further stated that the Wetlands Commission is lucky to have Dan and realizes that he has a responsibility to the Conservation Commission as well.

Commissioner O'Neil asked Dan to identify, quantify, and come up with solutions to resolve the challenges in the Inland Wetlands office in a prompt and concise manner.

M) Adjournment

Commissioner Obert made a motion to adjourn. Commissioner Morano seconded the motion. The motion was unanimously **APPROVED** and the meeting adjourned at 8:49 PM.

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To see/hear the entire meeting via ZOOM, copy and paste the following link into your search bar:

<https://us02web.zoom.us/rec/share/G7LbDrld1zZU1xS-K-k8PjyWyASGgc8F6VQbfp7vbKFriZnay7WLO3MslLlaUECj.nrkQgSaiq4QYxDPg>

Passcode: A8@%GttB

Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.  
Respectfully submitted, Gloria Harvey, Recording Secretary,

*Gloria Harvey*



## TOWN OF THOMPSON Inland Wetlands Commission

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TOWN CLERK

### SPECIAL MEETING MINUTES:

**Thursday, January 30, 2024, 6:00PM**

*Room 3 – Thompson Public Library*

1. The Meeting was called to order at 6:04 PM by Chairman George O'Neil to discuss draft amendments to the Thompson Inland Wetlands & Watercourses Regulations drafted by Marla Butts. Present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer), Fran Morano (Commissioner), Christopher Dustin (Commissioner), & Marla Butts
2. Marla Butts, under contract to develop regulation amendments, resumed the discussion of the draft regulations beginning at section 7.8 using both redlined and black lined versions of the draft. Additionally, the Commissioners were provided with printouts from an Excel file entitled "2024-01-26 Draft Updated Costs Estimates & IW FeeDev Scenarios". A review and explanation of the comments in the redlined version was completed.

Section 7.9 regarding the submission of application materials was discussed resulting in a change in language that would require the submission of 1 live signed copy of the application forms, two copies of all support documents accompanying the application forms, including but not limited to, any reports by a qualified soil scientist and the applicant's Engineer, and the drawing or site plan(s), which drawing and site plans shall be sized no larger than 24 inches by 36 inches. When site plans are required a PDF file of these site plans shall be submitted electronically.

Section 12.3 (formerly 11(b)2) language was changed to read "Within ten (10) days of the date of any wetlands agent approval or denial "

Section 13 (Formerly 12) it was agreed that this section should be reviewed by Town's legal counsel for advice on adequacy for implementation.

Section 19 (formerly 18) regarding fees, the printouts from the Excel file were reviewed and discussed along with the proposed application forms. First, the unit cost found in the "Draft Fee Structure Justification for Discussion" was identified as an hourly salary rate and it is to be updated to include the costs of any benefits such as health insurance, workman's compensation, etc. The Finance Director is to be contacted to get a more accurate value for the unit cost. Second, errors/omissions in the draft fee schedule were found and a redlined revised draft fee schedule was offered to replace the one in the draft regulations. Third, in the application Base Form Part I is to include a statement that advises the applicant if a public hearing is required the applicant will be responsible for paying the legal notices for the public hearing in accordance with section 9.2 of the regulations. Forth, language was found missing on Form D, paragraph 10.

Based on the changes discussed during the special meetings the language for the draft regulations, application forms, including an adjusted fee justification and schedule will be revised and presented to the Commission before the next regularly scheduled meeting and an item be included on that agenda for further discussion and to determine if the draft regulations are ready to be forwarded to the Town's legal counsel and DEEP for review and comment.

3. **Motion to adjourn the meeting made by Commission Obert and seconded by Commissioner Morano. Motion passed 5-0.**

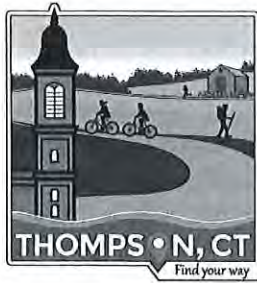
Meeting adjourned at 7:54pm.

Respectfully submitted, Marla Butts



Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.





## TOWN OF THOMPSON Inland Wetlands Commission

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2024 FEB 12 P 12:49

*[Signature]*  
TOWN CLERK, *[Signature]*

### **SPECIAL MEETING MINUTES: Saturday, February 10, 2024, 9:30AM**

#### *SITE WALK of 90 Thompson Road - John & Cheryl Lowinski - Application SUB24001*

A Special Meeting was held by the Inland Wetlands Commission on February 10, 2024 at 9:30 am to conduct a site walk of 90 Thompson Road, (Assessor's Map 87, block 38, lot 16), owned by John & Cheryl Lowinski. The purpose of the meeting was to orient IWC Commissioners to on-site conditions pertaining to development plans for **SUB24001**, a proposed 3-lot subdivision.

The meeting was attended by IWC Chairman George O'Neil, Vice Chairman Charlie Obert, Commissioner Fran Morano and Wetlands Agent Dan Malo. Normand Thibeault, Professional Engineer of Killingly Engineering Associates represented John Lowinski, and his son. The meeting was called to order at 90 Thompson Road at 9:30 am by Chairman O'Neil.

At the time of inspection, conditions were cloudy; the ground was without snow cover.

Normand Thibeault presented Commissioners with an overview of the proposed subdivision. The 52.5 acre lot is proposed to be split into three. Lot 1 was referenced as the existing house lot and will retain approximately 46 acres. Lot 2 was referenced as a 1-acre parcel to the south and west of Lot 1. Lot 3 is referenced as a 5-acre parcel to the north and west of Lot 1.

Mr. Thibeault guided the participants along the route depicted on the attached map. He identified current and proposed site conditions as depicted on the site development plans.

Lot 1 is currently developed. Regulated activity involves the addition of rip-rap at the inlet and outlet of an existing 15" pipe under the existing path/driveway that proposes to serve Lot 3.

Lot 2 has regulated Upland Review Area in 2 places: intermittent highway drainage from Interstate 395 to the west, and a pocket of wetlands identified to the immediate northeast of the proposed lot. Clearing for the house is proposed on the fringes of both regulated areas.

Lot 3 has a proposed regulated activity to improve the grade of the existing path/driveway within the outer fringe of the Upland Review Area to the west of the driveway.

The existing path is proposed to be improved with a gravel surface, which may alleviate some of the drainage and mud conditions encountered along the walk.

The site walk concluded and adjourned at 9:45 am.

Respectfully submitted,

*[Signature]*

Dan Malo, Wetlands Agent



Agenda Item D)

Citizens Comments on Agenda Items

Agenda Item E) a) 1. Old Applications

**SUB24001**, John & Cheryl Lowinski,  
90 Thompson Rd (map 87, block 38, lot 16)

Three (3)-Lot Subdivision containing wetlands.

Stamped received 1/3/24. Statutorily received 1/9/24.  
Site walk held 2/10/24.

for commission use:	rev 1/11
application # <u>Sub 24001</u>	
date received <u>1/3/24</u>	

## SUBDIVISION REVIEW APPLICATION

### Town of Thompson

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Received

JAN 03 2024

#### Instructions:

Thompson Wetlands Office

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all subdivision review applications be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions. Any changes made to a subdivision plan that affects wetlands or watercourses as a result of Planning & Zoning approval must be resubmitted to the Wetlands Commission for review and approval, or the conceptual approval will be considered null and void and a new subdivision review application with all fees will need to be submitted.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

#### WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
  - \*Pole Number \*Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

#### FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

#### FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)

- Conceptual Approval of Subdivision up to Two (2) Lots ..... \$50 + \$60
- Conceptual Approval of Subdivision of Three (3) Lots or more..... \$250 Base Fee – PLUS  
\$250 per lot + \$60 State Fee
- Complex Application Fee.....Applicants will be billed for professional review as needed,  
see regulations booklet Section 18.5

Please complete the following application information.

If you need assistance contact the wetland Agent (business office 860- 923-1852)

Date \_\_\_\_\_

1) Name of Applicant JOHN & CHARYCE KWINSKI

Home Address 90 THOMPSON ROAD, THOMPSON, CT 06277

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

Business Address \_\_\_\_\_

2) Applicant's interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) SAMIR

Home Address \_\_\_\_\_

Business Address \_\_\_\_\_

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CEP 2961 - NORTH SIDE OF THOMPSON ROAD

Street or Road Location 90 THOMPSON ROAD

Tax Assessor's Map # 27

Block # 38

Lot # that appears on site plan 16

Deed Info : Volume # 763

Page # 140

5) The property to be subdivided contains:

Soil Types WOODBIDGE, CANTON & CHARLTON, PAXTON & MONTAUK

Wetland Soils \_\_\_\_\_ (Swamp \_\_\_\_\_ Marsh \_\_\_\_\_ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)

Watercourses N/A (Lake or Pond \_\_\_\_\_ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)

Floodplain - Yes / No

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity PROPOSED 3-LOT SUBDIVISION  
(ONE EXISTING RESIDENCE + 2 NEW LOTS) WITH ACTIVITY IN  
THE UPLAND REVIEW

If the above activity involves deposition or removal of material, what is the quantity? N/A



b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation with base flood elevations. *N/A*
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage. *N/A*
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☒ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a future permit for the proposed regulated activity. The erosion and sedimentation control provisions and the storm water treatment design on the site plan must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and the most current version of the *Connecticut Stormwater Quality Manual* and be and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible. *N/A*
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity. *N/A*
- ☐ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) NO DIRECT IMPACTS. SILT FENCE WILL BE UTILIZED TO

PREVENT SEDIMENT TRANSPORT FROM ACTIVITIES IN THE  
UPLAND REVIEW AREA

d. Have any alternatives been considered? NO If yes, explain why this proposal was chosen \_\_\_\_\_

NO DIRECT WETLANDS IMPACTS

7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? NO

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to

the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands Commission (TIWC). Documentation of such notice shall be provided to the TIWC.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.
- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? \_\_\_\_\_ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.
- 10) Names and Addresses of Abutters:

SEE ATTACHED

- 11) Estimated start date SPRING 2024
- Estimated date of completion (all disturbed areas are stabilized) AUTUMN

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.  
I understand that the commission is unable to act upon an incomplete application.

Cheryl Lewis 12/21/23  
+ [Signature]  
Signature of Applicant Date

Same  
Consent of Landowner if other than applicant Date

**Please attach a written consent by the owner if applicant is not the property owner.**



# Killingly Engineering Associates

## *Civil Engineering & Surveying*

P.O. Box 421 Killingly, CT 06241  
Phone: 860-779-7299  
[www.killinglyengineering.com](http://www.killinglyengineering.com)



December 21, 2023

Town of Thompson Planning & Zoning Commission  
C/O Thompson Town Hall  
815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255

RE: Re-Subdivision Application of John & Cheryl Lowinski  
90 Thompson Road

### **Directions from Thompson Town Hall**

From Thompson Town Hall, drive south on Riverside Drive approximately 2.8 miles to Route 193 (Thompson Road). Turn left (east) on West Thompson Road approximately 0.43 miles, crossing over interstate Route 395. The entrance to the property will be the first driveway on the left after crossing over the highway.

**LIST OF AJACENT LAND OWNERS INCLUDING ACROSS THE STREET as of 12/21/2023 GIS**

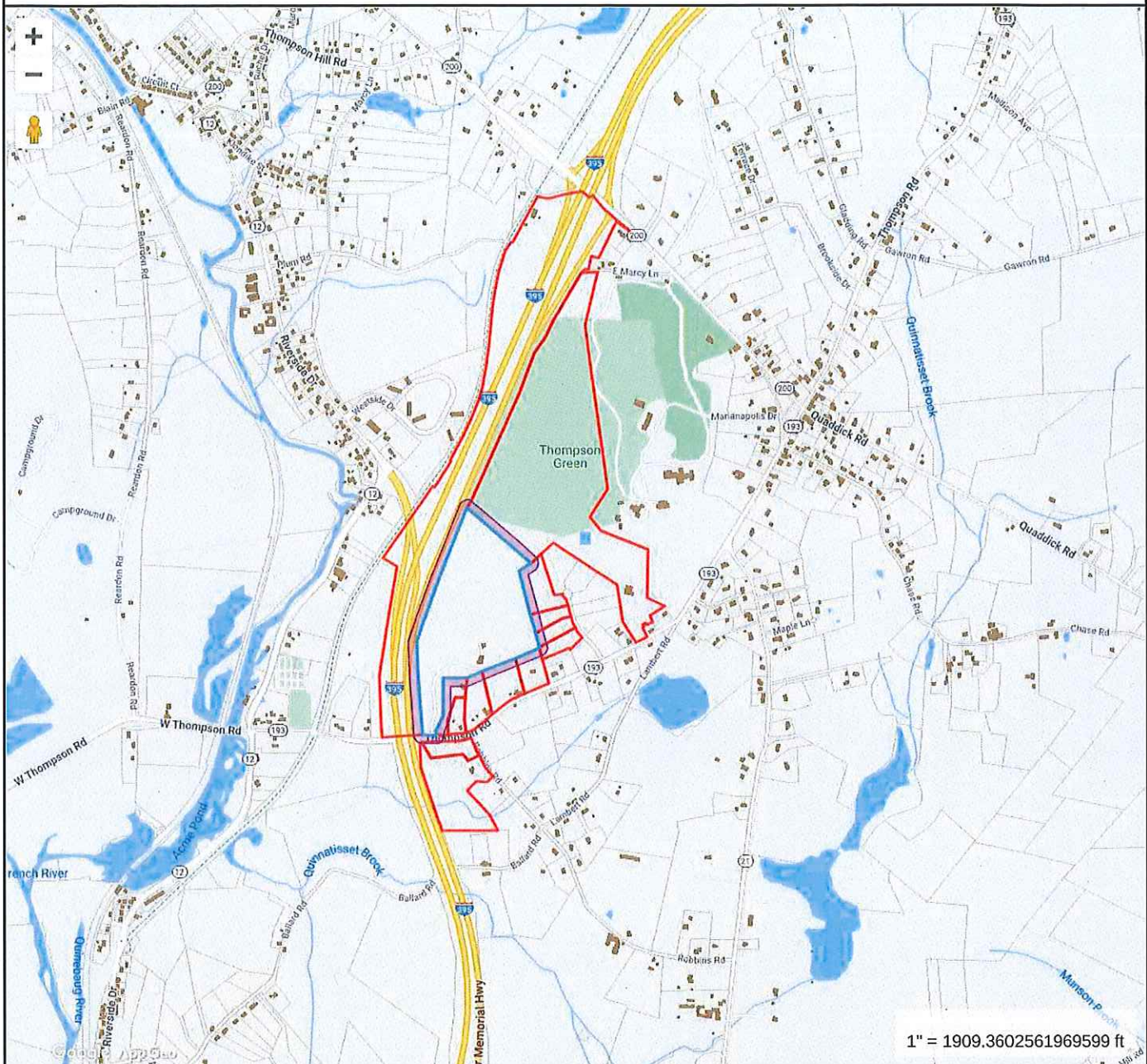
John & Cheryl Lowinski  
90 Thompson Road  
Thompson, CT

*Job No. 23093*

MAP/BLOCK/LOT	NAME
87-38-01E, F, G & H (4 PARCELS)	TRINITY FOUNDATION INC P O BOX 304 THOMPSON, CT 06277
87-38-14	OBRIEN TIMOTHY J + LYNNE D 140 THOMPSON RD THOMPSON, CT 06277
87-38-14A	ROBBINS MERRILL R + JAYNE M 150 THOMPSON RD THOMPSON, CT 06277
87-38-16A	COUTURE SHAWN M 102 THOMPSON RD THOMPSON, CT 06277
87-53-08A	AUDETTE CRAIG N + LISA M P O BOX 341 THOMPSON, CT 06277-0341
87-53-09	WONG KA H 22 ROBBINS RD THOMPSON, CT 06277 USA
105-38-01A	MARIANAPOLIS PREPARATORY SCHOOL INC P O BOX 368 THOMPSON, CT 06277
85-39	STATE OF CONNECTICUT HARTFORD, CT 06277
87-38-15	CANEY JESSE 120 THOMPSON RD THOMPSON, CT 06277-2828
87-38-16B	CLAVETTE EMILY J 94 THOMPSON RD THOMPSON, CT 06277



## 90 Thompson Road

**Property Information**

Property ID 2376  
Location 90 THOMPSON RD  
Owner LOWINSKI LOH CHERYL + JOHN

**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
Data updated Daily

Print map scale is approximate.  
Critical layout or measurement  
activities should not be done using  
this resource.





## JOSEPH R. THEROUX

~ CERTIFIED FORESTER/ SOIL SCIENTIST ~

PHONE 860-428-7992 ~ FAX 860-376-6842

426 SHETUCKET TURNPIKE, VOLUNTOWN, CT. 06384

FORESTRY SERVICES ~ ENVIRONMENTAL IMPACT ASSESSMENTS  
WETLAND DELINEATIONS AND PERMITTING ~ E&S/SITE MONITORING  
WETLAND FUNCTION AND VALUE ASSESSMENTS

7/28/23

KILLINGLY ENGINEERING ASSOCIATES  
P.O. Box 421  
DAYVILLE, CT. 06241

RE: WETLAND DELINEATION, 90 THOMPSON ROAD, THOMPSON, CT.

DEAR MR. THIBEAULT,

AT YOUR REQUEST I HAVE DELINEATED THE INLAND WETLANDS AND WATERCOURSES ON THE SUBJECT PROPERTY IN AND ADJACENT TO THE PROPOSED DEVELOPMENT AREA.

THESE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY AND THE DEFINITIONS OF WETLANDS AS FOUND IN THE CONNECTICUT STATUTES, CHAPTER 440, SECTIONS 22A-38.

FLUORESCENT PINK FLAGS WITH A CORRESPONDING LOCATION NUMBER DELINEATE THE BOUNDARY BETWEEN THE UPLAND SOILS AND THE INLAND WETLANDS AND WATERCOURSES THAT WERE FOUND.

FLAG NUMBERS WF-1 THROUGH WF-82 DELINEATE THE BOUNDARY OF A LARGE PALUSTRINE FORESTED WETLAND FOUND IN THE WESTERN PORTION OF THE PROPERTY.

TWO SEPARATE INTERMITTENT WATERCOURSES ORIGINATE FROM GROUNDWATER BREAKOUT ON THE HILLSIDE AND FLOW TO THE WEST WHERE THEY FLOW INTO A DRAINAGE TRENCH THAT PARALLELS ROUTE 395.

FLAG NUMBERS WF-1A THROUGH WF-13A DELINEATE THE BOUNDARY OF A SMALL FORESTED WETLAND LOCATED TO THE NORTH OF THE LARGE FORESTED WETLAND. THIS WETLAND HAS ALSO FORMED FROM GROUNDWATER BREAKOUT IN A DEPRESSED AREA IN THE TOPOGRAPHY.

THESE WETLAND SOILS HAVE FORMED FROM THE PROLONGED WETNESS FROM THE SEASONALLY HIGH WATER TABLES AND GROUNDWATER BREAKOUT.

FLAG NUMBERS WF-1 B THROUGH WF-1 2B DELINEATE THE BOUNDARY OF AN INTERMITTENT WATERCOURSE THAT FLOWS TO THE WEST UNDER THE EXISTING DRIVEWAY ENTRANCE FROM THOMPSON ROAD.

THESE WETLAND SOILS ARE CHARACTERIZED BY THICK ORGANIC "A" HORIZONS, SHALLOW REDOXIMORPHIC FEATURES AND LOW CHROMA COLORS FOUND WITHIN 20 INCHES OF THE SOIL SURFACE.

IN CONCLUSION, IF YOU HAVE ANY QUESTIONS CONCERNING THE DELINEATION OR THIS REPORT, PLEASE FEEL FREE TO CONTACT ME.

THANK YOU,

*Joseph R. Theroux*

JOSEPH R. THEROUX  
CERTIFIED SOIL SCIENTIST  
MEMBER SSSSNE, NSCSS, SSSA.

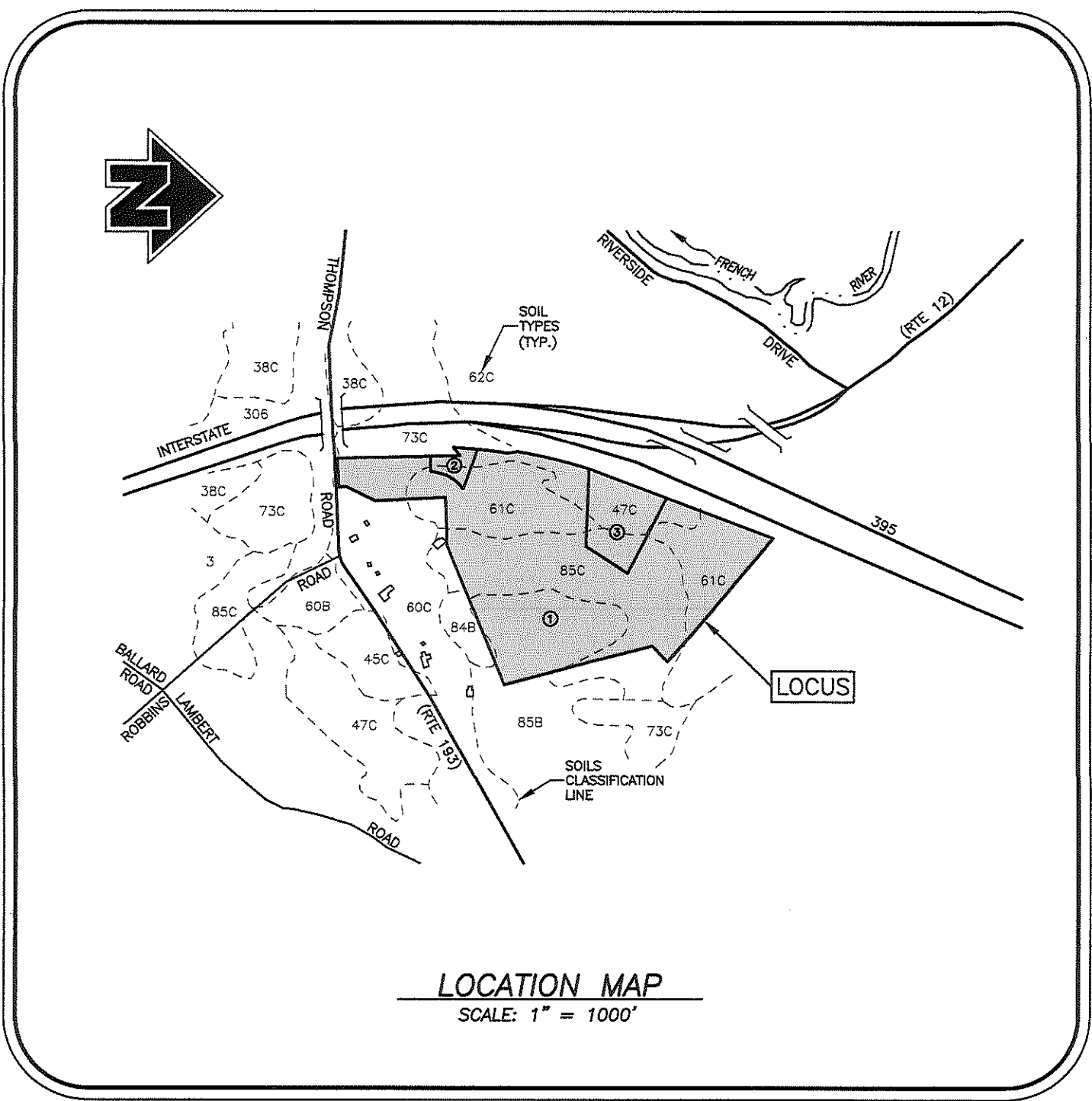
# PROPOSED 3 LOT SUBDIVISION

90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT

PREPARED FOR:  
**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**

**LEGEND**

●	IRON PIN SET OR TO BE SET
○	IRON PIN FOUND
⊙	DRILL HOLE FOUND
⊠	CHD MONUMENT FOUND
⊡	CHD MONUMENT POINT
□	CATCH BASIN
○	UTILITY POLE
⊙	PERCOLATION TEST HOLE
⊠	TEST HOLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
#	INLAND WETLANDS FLAG
---	BUILDING SETBACK LINE
---	METAL BEAM GUIDE RAIL
---	STONE WALL
---	STONE WALL REMAINS
---	SILT FENCE



## INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 11
KEY MAP	2 OF 11
SUBDIVISION MAP NO. 1	3 OF 11
SUBDIVISION MAP NO. 2	4 OF 11
SITE DEVELOPMENT PLAN NO. 1	5 OF 11
SITE DEVELOPMENT PLAN NO. 2	6 OF 11
SITE DEVELOPMENT PLAN NO. 3	7 OF 11
DRIVEWAY PLAN AND PROFILE NO. 1	8 OF 11
DRIVEWAY PLAN AND PROFILE NO. 2	9 OF 11
DETAIL SHEET No. 1	10 OF 11
DETAIL SHEET No. 2	11 OF 11

APPROVED BY THE TOWN OF  
THOMPSON PLANNING AND ZONING COMMISSION

CHAIRMAN	DATE
DATE OF PZC APPROVAL	DATE
DATE OF EXPIRATION	DATE

"PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES FIVE YEARS FROM DATE OF APPROVAL IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS SUBMITTED PLAN ARE NOT COMPLETED BY THE EXPIRATION DATE".

"THE SUBDIVISION REGULATIONS OF THE THOMPSON PLANNING AND ZONING COMMISSION ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY WAIVERS OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH WAIVERS OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION".

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS COMMISSION

CHAIRMAN SIGNATURE: \_\_\_\_\_  
DATE OF IWC APPROVAL: \_\_\_\_\_

PREPARED BY:

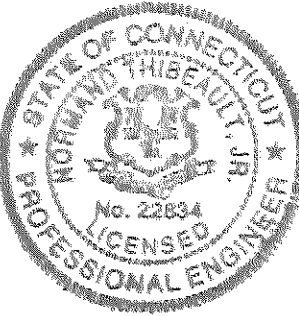
DATE	REVISIONS	DESCRIPTION

**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

December 2023

**BEFORE YOU DIG  
CALL BEFORE YOU DIG**  
AT LEAST TWO FULL BUSINESS DAYS  
BEFORE DIGGING OR DISTURBING EARTH  
DIAL 811 OR 1-800-922-4455

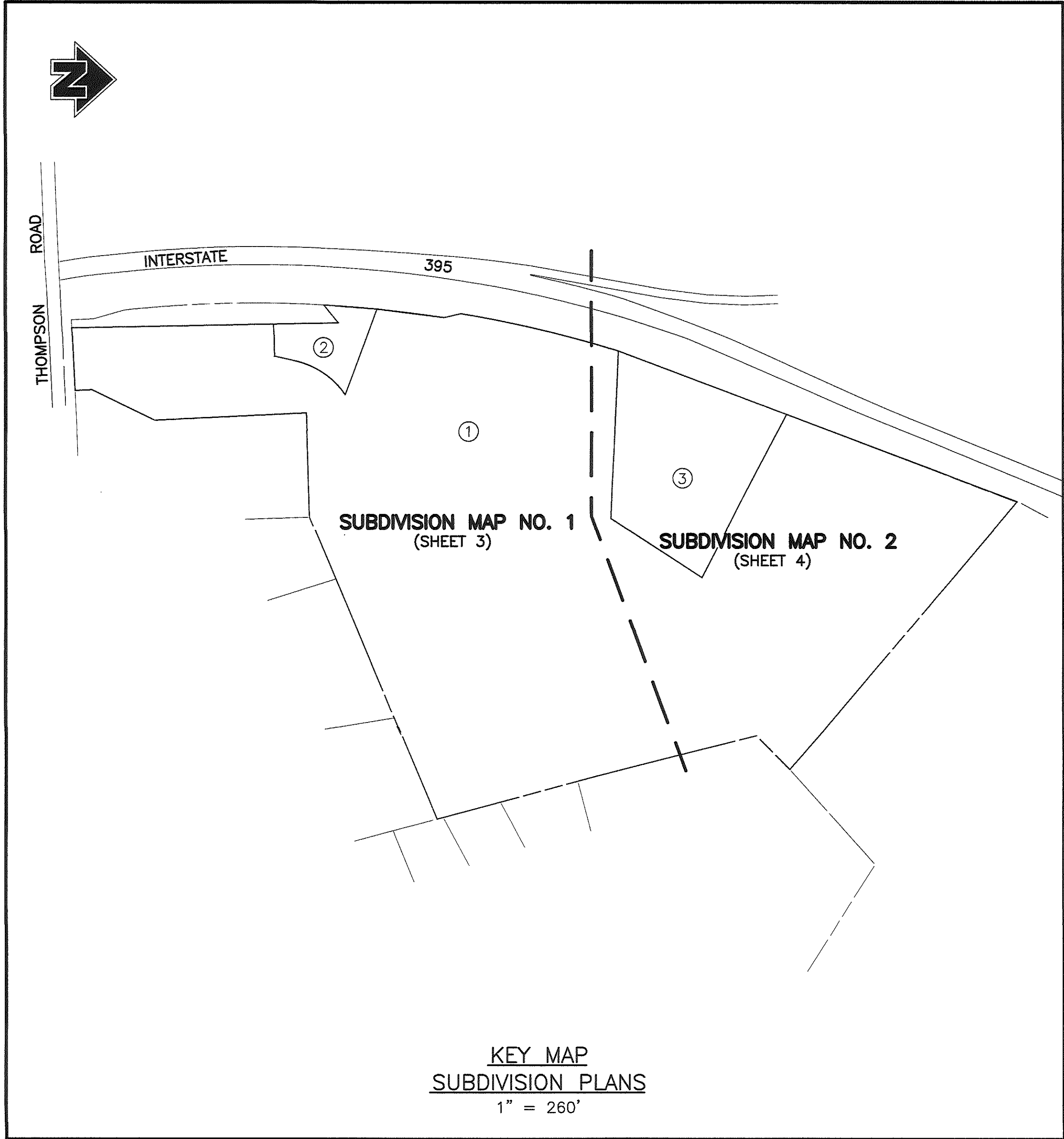


*Norman Thibault, Jr.*  
NORMAND THIBAUT, JR., P.E. No. 22834 DATE 1/3/2024

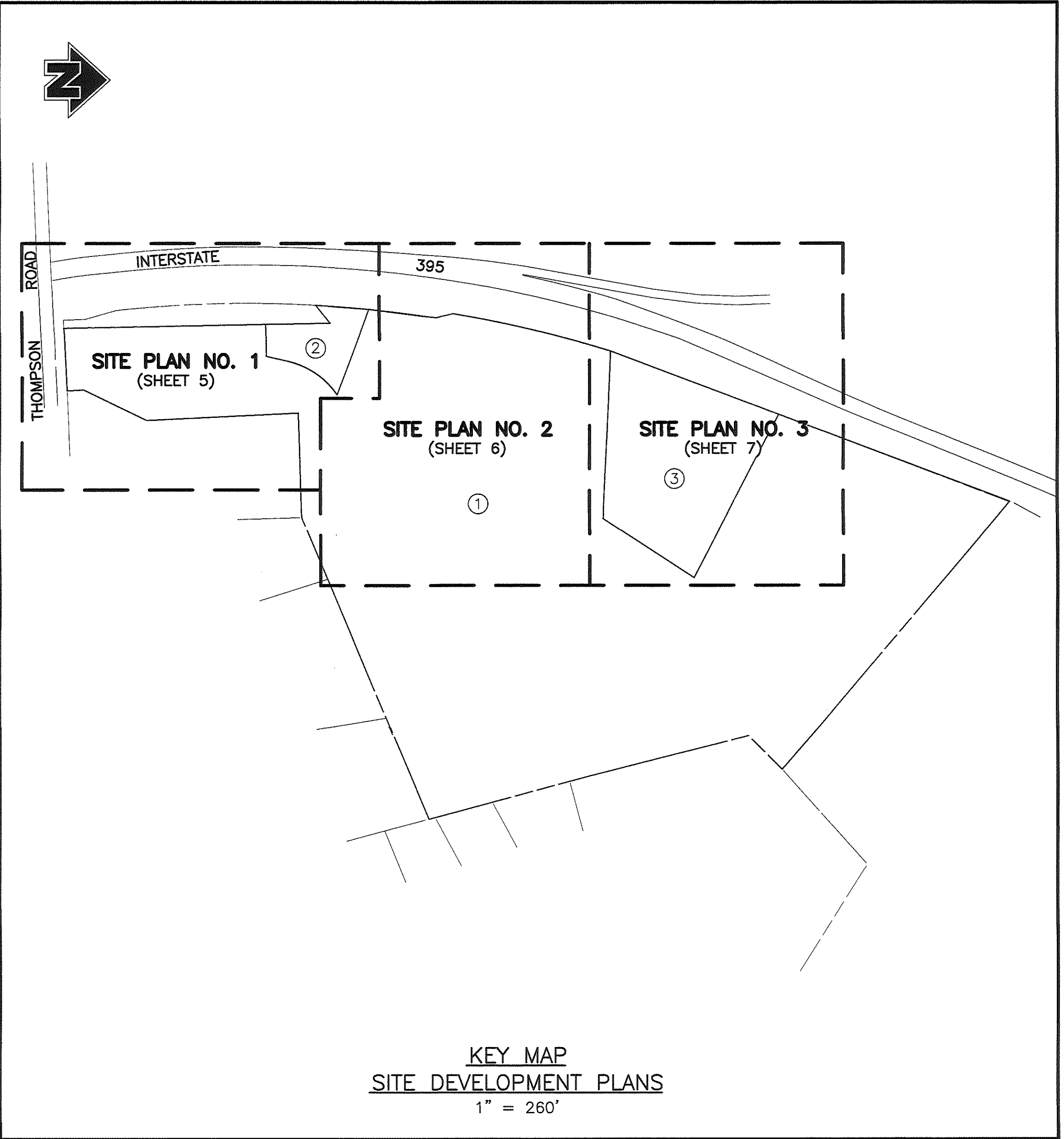
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SHEET 1 OF 11  
JOB NO: 23093

Application SUB24001

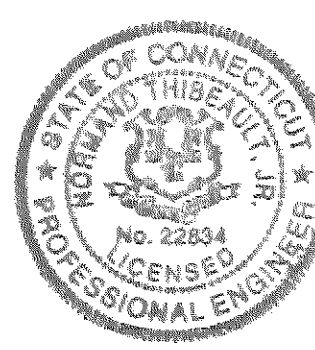


KEY MAP  
SUBDIVISION PLANS  
1" = 260'



KEY MAP  
SITE DEVELOPMENT PLANS  
1" = 260'

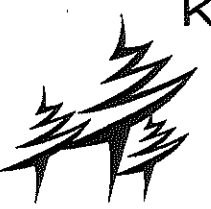
Received  
JAN 03 2024  
Thompson Wetlands Office



*Norman E. Thibault, Jr.* 1/3/2024  
NORMAN E. THIBAUT, JR., P.E. DATE  
LIC #PEN 0022834

DATE	DESCRIPTION
	REVISIONS

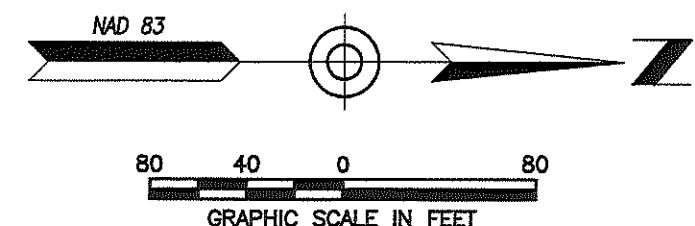
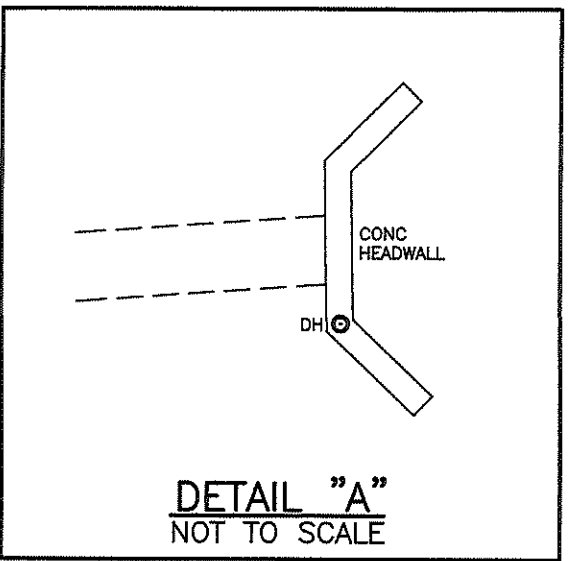
KEY MAP  
PREPARED FOR  
**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**  
90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT



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Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 12/21/2023	DRAWN: RGS
SCALE: 1" = 260'	DESIGN: NET
SHEET: 2 OF 11	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 23093





**NOTES:**

1. This survey has been prepared pursuant to the Regulations of the Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut," as adopted by the Connecticut Association of Land Surveyors, Inc., on September 26, 1996, Amended October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Survey Type: Subdivision Map
  - Boundary Determination Category:
    - Along Existing Deed Lines : Resurvey
    - Along Proposed Deed Lines : Original Survey
2. Total Subdivided Area = 52.523 Acres
3. Zone = Rural Residential Agricultural District (RRAD).
4. Owner of record: Cheryl Lowinski-Loh & John Lowinski-Loh  
90 Thompson Road, Thompson, CT 06277  
See Volume 763, Page 140
5. Parcel is shown as Lot #16, Block 38 on Assessors Map #87.
6. Parcel lies within Flood Hazard Zone "X" (areas of minimal flooding) as shown on FIRM Map # 09015C National 0134F Effective Date: 9/7/2023.
7. North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS observations using the "Superior" statewide GPS network and RTK correction system.
8. Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 7/28/2023.

## MAP REFERENCES

1. "Town of Thompson - Map Showing Land, Easement, & Rights of Access Acquired From - Fred A. Bernikow ET AL by the State of Connecticut Relocation of Route 12 - Scale: 1" = 40' - Date: October 1963 - On file as Map No. 439A, 441, 441A, 441B, 441C, 441D, and 441E of the Thompson Land Records.
2. "Right of Way Survey - Connecticut Department of Transportation Right of Way Map - Town of Thompson - Interstate Route 395 - From Thompson Road Northerly to Lowell Davis Road - Scale: 1" = 80' - Date: 9/95 - Sheets 1 of 7 & 2 of 7".
3. "Limited Perimeter Survey - Prepared for - David & Marjorie M. Bernikow A/K/A 102 Thompson Road - Connecticut Route 193 - Thompson, Connecticut - Scale: 1" = 40' - Date: 03/98 - Prepared by: Messier & Associates, Inc". On file in the Thompson Land Records as Map #1323.
4. "Compilation Plan - Map Showing Easement Area to be Granted to The Connecticut Light and Power Company Across the Property of - J.A. Mossy Connecticut Route 193 - A/K/A Thompson Road - Thompson, Connecticut - Scale: 1" = 40' - Date: 12/99 - Revised to: 12/29/99 - Prepared by: Messier & Associates, Inc". On file in the Thompson Land Records as Map #1382.
5. "Subdivision Plan - Prepared for - Thompson Woods - Thompson Road (Route #193) Thompson, Connecticut - Scale: 1" = 80' - Date: 8/1/2005 Sheet 2 of 9 - Revised to: 11/11/2005 - Prepared by: KWP Associates". On file in the Thompson Land Records as Map #1525-2.
6. "Perimeter Survey Plan - Prepared for - Marianapolis Preparatory School, Inc. - #293 & #327 - Thompson Hill Road - Thompson, Connecticut Scale: 1" = 200' - Date: October 21, 2009 - Revised to: 10/27/09 - Prepared by: CME Associates, Inc". On file in the Thompson Land Records as Map #1622.

DATE	DESCRIPTION
REVISIONS	

SUBDIVISION MAP NO. 1

PREPARED FOR

CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH

90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT

**Killingly Engineering Associates**  
*Civil Engineering & Surveying*

齊

114 Westcott Road  
P.O. Box 421  
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[www.killinglyengineering.com](http://www.killinglyengineering.com)

DATE: 12/21/2023

DRAWN: RGS

SCALE: 1" = 80'

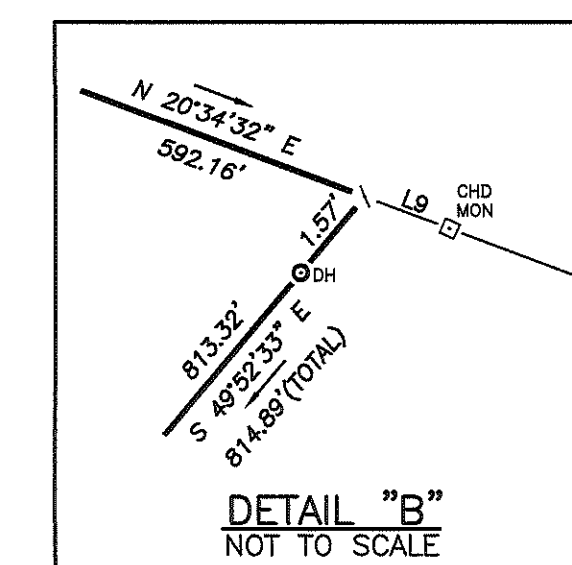
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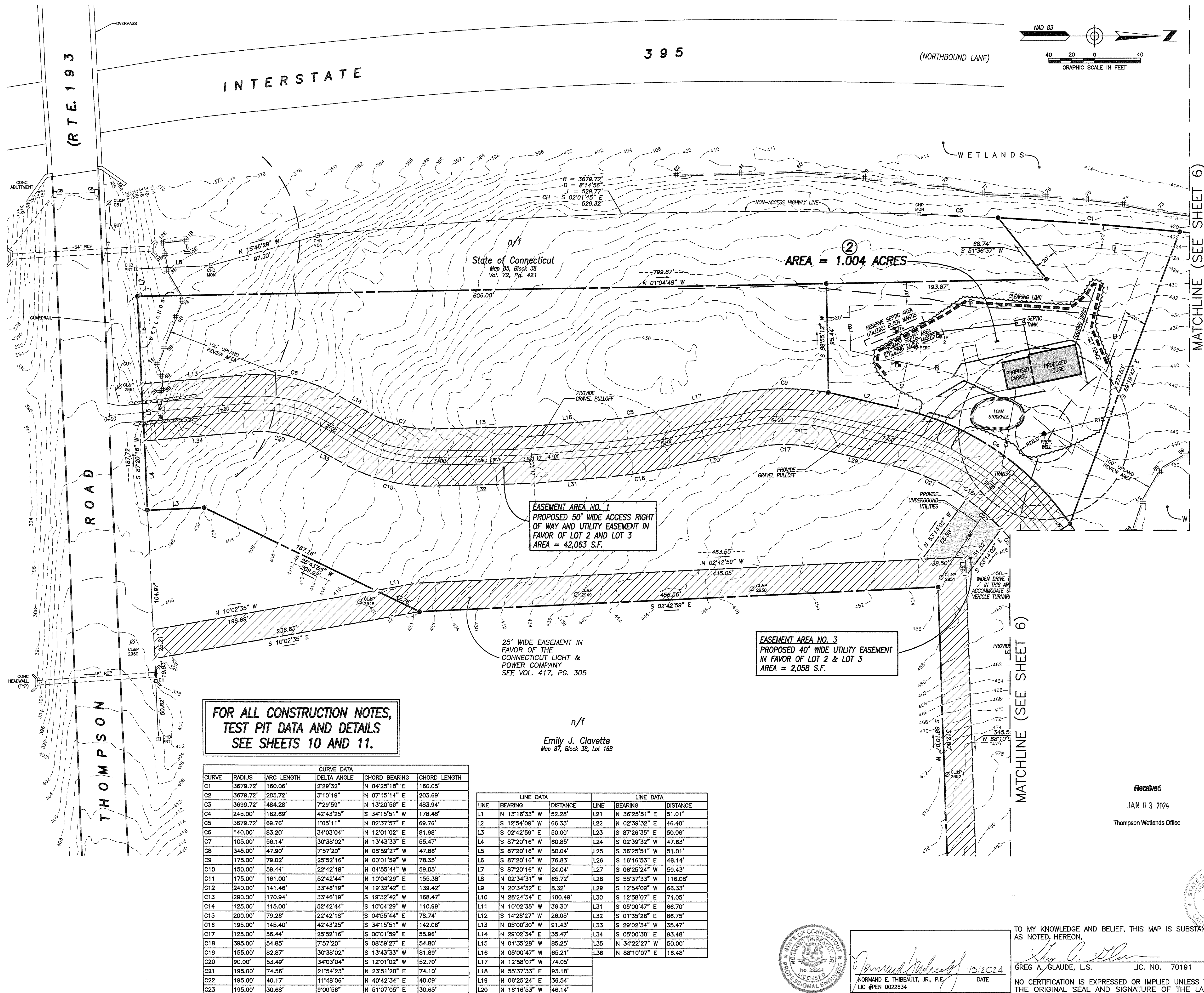
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K:\23093\Drawing\23093 03\_RESUB.dwg Jan 03. 2024 -- 8:32 AM









## NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Field surveyed topographic features conform to a Class "T-2", "V-2" vertical accuracy.
  - LIDAR topographic features conform to a Class "T-D" vertical accuracy.
  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category:
    - Along Existing Deed Lines: Resurvey
    - Along Proposed Deed Lines: Original Survey
- Total Subdivided Area = 52.523 Acres
- Zone = Rural Residential Agricultural District (RRAD).
- Owner of record: Cheryl Lowinski-Loh & John Lowinski-Loh  
90 Thompson Road, Thompson, CT 06277  
See Volume 1022, Page 220
- Parcel is shown as Lot #16, Block 38 on Assessors Map #87.
- Parcel lies within Flood Hazard Zone 'X' (areas of minimal flooding) as shown on FIRM Map # 09015C Panel 0134F Effective Date: 9/7/2023.
- Elevations shown are based on North American Vertical Datum of 1988 (NAVD 88). Contours shown are taken from Connecticut statewide LIDAR and supplemented with actual field survey. Contour interval = 2'.
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 7/28/2023.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS observations using the "Superior" statewide GPS network and RTK correction system.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

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DATE	DESCRIPTION
	REVISIONS

IMPROVEMENT LOCATION SURVEY  
SITE DEVELOPMENT PLAN NO. 1

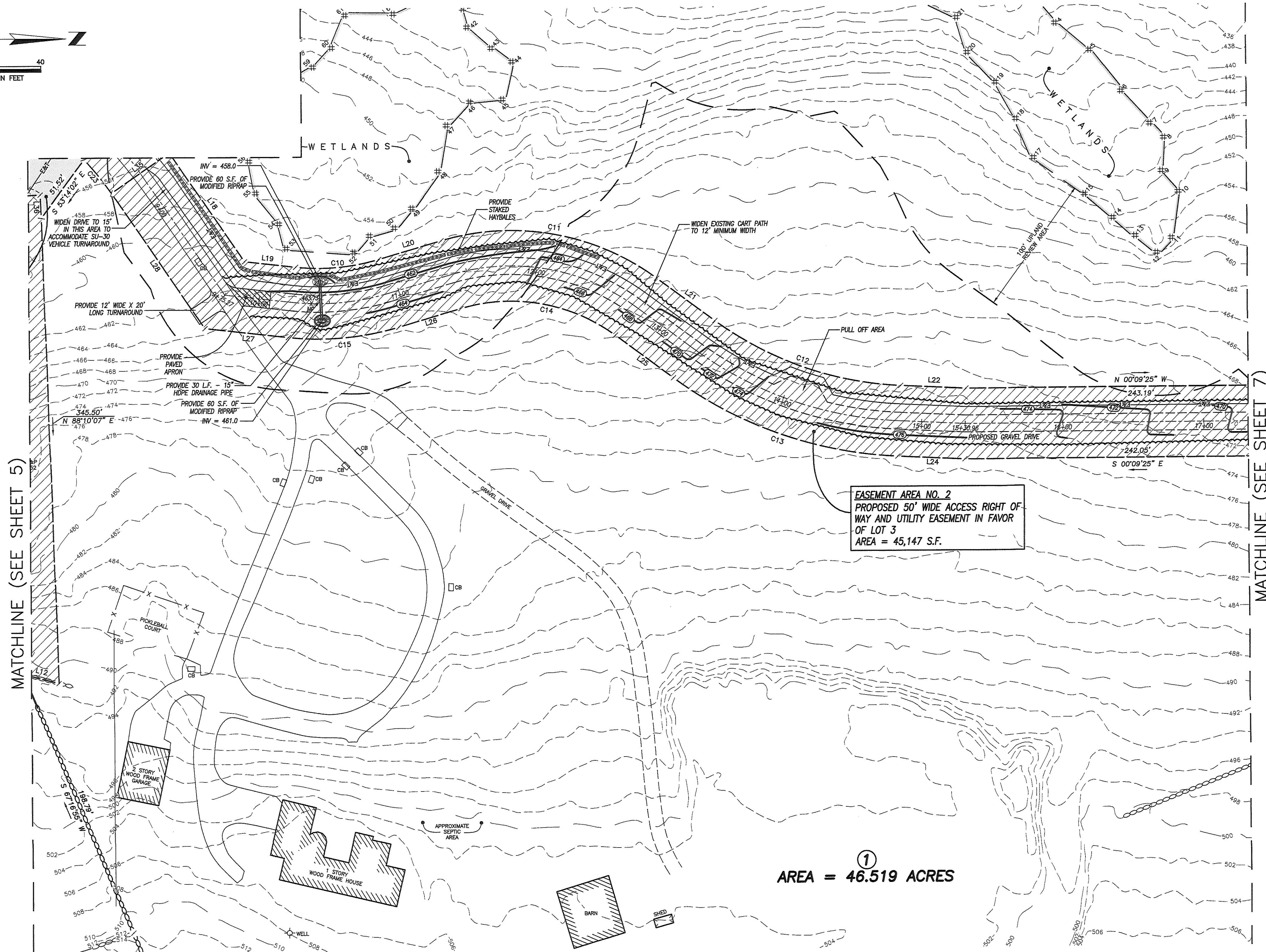
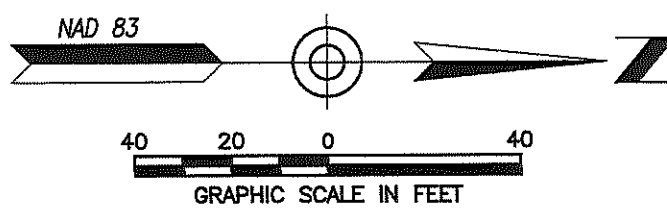
PREPARED FOR  
**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**  
90 THOMPSON ROAD (RTE. 193)  
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DATE: 12/21/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 5 OF 11	CHK BY: GG
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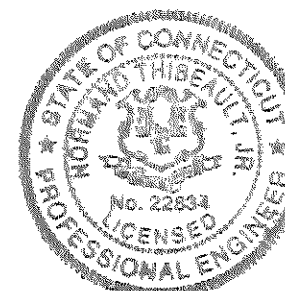
EASEMENT AREA NO. 2  
PROPOSED 50' WIDE ACCESS RIGHT OF  
WAY AND UTILITY EASEMENT IN FAVOR  
OF LOT 3  
AREA = 45,147 S.F.

AREA = 46.519 ACRES

CURVE DATA				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	3679.72'	160.06'	2°29'32" N 04°25'18" E	160.05'
C2	3679.72'	203.72'	3°10'19" N 07°15'14" E	203.69'
C3	3699.72'	484.28'	7°29'59" N 13°20'56" E	483.94'
C4	245.00'	182.69'	42°43'25" S 34°15'51" W	178.48'
C5	3679.72'	69.76'	1°05'11" N 02°37'57" E	69.76'
C6	140.00'	83.20'	34°03'04" N 12°01'02" E	81.98'
C7	105.00'	56.14'	30°38'02" N 13°43'33" E	55.47'
C8	345.00'	47.90'	7°57'20" N 08°59'27" W	47.86'
C9	175.00'	79.02'	25°52'16" N 00°01'59" W	78.35'
C10	150.00'	59.44'	22°42'18" N 04°55'44" W	59.05'
C11	175.00'	161.00'	52°42'44" N 10°04'29" E	155.38'
C12	240.00'	141.46'	33°46'19" N 19°32'42" E	139.42'
C13	290.00'	170.94'	33°46'19" S 19°32'42" W	168.47'
C14	125.00'	115.00'	52°42'44" S 10°04'29" W	110.99'
C15	200.00'	79.26'	22°42'18" S 04°55'44" E	78.74'
C16	195.00'	145.40'	42°43'25" S 34°15'51" W	142.06'
C17	125.00'	56.44'	25°52'16" S 00°01'59" E	55.96'
C18	395.00'	54.85'	7°57'20" S 08°59'27" E	54.80'
C19	155.00'	82.87'	30°38'02" S 13°43'33" W	81.89'
C20	90.00'	53.49'	34°03'04" S 12°01'02" W	52.70'
C21	195.00'	74.56'	21°54'23" N 23°51'20" E	74.10'
C22	195.00'	40.17'	11°48'06" N 40°42'34" E	40.09'
C23	195.00'	30.68'	9°00'56" N 51°07'05" E	30.65'

LINE DATA			LINE DATA		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 13°16'33" W	52.28'	L21	N 36°25'51" E	51.01'
L2	S 12°54'09" W	66.33'	L22	N 02°39'32" E	46.40'
L3	S 02°42'59" E	50.00'	L23	S 87°26'35" E	50.06'
L4	S 87°20'16" W	60.85'	L24	S 02°39'32" W	47.63'
L5	S 87°20'16" W	50.04'	L25	S 36°25'51" W	51.01'
L6	S 87°20'16" W	76.83'	L26	S 16°16'53" E	46.14'
L7	S 87°20'16" W	24.04'	L27	S 06°25'24" W	59.43'
L8	N 02°34'31" W	65.72'	L28	S 55°37'33" W	116.08'
L9	N 20°34'32" E	8.32'	L29	S 12°54'09" W	66.33'
L10	N 28°24'34" E	100.49'	L30	S 12°58'07" E	74.05'
L11	N 10°02'35" W	36.30'	L31	S 05°00'47" E	66.70'
L12	S 14°28'27" W	26.05'	L32	S 01°35'28" E	86.75'
L13	N 05°00'30" W	91.43'	L33	S 29°02'34" W	35.47'
L14	N 29°02'34" E	35.47'	L34	S 05°00'30" E	93.48'
L15	N 01°35'28" W	85.25'	L35	N 34°22'27" W	50.00'
L16	N 05°00'47" W	65.21'	L36	N 88°10'07" E	16.46'
L17	N 12°58'07" W	74.05'			
L18	N 55°37'33" E	93.18'			
L19	N 06°25'24" E	36.54'			
L20	N 16°16'53" W	46.14'			

FOR ALL CONSTRUCTION NOTES,  
TEST PIT DATA AND DETAILS  
SEE SHEETS 10 AND 11.



Norman E. Thibault, Jr., P.E.  
LIC #PEN 0022834  
DATE 1/3/2024

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON.

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE 1/3/2024

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

#### NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
  - Field surveyed topographic features conform to a Class "T-2", "V-2" vertical accuracy.
  - LIDAR topographic features conform to a Class "T-D" vertical accuracy.
  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category:
    - Along Existing Deed Lines: Resurvey
    - Along Proposed Deed Lines: Original Survey
- Total Subdivided Area = 52.523 Acres
- Zone = Rural Residential Agricultural District (RRAD).
- Owner of record: Cheryl Lowinski-Loh & John Lowinski-Loh  
90 Thompson Road, Thompson, CT 06277  
See Volume 1022, Page 220
- Parcel is shown as Lot #16, Block 38 on Assessors Map #87.
- Parcel lies within Flood Hazard Zone 'X' (areas of minimal flooding) as shown on FIRM Map # 09015C Panel 0134F Effective Date: 9/7/2023.
- Elevations shown are based on North American Vertical Datum of 1988 (NAVD 88). Contours shown are taken from Connecticut statewide LIDAR and supplemented with actual field survey. Contour interval = 2'.
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, on 7/28/2023.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS observations using the "Superior" statewide GPS network and RTK correction system.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

#### MAP REFERENCES:

- "Town of Thompson - Map Showing Land, Easement, & Rights of Access Acquired From - Fred A. Bernklow ET AL by The State of Connecticut Relocation of Route 12 - Scale: 1" = 40' - Date: October 1963 - On file as Map No. 439A, 441, 441A, 441B, 441C, 441D, and 441E of the Thompson Land Records.
- "Right of Way Survey - Connecticut Department of Transportation Right of Way Map - Town of Thompson - Interstate Route 395 - From Thompson Road Northerly to Lowell Davis Road - Scale: 1" = 80' - Date: 9/95 - Sheets 1 of 7 & 2 of 7".
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REVISIONS	
DATE	DESCRIPTION

#### IMPROVEMENT LOCATION SURVEY SITE DEVELOPMENT PLAN NO. 2

PREPARED FOR  
**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**

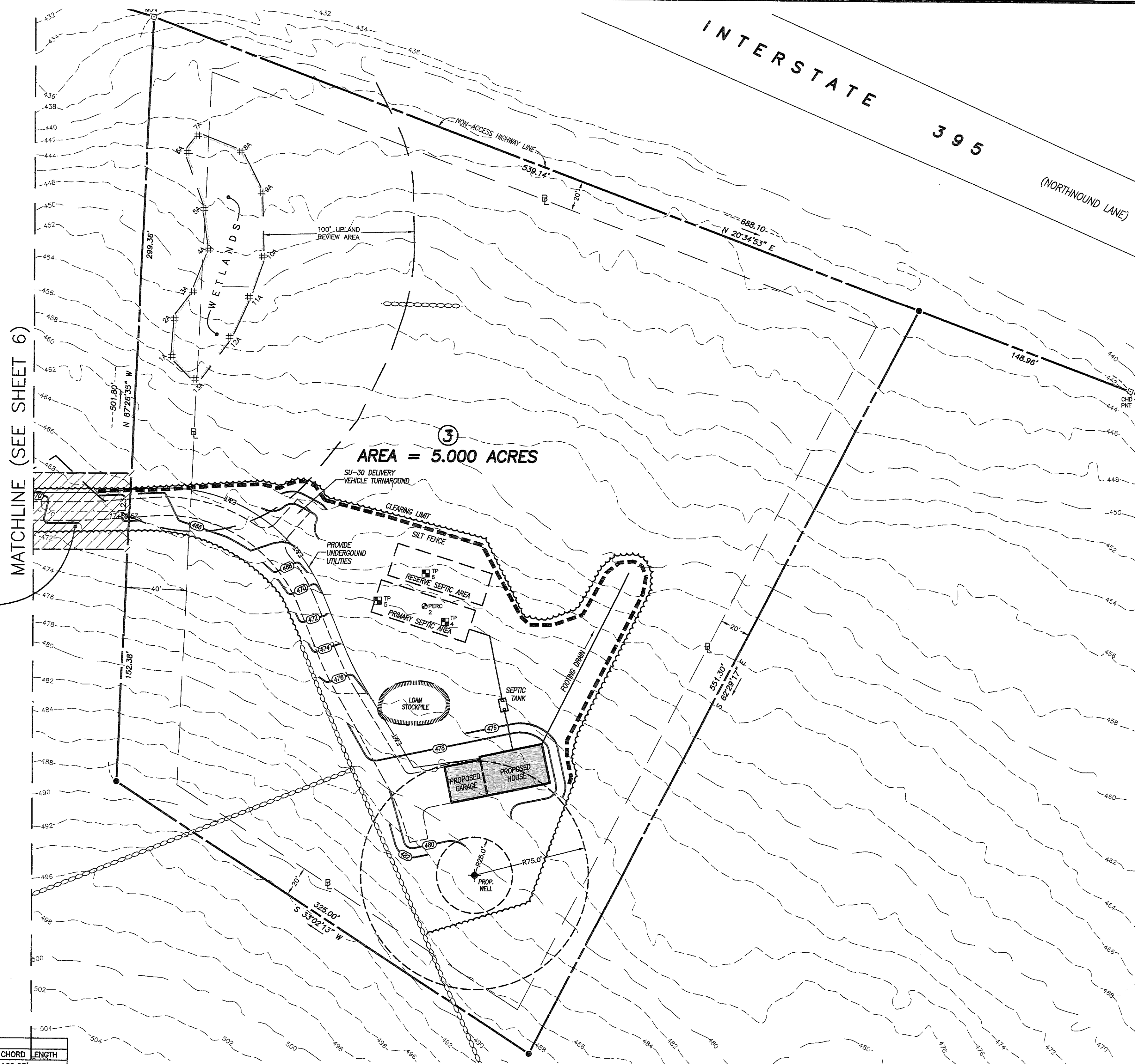
90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying

114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com


DATE: 12/21/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 6 OF 11	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 23093





③  
AREA = 5.000 ACRES

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON.

  
\_\_\_\_\_  
GREG A. CLAUDE, L.S. LIC. NO. 70191 DATE 1/5/2024

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS  
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

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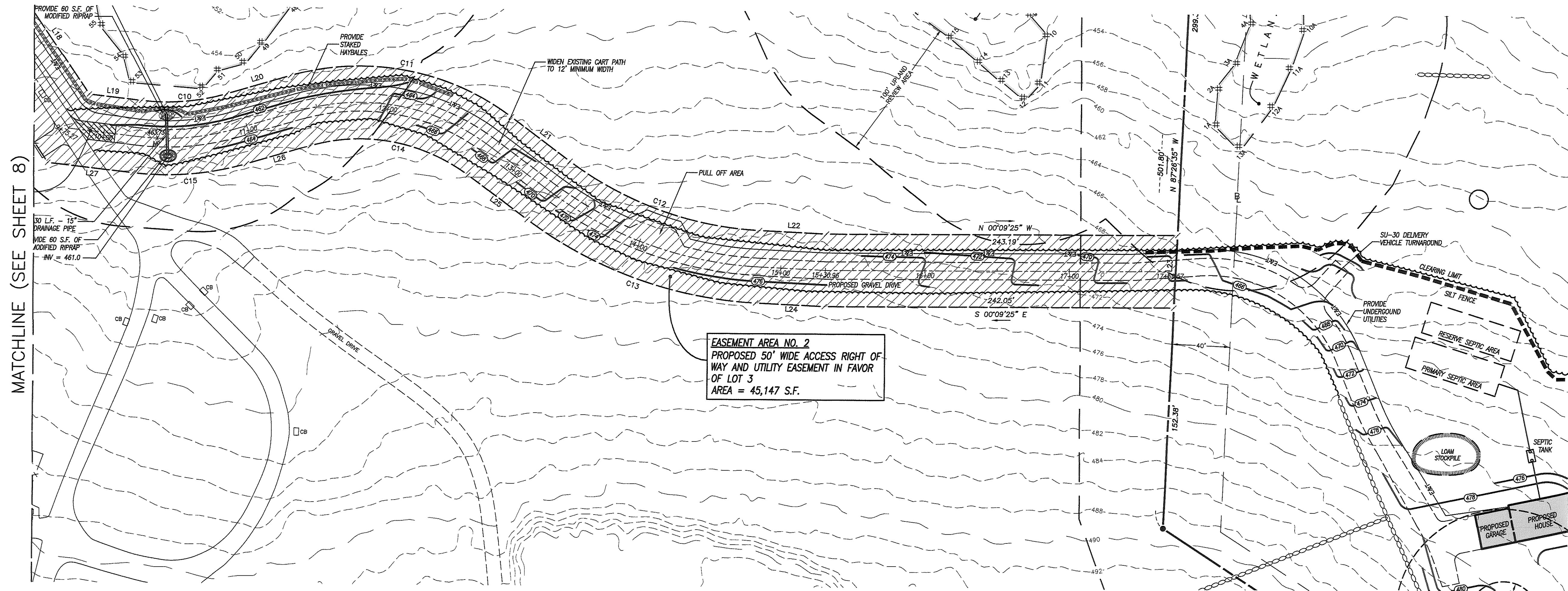
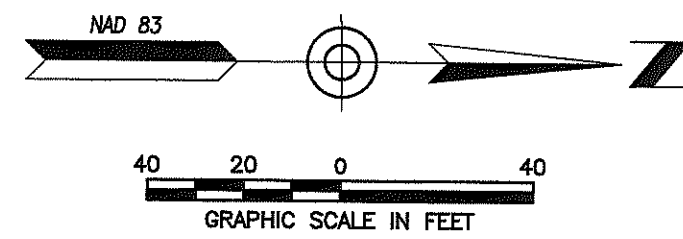
	<b>Killingly Engineering Associates</b> <i>Civil Engineering &amp; Surveying</i>	
	114 Westcott Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7229 <a href="http://www.killinglyengineering.com">www.killinglyengineering.com</a>	
DATE: 12/21/2023	DRAWN: RGS	
SCALE: 1" = 40'	DESIGN: NET	
SHEET: 7 OF 11	CHK BY: GG	
DWG. NO: CLIENT FILE	JOB NO.: 23003	

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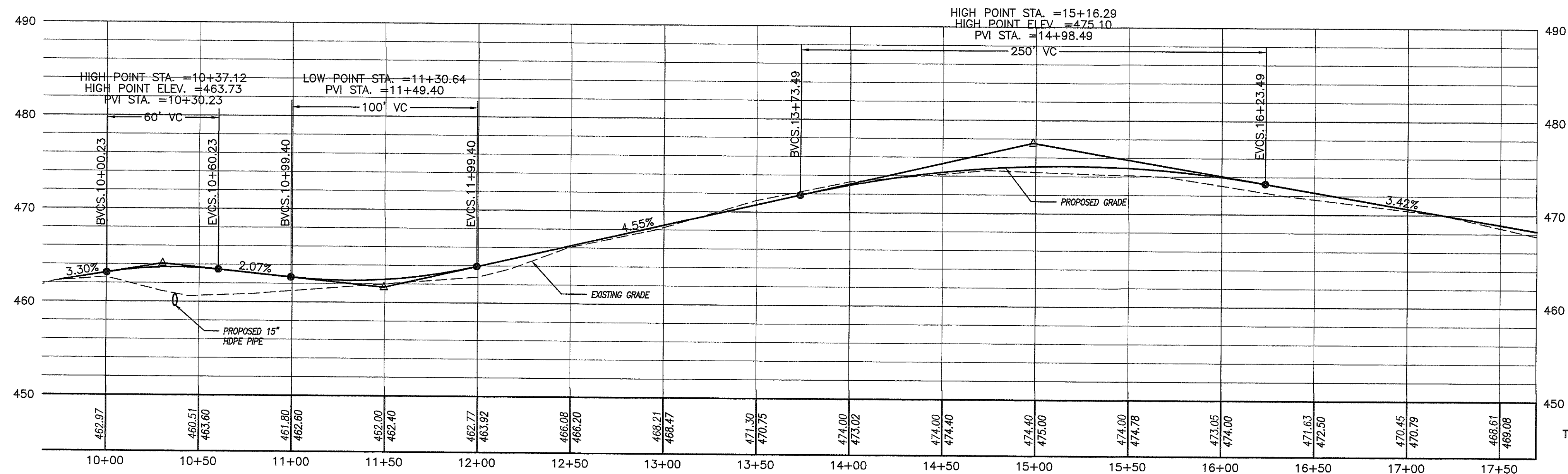








PLAN VIEW  
SCALE: 1" = 40'



PROFILE  
HORIZONTAL SCALE IN FEET  
VERTICAL SCALE IN FEET

LEGEND

- F.F. FINISHED FLOOR  
● IRON PIN TO BE SET  
○ IRON PIN FOUND  
DH DRILL HOLE FOUND  
CHD CHD MONUMENT FOUND  
CHD CHD MONUMENT POINT  
UTILITY POLE  
CB CATCH BASIN  
PERCOLATION TEST HOLE  
TEST HOLE  
EXISTING CONTOURS  
PROPOSED CONTOURS  
INLAND WETLANDS FLAG  
BUILDING SETBACK LINE  
STONE WALL  
SILT FENCE

NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, Amended October 26, 2018;
  - This survey conforms to a Class "A-2" horizontal accuracy.
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  - Survey Type: Improvement Location Survey.
  - Boundary Determination Category:
    - Along Existing Deed Lines: Resurvey
    - Along Proposed Deed Lines: Original Survey
- Total Subdivided Area = 52.523 Acres
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90 Thompson Road, Thompson, CT 06277  
See Volume 1022, Page 220
- Parcel is shown as Lot #16, Block 38 on Assessors Map #87.
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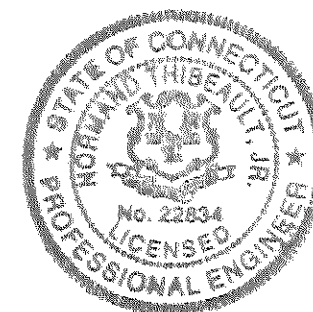
DATE	DESCRIPTION

IMPROVEMENT LOCATION SURVEY  
DRIVEWAY PLAN AND PROFILE NO. 2

PREPARED FOR  
**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**  
90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT

Killingly Engineering Associates Civil Engineering & Surveying	
114 Westcott Road P.O. Box 421 Killingly, Connecticut 06241 (860) 779-7299 www.killinglyengineering.com	
DATE: 12/21/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 9 OF 11	CHK BY: GG
DWG. No: CUJEN FILE	JOB No: 23093

Received  
JAN 03 2024  
Thompson Wetlands Office



*Norman E. Thibault, Jr., P.E.*  
NORMAN E. THIBAUT, JR., P.E.  
LIC #PEN 0022634  
DATE 1/3/2024



## SOIL TYPES:

3 Ridgebury, Leicester, and Whitman soils, extremely stony.

Included with this soil in mapping are areas of moderately well drained Sutton and Woodbridge soils that are slightly higher on the landscape. Sutton soils lack the dense substratum that Woodbridge soils have. Also included are a few non-stony surface soils, small areas of soils subject to flooding, small areas with steeper slopes, and areas with silt loam surface and subsoil textures. Minor components make up about 10 percent of the map unit.  
Slopes: nearly level to gently sloping  
Landscape: depressions on uplands, drainageways on uplands  
Surface cover: 3 to 14 percent stones  
Size of map unit: Areas commonly range from 3 to 150 acres.

306—Udorthents—Urban land complex

Included with this soil in mapping are areas of udorthents with a wet substratum, which were formerly poorly drained and very poorly drained soils. Also included are areas of undisturbed soils and rock outcrop. Undisturbed soils are in areas between buildings and structures. Minor components make up about 20 percent of the unit.

38C—Hinckley gravelly sandy loam, 3 to 15 percent slopes

Included with this soil in mapping are areas of excessively drained Windsor soils which are sandy throughout. Also included are somewhat excessively drained Merrimac soils and well drained Agawam soils. Merrimac soils are sandy over sand and gravel and Agawam soils are loamy over sand and gravel. Small areas of moderately well drained Sudbury soils are included in slightly lower areas, poorly drained Walpole soils and very poorly drained Scarborough soils are included in shallow depressions and drainageways. A few areas in Litchfield and Hartford counties include soils with a reddish brown color. Windham County includes some soils with a fine sandy loam surface. New London County includes some soils with less gravel or a gravelly silt loam surface and subsoil. New Haven County includes some soils with less gravel or a gravelly loamy sand surface. Minor components make up about 20 percent of this map unit.

45C—Woodbridge fine sandy loam, 8 to 15 percent slopes, extremely stony

Included with this soil in mapping are areas of well drained Paxton and Montauk soils that are higher on the landscape. Also included are areas of poorly drained Ridgebury soils and very poorly drained Whitman soils in depressions and along drainageways. Moderately well drained Sutton soils are included in areas lacking a dense substratum. Poorly drained Leicester soils are in depressions and lack a dense substratum. In Fairfield and Litchfield counties where the soil is less acid and lacks a dense substratum, some areas of well drained Stockbridge soils and moderately well drained Georgia soils are included. A few areas in New London County include a loamy sand substratum. Minor components make up about 20 percent of the map unit.

47C—Woodbridge fine sandy loam, 2 to 15 percent slopes, extremely stony

Included with this soil in mapping are areas of well drained Paxton and Montauk soils that are higher on the landscape. Also included are areas of poorly drained Ridgebury soils and very poorly drained Whitman soils in depressions and along drainageways. Moderately well drained Sutton soils are included in areas lacking a dense substratum. Poorly drained Leicester soils are in depressions and lack a dense substratum. In Fairfield and Litchfield counties where the soil is less acid and lacks a dense substratum, some areas of well drained Stockbridge soils and moderately well drained Georgia soils are included. A few areas in New London County include a loamy sand substratum. Minor components make up about 20 percent of the map unit.

60B—Canton and Charlton soils, 3 to 8 percent slopes

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. A few areas in Litchfield County include soils with a silt loam surface and subsoil. Minor components make up about 20 percent of the map unit.

60C—Canton and Charlton fine sandy loams, 8 to 15 percent slopes

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. Minor components make up about 20 percent of the mapping unit.

61C—Canton and Charlton soils, 8 to 15 percent slopes, very stony

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. Minor components make up about 20 percent of the mapping unit.

62C Canton and Charlton soils, 3 to 15 percent slopes, extremely stony

Included with these soils in mapping are areas of moderately well drained Sutton soils in slight depressions on the landscape, and poorly drained Leicester soils in depressions and drainageways. Also included are areas of moderately deep, somewhat excessively drained and well drained Chatfield soils where bedrock is 20 to 40 inches below the surface. Shallow, somewhat excessively drained and well drained Hollis soils are in small areas where bedrock is 10 to 20 inches below the surface. Minor components make up about 20 percent of the map unit.  
Landscape: hills on uplands  
Surface cover: 3 to 15 percent stones  
Size of map unit: Areas commonly range from 3 to 100 acres.

73C Charlton—Chatfield complex, 3 to 15 percent slopes, very rocky.

Included with these soils in mapping are areas of moderately well drained Sutton soils and poorly drained Leicester soils. Sutton soils are in slight depressions in the landscape. Leicester soils are in depressions and drainageways. Also included are small areas of shallow, somewhat excessively drained Hollis soils where bedrock is 10 to 20 inches below the surface. A few areas in Litchfield County have a yellowish red surface layer and subsoil. Other areas in Litchfield County include sandier soils over bedrock. Minor components make up about 25 percent of the map unit.  
Slopes: gently sloping to strongly sloping  
Landscape: bedrock-controlled hills, bedrock-controlled uplands  
Surface cover: 0 to 3 percent stones  
Size of map unit: Areas commonly range from 3 to 500 acres.

84B—Paxton and Montauk fine sandy loams, 3 to 8 percent slopes

Included with these soils in mapping are areas of moderately well drained Woodbridge soils in slight depressions on the landscape. Also included are poorly drained Ridgebury soils in depressions and along drainageways. Well drained Canton and Charlton soils are included in areas lacking a dense substratum. Well drained Stockbridge soils are included in areas of Litchfield and Fairfield counties with carbonates below 40 inches. Also included are areas of nearly level soils and soils with a stony surface. A few areas in Hartford, Middlesex, and New Haven counties include soils with a red substratum. Minor components make up about 15 percent of the map unit.

85B—Paxton and Montauk fine sandy loams, 3 to 8 percent slopes, very stony

Included with these soils in mapping are areas of moderately well drained Woodbridge soils in slight depressions on the landscape. Also included are poorly drained Ridgebury soils in depressions and along drainageways. Well drained Canton and Charlton soils are included in areas lacking a dense substratum. Well drained Stockbridge soils are included in areas of Litchfield and Fairfield counties with free carbonates below 40 inches. Also included are areas of nearly level soils and soils with a stony surface. A few areas in Hartford, Middlesex, and New Haven counties include soils with a red substratum. Minor components make up about 15 percent of the map unit.

85C—Paxton and Montauk fine sandy loams, 8 to 15 percent slopes, very stony

Included with these soils in mapping are areas of moderately well drained Woodbridge soils in slight depressions on the landscape. Also included are poorly drained Ridgebury soils in depressions and along drainageways. Well drained Canton and Charlton soils are included in areas lacking a dense substratum. Well drained Stockbridge soils are included in areas of Litchfield and Fairfield counties in soils that have free carbonates below 40 inches. Also included are soils with a stony surface. A few areas in Hartford, Middlesex, and New Haven counties include soils with a red

## DEVELOPMENT SCHEDULE: (Individual Lots):

- Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
- Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
- Install construction entrance.
- Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
- Begin construction of the house, septic system and well.
- Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
- The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

## DEVELOPMENT CONTROL PLAN:

- All site construction shall be governed by CT Department of Transportation Form 818, latest revisions thereto.
- Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
- The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town of Plainfield will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
- All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2:1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
- Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
- The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
- Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

## SILT FENCE INSTALLATION AND MAINTENANCE:

- Dig a 6" deep trench on the uphill side of the barrier location.
- Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
- Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
- Inspect and repair barrier after heavy rainfall.
- Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
- Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
- Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
  - the fence has been overtopped, undercut or bypassed by runoff water,
  - the fence has been moved out of position (knocked over), or
  - the geotextile has decomposed or been damaged.

## HAY BALE INSTALLATION AND MAINTENANCE:

- Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
- Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
- Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
- Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
- Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
  - the barrier has been overtopped, undercut or bypassed by runoff water,
  - the barrier has been moved out of position, or
  - the hay bales have deteriorated or been damaged.

## TEMPORARY VEGETATIVE COVER:

### SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

### TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

### SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

### SEEDBED PREPARATION

Loosen the soil to a depth of 3–4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is to be tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

### SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

### MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%–100% coverage.

### MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

## PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

- Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
- Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
- Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10–10–10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
- Inspect seedbed before seeding. If traffic has compacted the soil, retille compacted areas.
- Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 – October 1.
- Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

## TEST HOLE DATA – October 2, 2023

### Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
1	0"–9" 9"–32" 32"–60" 60"–68" 68" 60" 32" 32" Restrictive Roots	Organics, Topsoil, Roots, Stones Sandy Loam Roots, Stones Wet, Grey Loamy Sand Groundwater Ledge GW Mottling Restrictive Roots
2	0"–7" 7"–28" 28"–65" 65"–92" 92" N/A 85" 28" 28" Restrictive Roots	Organics, Topsoil, Roots, Stones Sandy Loam, Many Roots, Some Rocks Grey Loamy Fine Sand, Compact @ 38" Groundwater Ledge GW Mottling Restrictive Roots
3	0"–8" 8"–26" 26"–60" 60"–65" 65" 60" 26" 26" Restrictive	Organics, Topsoil, Roots Sandy Loam, Roots, Some Stones Wet, Tight Grey Loamy Sand Groundwater Ledge GW Mottling Restrictive
4	0"–8" 8"–20" 20"–34" 34"–74" 74"–80" 80" N/A 74" N/A 34" 34" Restrictive Roots	Organics, Topsoil, Roots, Rocks Fine Sandy Loam Roots, Rocks Silty, Fine Sandy Loam, Few Roots Mod. Compact Moist, Silty, Loamy Sand Groundwater Ledge GW Mottling Restrictive Roots
5	0"–6" 6"–26" 26"–32" 32"–80" 80" N/A 32" 32" Restrictive Roots	Organics, Topsoil, Roots, Rocks Sandy Loam, Roots, Large Rocks Fine Sandy Loam, Some Roots Mod. Compact Mottled, Silty, Loamy Sand N/A GW Mottling Restrictive Roots
6	0"–7" 7"–16" 16"–32" 32"–68" 68"–77" 77" N/A 68" 32" 32" Restrictive Roots	Organics, Topsoil, Roots, Rocks Fine Sandy Loam, Rocks, Rocks Silty, Fine Sandy Loam, Few Roots, Rocks Wet, Mod. Compact Loamy Sand W/Fines Groundwater Ledge GW Mottling Restrictive Roots

## PERCOLATION TEST RESULT – October 4, 2023

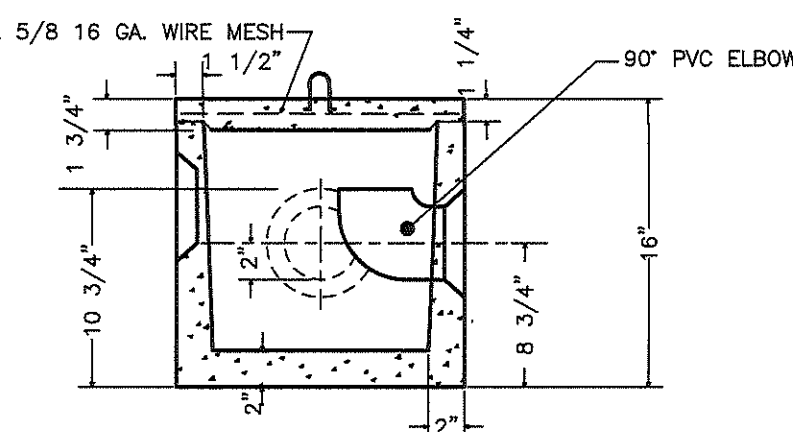
### KILLINGLY ENGINEERING ASSOCIATES

PERC 1  
Depth = 22" Rate = 10 min./in.

Time	Reading
9:30	0"
9:35	5.5"
9:40	8.5"
9:45	10.5"
9:50	12"
9:55	13.5"
10:00	13.75"
10:05	14.25"
10:10	14.75"
10:15	15.25"

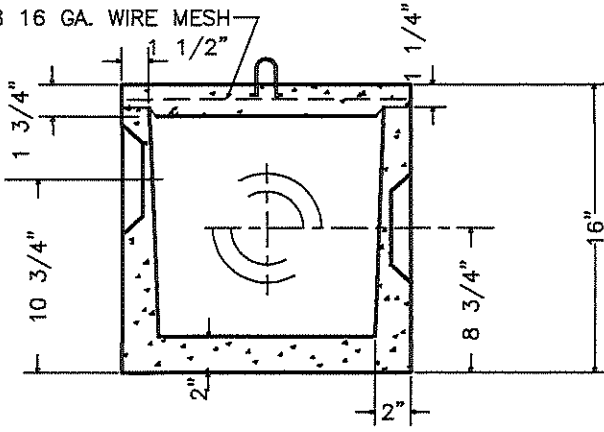
PERC 2  
Depth = 18" Rate = 6.7 min./in.

Time	Reading
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10:50	4.75"
10:55	6.25"
11:00	7.75"
11:05	9"
11:10	9.75"
11:15	10.5"
11:20	11.25"



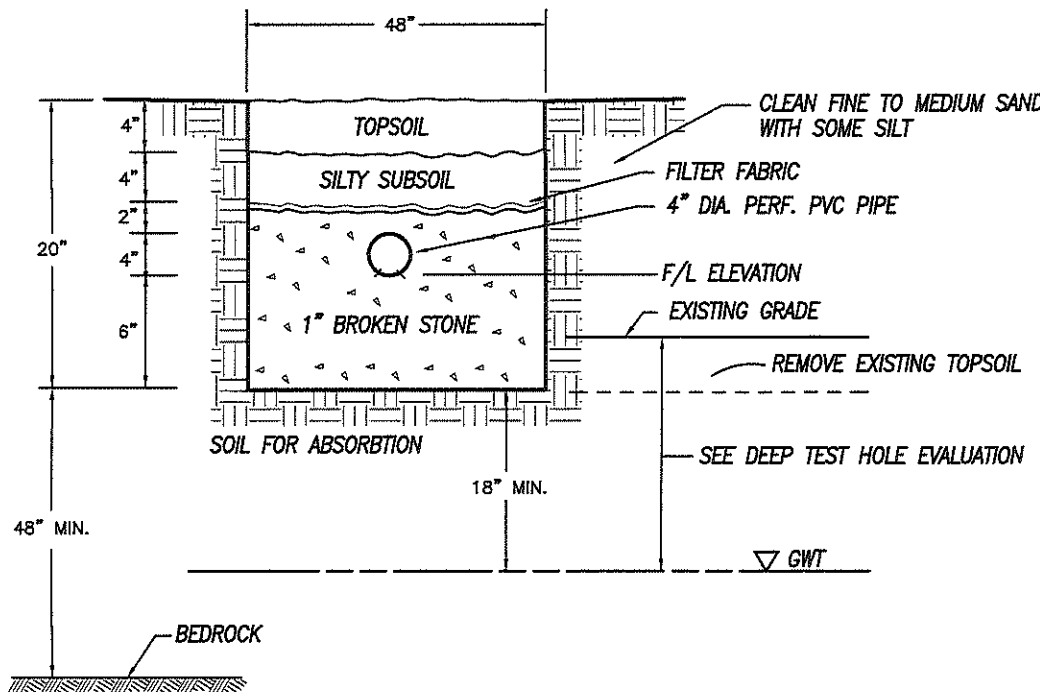
## OVERFLOW D-BOX

NOT TO SCALE



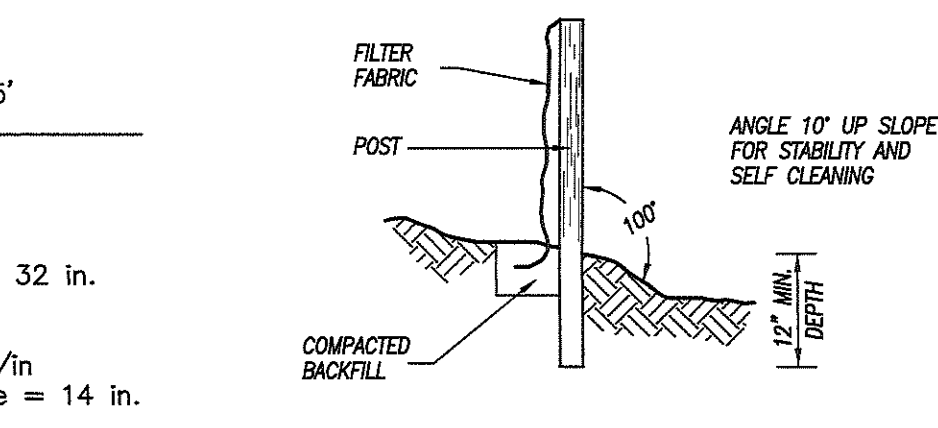
## STANDARD D-BOX

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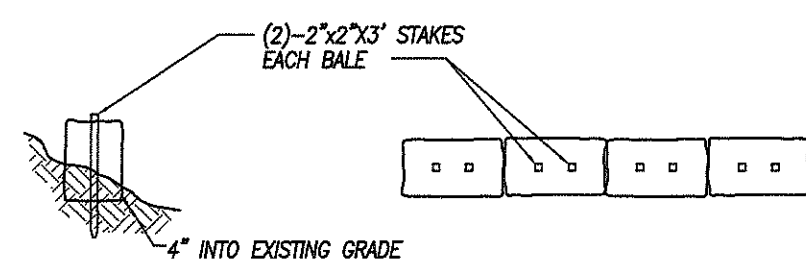
## TYPICAL LEACHING TRENCH SECTION

NOT TO SCALE



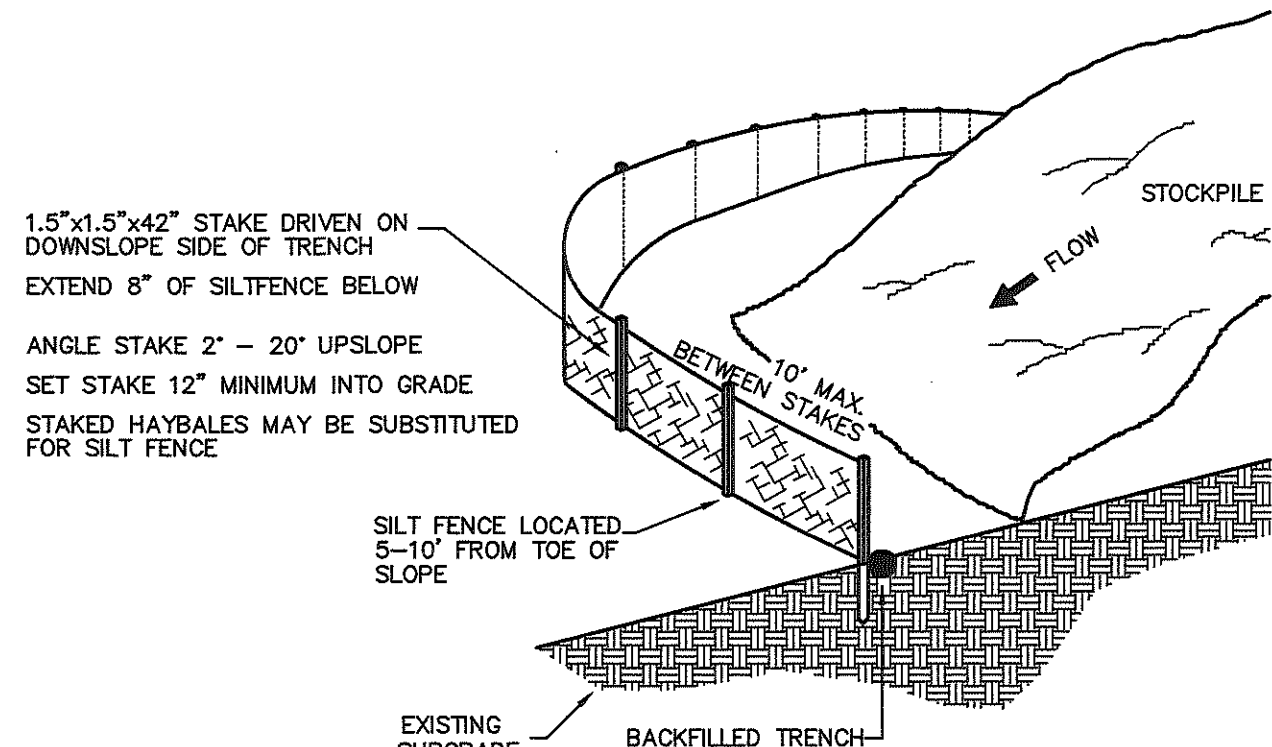
## SILT FENCE

NOT TO SCALE



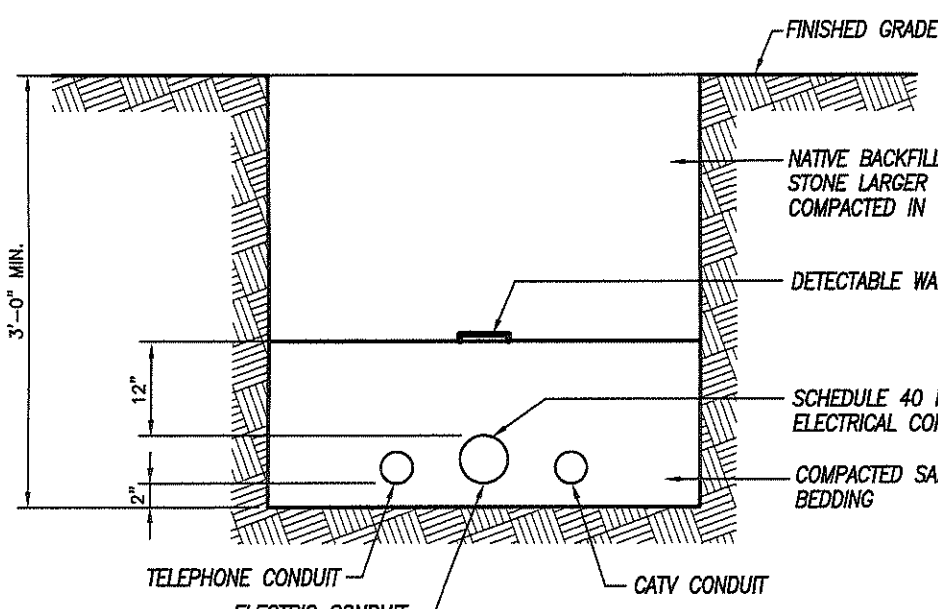
## HAYBALE BARRIER

NOT TO SCALE



## SILT FENCE @ TOE OF SLOPE APPLICATION

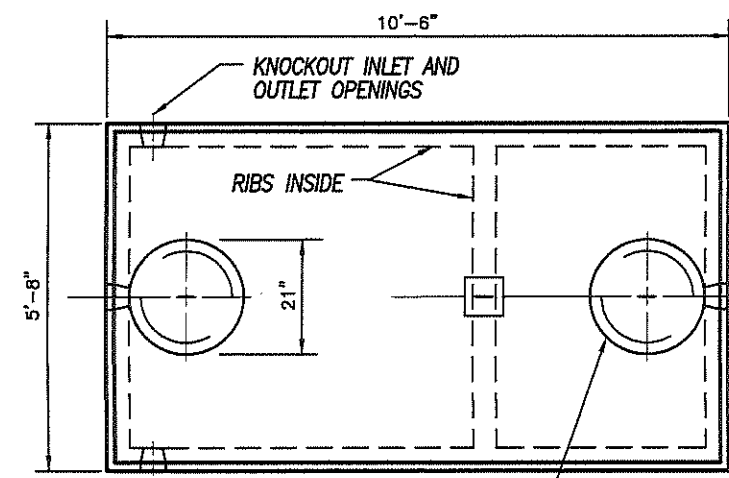
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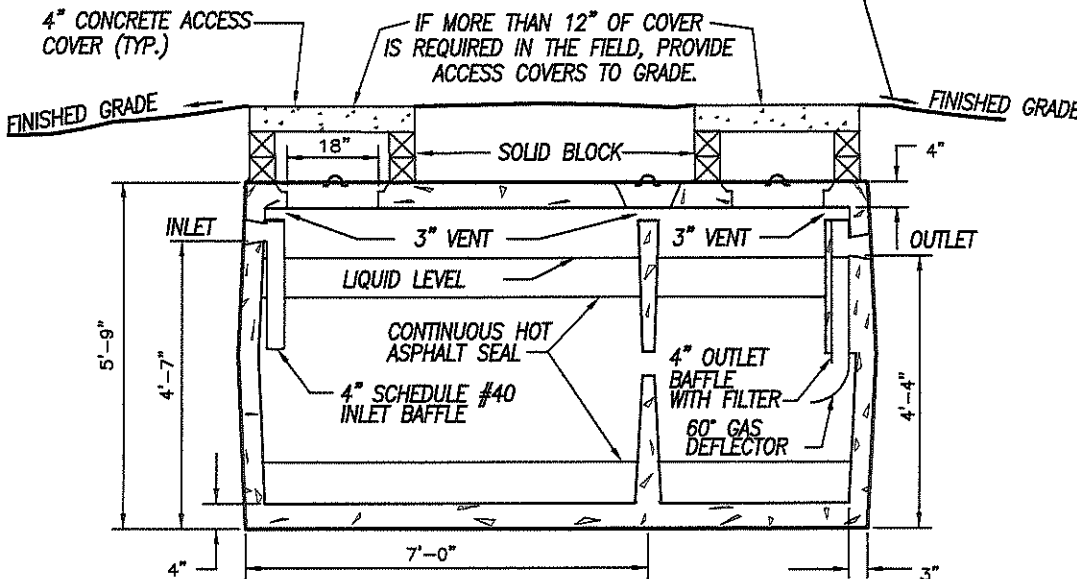
NOTE: CONTRACTOR SHALL PROVIDE SILT/CLAY DAMS AT 100' INTERVALS ALONG PROPOSED UTILITY TRENCH TO AVOID TRANSPORTING INTERCEPTED WATER.

## UNDERGROUND UTILITY TRENCH

NOTE: PROVIDE ADDITIONAL SET BACKS FOR MULTIPLE RESIDENT APPLICATIONS



## PLAN



## CROSS SECTION

## 1500 GALLON 2 COMPARTMENT SEPTIC TANK

NOT TO SCALE

DATE	DESCRIPTION
	REVISIONS

## DETAIL SHEET NO. 1

### PREPARED FOR

## CHERYL LOWINSKI-LOH & JOHN LOWINSKI-LOH

90 THOMPSON ROAD (RTE. 193)

THOMPSON, CONNECTICUT

### Killingly Engineering Associates Civil Engineering & Surveying

114 Westcott Road

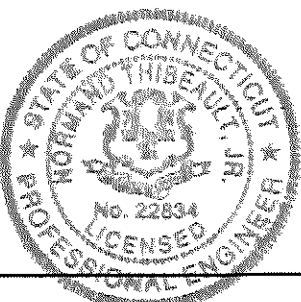
P.O. Box 421

Killingly, Connecticut 06241

(860) 775-7299

www.killinglyengineering.com

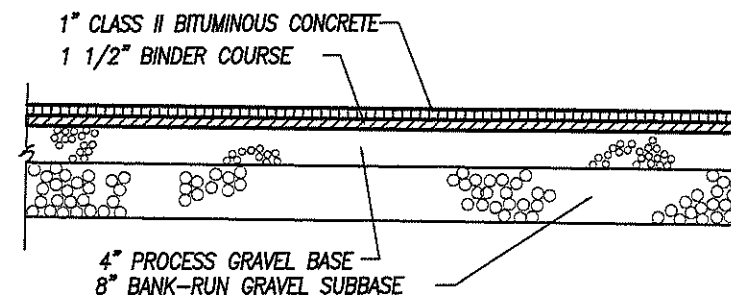
DATE: 12/21/2023	DRAWN: RGS
SCALE: AS NOTED	DESIGN: NET
SHEET: 10 OF 11	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 23093



Norman D. Thibault, Jr., P.E.  
12/21/2024  
DATE

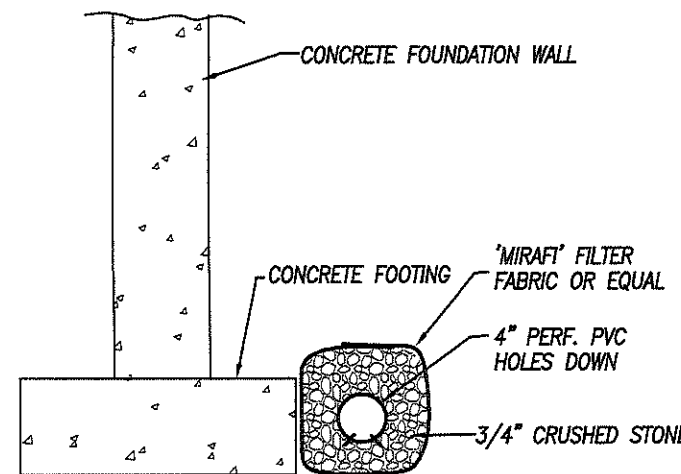
U/C #PEN 0022834





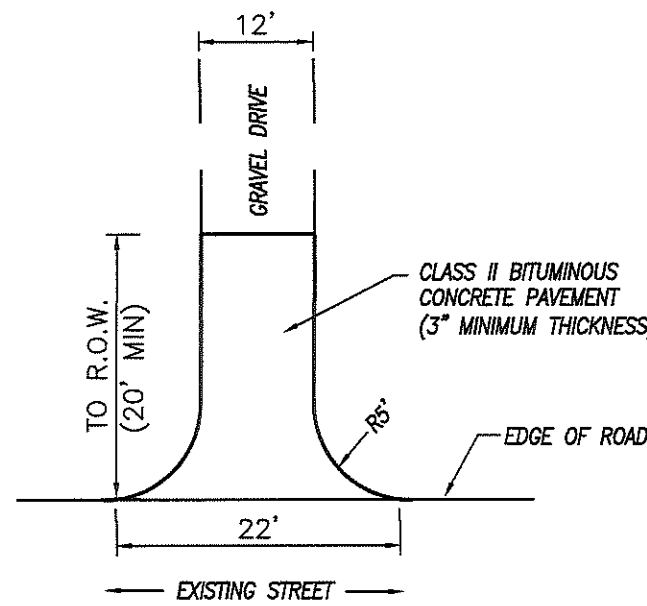
# BITUMINOUS CONCRETE PAVEMENT FOR DRIVEWAYS

NOT TO SCALE



# FOOTING DRAIN DETAIL

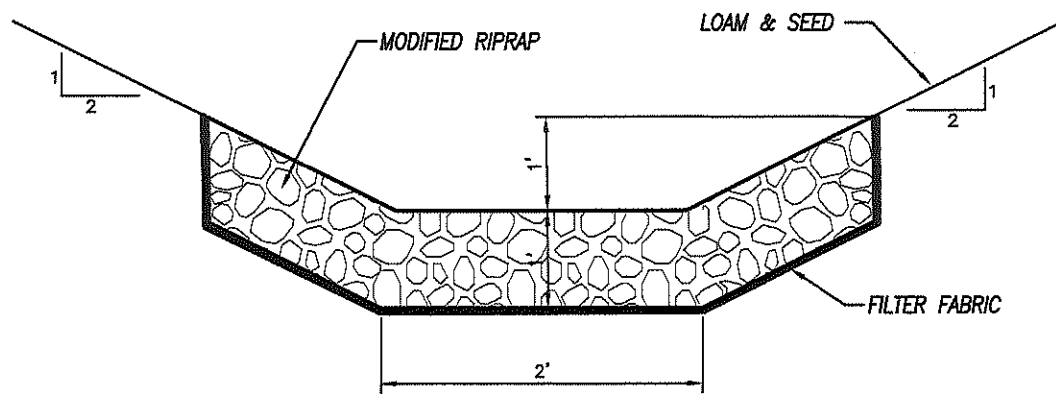
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# PAVED APRON

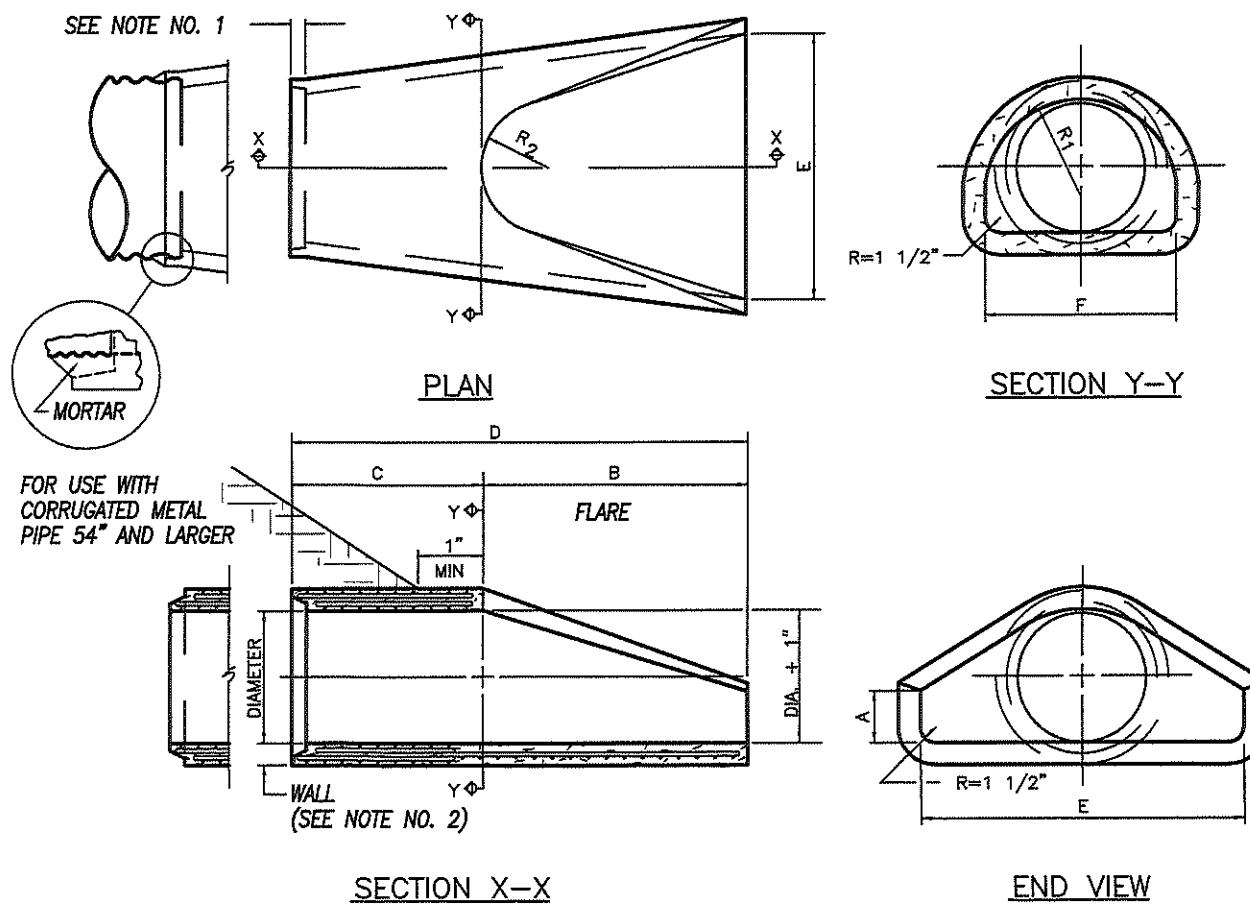
SINGLE DRIVE

NOT TO SCALE



# MODIFIED RIPRAP SWALE

NOT TO SCALE



# SECTION X-X

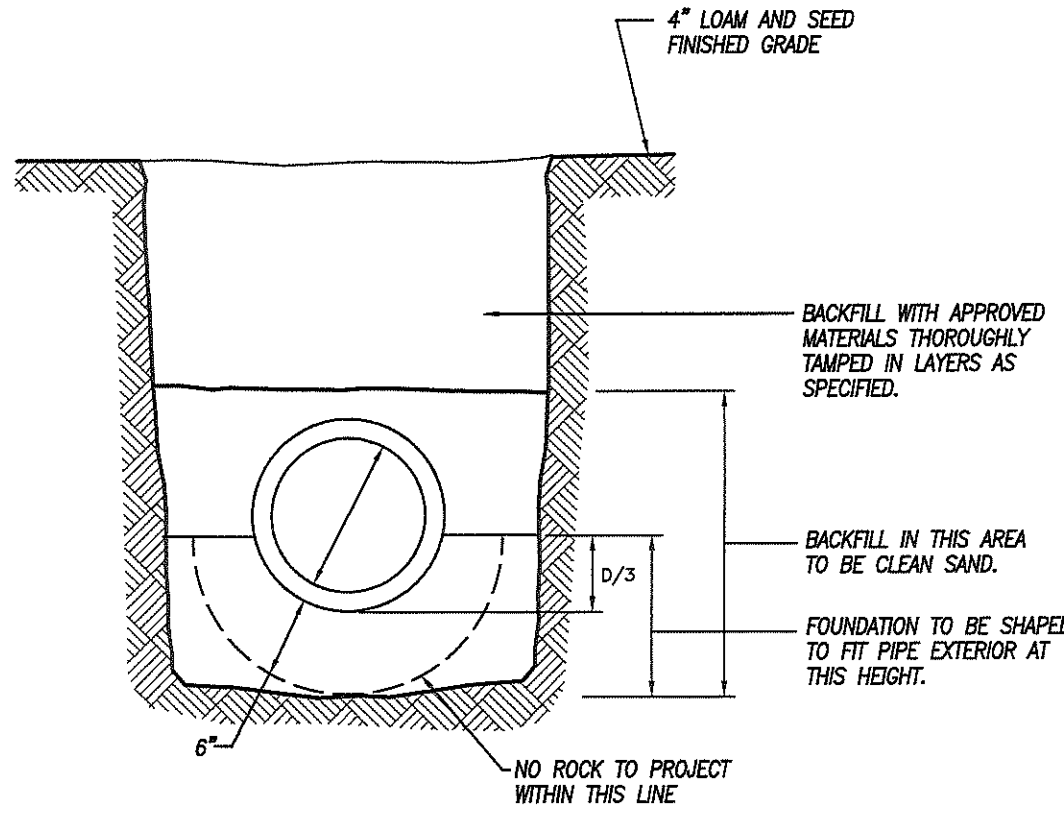
# END VIEW

- JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED.
- WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.

DIMENSIONS FOR REINFORCED CONCRETE CULVERT END										FLARED REINFORCEMENT	
DIA.	A	B	C	D	E	F	R <sub>1</sub>	R <sub>2</sub>		ONE LAYER ONLY BY CENTER OF WALL	
12"	4"	2'-0"	4'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"	10 1/4"	9"	0.048	0.048	
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 3/16"	1'-0 1/2"	11"	0.054	0.054	
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-0"	1'-3 1/2"	1'-0"	0.060	0.060	
21"	9"	2'-11"	3'-2"	6'-1"	3'-6"	2'-7 1/2"	1'-4"	1'-1"	0.066	0.066	
24"	9 1/2"	5'-7 1/2"	2'-8"	6'-1 1/2"	4'-0"	2'-8 3/16"	1'-4 15/16"	1'-2"	0.072	0.072	
30"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	3'-1"	1'-4 1/2"	1'-3"	0.084	0.084	
36"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	3'-11 13/16"	2'-0 5/16"	1'-8"	0.096	0.096	
42"	1'-9"	5'-3"	2'-11"	6'-2"	6'-6"	4'-5 7/8"	2'-3 1/2"	1'-10"	0.108	0.108	
48"	2'-0"	6'-0"	2'-2"	6'-2"	7'-0"	4'-8 1/2"	2'-4 1/2"	1'-10"	0.120	0.120	
54"	2'-3"	6'-6"	2'-11"	6'-4"	7'-6"	5'-5 1/2"	2'-4 1/8"	2'-0"	0.132	0.132	
60"	2'-6"	5'-0"	3'-3"	6'-3"	8'-0"	6'-0 1/2"	3'-0 11/16"	2'-0"	0.144	0.144	

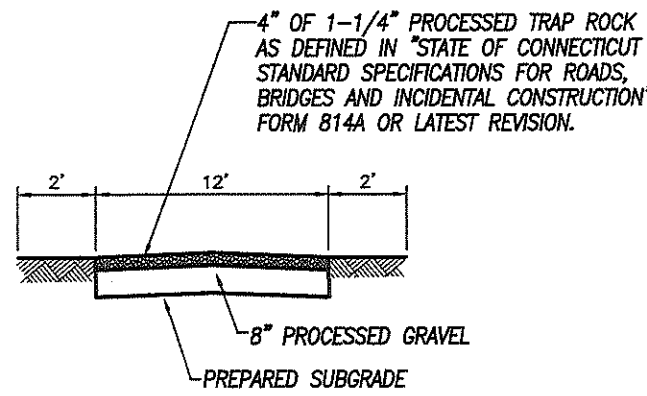
# FLARED END SECTION

NOT TO SCALE



# STORM DRAIN PIPE IN TRENCH DETAIL

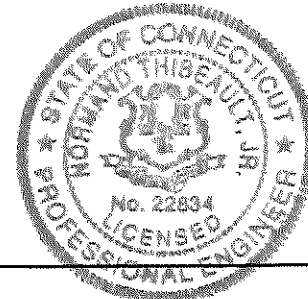
NOT TO SCALE



# GRAVEL DRIVE WITH PROCESSED TRAP ROCK DETAIL

NOT TO SCALE

Received  
JAN 03 2024  
Thompson Wetlands Office



Norman E. Thibault, Jr., P.E.  
LIC #PEN 0022834  
DATE 1/3/2024

DATE	DESCRIPTION
	REVISIONS

DETAIL SHEET NO. 2

PREPARED FOR

**CHERYL LOWINSKI-LOH &  
JOHN LOWINSKI-LOH**

90 THOMPSON ROAD (RTE. 193)  
THOMPSON, CONNECTICUT

**Killingly Engineering Associates**  
Civil Engineering & Surveying  
114 Westcott Road  
P.O. Box 421  
Killingly, Connecticut 06241  
(860) 779-7299  
www.killinglyengineering.com

DATE: 12/21/2023	DRAWN: RGS
SCALE: AS NOTED	DESIGN: NET
SHEET: 11 OF 11	CHK BY: GC
DWG. No: CLIENT FILE	JOB No: 23093

## Agenda Item E) b) 1. New Applications

**WAA24004**, Robert & Paula Mooney,  
66 Logee Rd (map 141, block 17, lot 184G)

Cottage demolition and construction of single-family  
home within upland review area.

Stamped received 1/24/24. Wetlands Agent approval 2/1/24.  
Villager Notice 2/9/24.





**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

**WETLAND AGENT APPROVAL WAA24004**

**APPROVAL GRANTED TO:**

Robert & Paula Mooney  
66 Logee Road  
Thompson, CT 06277

**DATE OF APPROVAL:** February 1, 2024

**EXPIRATION DATE:** February 1, 2029

**LOCATION OF AUTHORIZED ACTIVITY:**

66 Logee Road, Assessor's Map 141, Block 17, Lot 184G

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with Cottage Demo and Construction of Single-Family Home as shown in Application WAA24004 stamped received by the Thompson Wetlands Office January 24, 2024 and as shown in drawing(s) entitled "Site Development Plan for Robert Mooney, 66 Logee Road, Thompson, CT" prepared by J&D Civil Engineering. LLC dated December 22, 2023 received January 24, 2024.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: \_\_\_\_\_

Dan Malo

Dated: 2/1/2024

Received

JAN 24 2024

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>24004</u>
DATE RECEIVED	<u>01/24/24</u>

Application **Thompson Wetlands Office**  
for  
Wetland Agent Approval  
to conduct a regulated activity

## Town of Thompson

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

### Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE *TOWN OF THOMPSON INLAND WETLAND INVENTORY* PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
  - Location of Utility Pole nearest your property
- \*Pole Number \*Location of property in reference to Pole

---

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

---

### FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

---

Please complete the following application information.  
If you need assistance contact the Wetland Agent (office 860- 923-1852)  
Fax 860-923-9897  
[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)

Date 1/24/24

1) Name of Applicant Robert & Paula Mooney  
Home Address 66 LOGEE RD Thompson, CT 06277  
Home Tele & Hrs (978) 590-3983 Business Tele & Hrs \_\_\_\_\_  
Business Address \_\_\_\_\_

2) Applicant's interest in the Property: \_\_\_\_\_ Owner ☒ Other Leased LAND  
**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) JIM RAWSON  
Home Address 9 LOGEE POINT RD Thompson, CT 06277  
Business Address \_\_\_\_\_  
Home Tele & Hrs (860) 428-5578 Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location # 1970  
Street or Road Location @ 66 LOGEE RD

Tax Assessor's Map # 141  
Block # 17

Lot # that appears on site plan ~~184 G~~ 184 G (Lot 7)

Deed Information : Volume # \_\_\_\_\_  
Page # \_\_\_\_\_

5) The property to be affected by the proposed activity contains:

Soil Types Loamy Fine 56"-70" Cobbly Sand/Gravel 70"-105"

Wetland Soils \_\_\_\_\_ (Swamp \_\_\_\_\_ Marsh \_\_\_\_\_ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)

Watercourses \_\_\_\_\_ (Lake or Pond \_\_\_\_\_ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)

Floodplain - Yes ☒ No ☐

work proposed for upland Review Area of  
In Quaddick Reservoir

6) Description of the Activity for which Approval is requested

COTTAGE DEMO - Construction of a  
Single Family Home

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? NO If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.



- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? \_\_\_\_\_ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

- 10) Names and Addresses of Abutters:

① Matthew & CANDACE Mooney & Clarence Dr.

② Open Lot with STORAGE SHED - Owned by  
JIM RAWSON

- 11) Estimated start date 4/1/24

Estimated date of completion (all disturbed areas are stabilized) by 12/31/24

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Paul Mooney  
RJ Mooney Jr.  
Signature of Applicant

1/24/24  
Date

Jim Rawson  
Consent of Landowner if other than applicant

1/31/24  
Date

Please attach a written consent by the owner if applicant is not the property owner.



Robert Mooney  
66 Logee Rd  
Thompson, CT 06277

January 25, 2024

## **Project & Scope of Work for 66 Logee Rd.**

Our project consists of the demolition of our cottage at 66 Logee Rd/Quaddick Reservoir and replacing it with a 2-bedroom single family home. We expect the project to start in April 2024 and be completed by the end of the year (2024). Our project will replace a cottage that is non-conforming in numerous ways and replacing it with a home that is fully conforming and will be extremely energy efficient.

Our project will be in an upland review area and great consideration was given to the location of our well and septic systems to minimize disruptions to the surrounding area. We reviewed and surveyed 3 different locations for the septic system and decided on a parcel across the road from our property. The source of delineation is based on the distance from the water's edge.

The excavation work will significantly improve drainage on the property as well as improving drainage for the abutting properties. The fill removed from the septic location will be used for the excavation of the home site. No additional fill is anticipated.

The property has road access for all excavating and construction equipment. We are confident that there will be no disruption to any of the surrounding areas.

The lake, marshes, woodlands, and all surrounding areas are tremendous natural gifts we respect and treasure. We have gone to and will continue to go great lengths to assure the surrounding areas are not disturbed. Keeping and improving the landscape is paramount.





JAN 24 2024

Thompson Wetlands Office

GIS CODE #: \_\_\_\_\_  
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

### PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
- ACTION TAKEN (see instructions - one code only): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☐
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): Thompson, CT  
does this project cross municipal boundaries (check one)? yes ☐ no ☒  
if yes, list the other town(s) in which the activity is occurring (print name(s)): \_\_\_\_\_
- LOCATION (see instructions for information): USGS quad name: Thompson or number: 29  
subregional drainage basin number: \_\_\_\_\_
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Robert J Mooney, JR
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): 66 LOGEE RD Thompson, CT  
briefly describe the action/project/activity (check and print information): temporary ☐ permanent ☒ description: COTTAGE DEMO AND New Construction
- ACTIVITY PURPOSE CODE (see instructions - one code only): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1, 2, 10, 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):  
wetlands: \_\_\_\_\_ acres open water body: \_\_\_\_\_ acres stream: \_\_\_\_\_ linear feet
- UPLAND AREA ALTERED (must provide acres): Job site  
0.90 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): \_\_\_\_\_ acres

DATE RECEIVED:

### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO





# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET · UNIT 4 · BROOKLYN, CT 06234  
PHONE (860) 774-7350 · FAX (860) 774-1308 · WEB SITE WWW.NDDH.ORG

Received

JAN 24 2024

**Thompson Wetlands Office**

January 09, 2024

Quaddick Camping Area, Inc.  
9 Logee Point Road  
Thompson, CT 06277

**SUBJECT: FILE #23000087 -- LOGEE ROAD #66, MAP #141, BLOCK #17, LOT #184G, THOMPSON, CT**

Dear Quaddick Camping Area, Inc:

The subject plan (J&D CIVIL ENGINEERS, LLC, JOB#23152, MOONEY, DRAWN 12/22/2023) submitted on 12/26/2023 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 2-bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material/C-33 sand (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. A set of house plans must be submitted prior to an Approval to Construct Permit being issued.
6. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
7. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
8. Existing wells (not in use per plan) must be properly abandoned. If wells are in use then this approval is Null and Void.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Marcoux, RS  
Senior Sanitarian ~ NDDH

cc: Thompson Building Official; Robert & Paula Mooney; J&D Civil Engineers; Bryan Noonan



**Connecticut**  
**Department of Energy &  
Environmental Protection**  
**WILDLIFE DIVISION**

**CPPU USE ONLY**

App #: \_\_\_\_\_

Doc #: \_\_\_\_\_

Check #: No fee required

Program: Natural Diversity Database  
Endangered Species

Hardcopy \_\_\_\_\_ Electronic \_\_\_\_\_

## Request for Natural Diversity Data Base (NDDDB) State Listed Species Review

This form was auto-populated with information provided through the DEEP ezFile portal NDDDB review application.  
**There are no fees associated with NDDDB Reviews.**

### Part I: Preliminary Screening & Request Type

Before submitting this request, you must review the most current Natural Diversity Data Base "State and Federal Listed Species and Significant Natural Communities Maps" found on the [DEEP website](#). These maps are updated twice a year, usually in June and December.

This form is being submitted for a:

☒ **New NDDDB request**

☐ **Renewal of a NDDDB Request *without* modifications and within **two years** of issued NDDDB determination** (no attachments required)

[CPPU Use Only - NDDDB-Listed Species Determination # 1736]

☐ **New Safe Harbor Determination**; must be associated with an application for a GP for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities (Attachment D of this form is required)

☐ **Renewal/Extension** of an existing Safe Harbor Determination

☐ With modifications

☐ Without modifications (no attachments required)

[CPPU Use Only - NDDDB-Safe Harbor Determination # 1736]

Enter NDDDB Determination Number for Renewal:

Enter Safe Harbor Determination Number for Renewal/Extension:

1. Does your project utilize federal funds or require a federal permit? ☐ Yes ☒ No

If yes, your project may be subject to Federal rules regarding the Northern long-eared bats or other federally listed species. Information on the Northern long-eared bat and the 4-D rule may be found at:

<http://www.fws.gov/midwest/endangered/mammals/nleb/>

Information on other federally listed species and Section 7 consultations may be found at:

<https://www.fws.gov/newengland/EndangeredSpec-Consultation.htm>



2. Does your project utilize state funding, involve state agency actions, or relate to a CEPA request?

☐ Yes    ☒ No

3. Does your project require state permits, licenses, registrations or authorizations? ☐ Yes    ☒ No

If yes, list permit type(s):

If an active enforcement action exists regarding this project, enter number:

If known, enter DEEP analysts reviewing this project:

## II: Requester Information

*\*If the requester is a corporation, limited liability company, limited partnership, limited liability partnership, or a statutory trust, it must be registered with the Secretary of the State. If applicable, the name shall be stated **exactly** as it is registered with the Secretary of the State. Please note, for those entities registered with the Secretary of the State, the registered name will be the name used by DEEP. This information can be accessed at the Secretary of the State's Business Records Search. (<https://service.ct.gov/business/s/onlinebusinesssearch>)*

*If the requester is an individual, provide the legal name (include suffix) in the following format: First Name; Middle Initial; Last Name; Suffix (Jr, Sr., II, III, etc.).*

*If there are any changes or corrections to your company/facility or individual mailing or billing address or contact information, please complete and submit the [Request to Change company/Individual Information](#) to the address indicated on the form.*

### 1. Requester\*

Company Name: Mooney Robert

Contact Name: .

Address: 66 Logee Rd

City/Town: Thompson

State: CT

Zip Code: 06277

Business Phone: 9785903983    Ext:

\*\*E-mail: [rjm3boys@verizon.net](mailto:rjm3boys@verizon.net)

**\*\*By providing this email address you are agreeing to receive official correspondence from the department, at this electronic address, concerning this request. Please remember to check your security settings to be sure you can receive emails from "ct.gov" addresses. Also, please notify the department if your e-mail address changes**

a) Requester can best be described as:

☒ Individual    ☐ Federal Agency ☐ State agency

☐ Municipality    ☐ Tribal    ☐ \*business entity (\* if a business entity complete i through iii):

i) Check type ☐ corporation

☐ limited liability company

☐ limited partnership

☐ limited liability partnership

☐ statutory trust

☐ Other:

ii) Provide Secretary of the State Business ID #: This information can be accessed at the Secretary of the State's Business Records Search (<https://service.ct.gov/business/s/onlinebusinesssearch>)

iii) ☒ Check here if your business is **NOT** registered with the Secretary of the State's office.

b) Acting as (Affiliation), pick one:

☐ Property owner

☐ Consultant

☐ Engineer

☐ Facility owner

☒ Applicant

☐ Biologist

☐ Pesticide Applicator

☐ Other representative:

### Part III: Site Information

This request can only be completed for one site. A separate request must be filed for each additional site.

#### SITE NAME AND LOCATION

Project Name (for use in correspondence): 66 Logee Rd

If your Project site has a street address, please enter below:

Street Address: 66 Logee Rd

Town(s): Thompson

If your Project has no street address, please enter a description of the site location:

Location Description:

Town(s):

Size in acres, or site dimensions: 0.06

Describe existing land conditions:

Our property is located on Quaddick Reservoir. It is on .9 acres and is on a slope lot which slopes down towards the water. The soil drains extremely well and we have not had any issues in the 20 years we've owned the property.

The area in which we will be installing the septic has great drainage. the soil consists of the following;

0"-48" (Fill Material/Roots)

48"-56" (Top Soil)



56'-70" (Loamy Fine Sand)

70"-105" (Cobbley Sand & Gravel)

#### Part IV: Project Information

**1. Project Type:**

Choose Project Category: Construction, Development

Choose Project Type: Building and Infrastructure Development (including stormwater discharge associated with construction)

Choose Project Subtype: New Residential - single lot

**2. Brief Project Description:**

**3. Provide a schedule for all phases of the project including the year, the month that the proposed activity will be initiated and the duration of the activity.**

Start date 4/1/24 expected finish date before 12/31/24.

**4. Is the subject activity limited to the maintenance, repair, or improvement of an existing structure within the existing footprint?** ☐ Yes ☒ No If yes, add explanation in No. 4 below.

**5. Give a detailed description of the activity which is the subject of this request and describe the methods and equipment that will be used. Include a description of steps that will be taken to minimize impacts to any known listed species.**

Our project includes the demolition of a cottage currently located at 66 Logee Rd Thompson, CT, and the construction of a new single family home, on the same building lot. The current cottage is considered nonconforming and this project will bring things into conformity. The project includes the drilling of a new well and the installation of a new septic system. The septic system is located on an adjacent piece of property/across the street and has been marked appropriately in the MAP I provided.

Standard excavating equipment will be used for the installation of the septic system and all site work. We do not anticipate the need for any equipment out of the ordinary. All construction vehicles will be able to access the work site from the road. No additional property will be disturbed. We will not be disturbing ANY land not directly involved in the project. In the event there is any known species of concern, we will work closely

with the DEEP to devise an appropriate and acceptable plan (depending on the listed species/if any) to minimize impact.

We will proactively establish erosion control devices and monitor them regularly.

6. If this is a renewal or extension of an existing Safe Harbor request *with* modifications, explain what about the project has changed.

## Part VI: Supporting Documents

Check each attachment submitted as verification that *all* applicable attachments have been supplied with this request form. Label each attachment as indicated in this part (e.g., Attachment A, etc.) and be sure to include the requester's name, site name and the date. **Please note that Attachments A and B are required for all new requests. Attachment C is required for requests associated with: new state or federal permit applications, modifications of existing permits, permit enforcement actions, site management/planning that requires details species recommendations, and state funded projects, state agency activities, and CEPA requests.** Renewals/Extensions with no modifications do not need to submit any attachments. Attachments C and D are supplied at the end of this form.

<input checked="" type="checkbox"/> Attachment A:	<b>Project Detail Map:</b> an 8 1/2" X 11" print/copy of the relevant portion of a USGS Topographic Quadrangle Map clearly indicating the exact location of the site.
<input checked="" type="checkbox"/> Attachment B:	<b>GIS file (for uploaded GIS polygons):</b> fine scaled map showing site boundary and area of work details on aerial imagery with relevant landmarks labeled. (Site and work boundaries in GIS [ESRI ArcView shapefile, in NAD83, State Plane, feet] format can be substituted for detailed maps, see instruction document)
<input type="checkbox"/> Attachment C:	<b>Supplemental Information (attached, DEEP-APP-007C):</b> Site plans, photographs and biological reports
<input type="checkbox"/> Attachment D:	<b>Safe Harbor Report Requirements (attached, DEEP-APP-007D)</b>



## Part VII: Requester Certification

The requester *and* the individual(s) responsible for actually preparing the request must sign this part. A request will be considered incomplete unless all required signatures are provided.

<p>"I have personally examined and am familiar with the information submitted in this document and all attachments thereto, and I certify that based on reasonable investigation, including my inquiry of the individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief."</p>	
<p>Mooney Robert</p>	<p>1/24/2024</p>
<p>Signature of Preparer (a typed name will substitute for a handwritten signature)</p>	<p>Date</p>
<p>Mooney Robert</p>	
<p>Name of Preparer (print or type)</p>	<p>Title (if applicable)</p>
<p>Signature of Preparer (if different than above)</p>	<p>Date</p>
<p>Name of Preparer (print or type)</p>	<p>Title (if applicable)</p>

Note: Please submit the completed Request Form and all Supporting Documents to:

CENTRAL PERMIT PROCESSING UNIT  
DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION  
79 ELM STREET  
HARTFORD, CT 06106-5127

Or email request to: [deep.nddbrequest@ct.gov](mailto:deep.nddbrequest@ct.gov)

## Agenda Item E) b) 2. New Applications

**WAA24005**, Dan Mullins for Town of Thompson,  
934 Riverside Dr (map 169, block 90, lot 1)

Installation of permeable pavers within upland review  
area.

Stamped received 2/6/24. Under review.

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>24005</u>
DATE RECEIVED	<u>2/6/24</u>

Application  
for  
Wetland Agent Approval  
to conduct a regulated activity

**Received**  
**FEB 06 2024**  
**Thompson Wetlands Office**

**Town of Thompson**  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
  - Location of Utility Pole nearest your property
- \*Pole Number    \*Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

**FEE SCHEDULE:**

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot.....\$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

**Please complete the following application information.**  
**If you need assistance contact the Wetland Agent (office 860- 923-1852)**  
**Fax 860-923-9897**  
**[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)**



Date January 24, 2024

1) Name of Applicant: Dan Mullins Eastern CT Conservation District

Home Address 29 Miner Ave., Waterford, CT 06385

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs 860 617 8287 (8 AM-5 PM)

Business Address 238 West Town Street Norwich, CT 06360

2) Applicant's interest in the Property: \_\_\_\_\_ Owner ☒ Other

**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) Town of Thompson

Home Address \_\_\_\_\_

Business Address 815 Riverside Drive North Grosvenordale, CT 06255

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs 860 923 9561

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location Thompson Public Library

Street or Road Location 934 Riverside Drive North Grosvenordale, CT

Tax Assessor's Map # 169

Block # 90

Lot # that appears on site plan 1

Deed Information Volume # 277

Page # 111

5) The property to be affected by the proposed activity contains:

Soil Types \_\_\_\_\_

Wetland Soils \_\_\_\_\_ (Swamp \_\_\_\_\_ Marsh \_\_\_\_\_ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)

Watercourses \_\_\_\_\_ (Lake or Pond \_\_\_\_\_ Stream or River French River Intermittent

Stream \_\_\_\_\_) Floodplain - Yes

6) Description of the Activity for which Approval is requested The purpose of the project is to install permeable pavers to promote rainfall infiltration and reduce stormwater runoff to the French River.

Concept A will be implemented if the library can remove the fuel oil underground storage tank (UST) before spring.

Concept B will be implemented if the UST cannot be removed in that timeframe, because there is a grant deadline.

**Both Concept A & B have planned work within 100 feet of the banks of the French River near the front entrance to the library.**

**The work will not result in any net filling; existing grades will be maintained. Any temporary onsite material storage will take place in the library parking lot outside the 100 feet buffer, with proper erosion controls.**

- 7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:
- 

1-Locus map at approx. 1" = 1000'

2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.

3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.

4-Soil types on the property.

5-Flood Hazard area classification and delineation.

6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).

(b)Location of perc tests and soil test holes.

(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.

7-Nature and volume of the material to be placed, removed, or transferred.

8-Topographical contours, proposed and existing.

9-Location and supporting data for proposed drainage.

10-Date, scale (recommend 1"=40') and North arrow.

11-Proposed limits of clearing/disturbance and location of stockpiles during construction.

12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.

13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.

14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.

15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? **NO**- If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.
- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? **No**\_\_\_\_\_ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

Alan Rivers 91 Main St,  
Town of Thompson 35 Marshall St  
Gnanant LLC 96 Main St,  
Shawn C. Phelps 988 Main St,  
Town of Thompson 0 Main St  
Thompson CT Assoc Ltd 110 Main St  
Kyle & Audette Geddes, David Patterson 1 Floral Ave  
George & Jessica Ware 2 Floral Ave  
929 Riverside Drive LLC 929 Riverside Drive

11) Estimated start date April 2024

Estimated date of completion (all disturbed areas are stabilized) August 2024

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

**ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.**



Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

*Daniel Mullins*

Signature of Applicant

January 24, 2024

Date

*[Signature]*

Consent of Landowner if other than applicant

2/6/2024

Date

**Please attach a written consent by the owner if applicant is not the property owner.**

Thompson Public Library  
934 Riverside Drive  
North Grosvenor Dale, CT  
Permeable Paver Project

Received

FEB 06 2024

Thompson Wetlands Office

**SCOPE OF WORK/SPECIFICATIONS**

1. The limits of the permeable paver installation project are shown on the Conceptual Design Plan.
2. Call before you dig must be contacted prior to the start of work. Other onsite private utilities exist within the work area that must be protected by the Contractor.
3. The existing pavers, to be replaced by permeable pavers, must be removed and properly disposed or reused by the Contractor.
4. Saw cut existing pavers to remain at transition locations
5. The underlying base material must be removed and disposed by the Contractor, as required for the installation of the permeable pavers. Compact subbase grade to 95% Standard Proctor density.
6. The existing grade of the existing pavers will be the final grade for the permeable pavers, with any necessary adjustments to account for any existing settlement.
7. After removal of the existing subbase to the required depth, install six (6) inches of  $\frac{3}{4}$  inch clear open graded crushed stone compacted to achieve full particle lock-up and consolidation.
8. Install one (1) inch of  $\frac{1}{4}$  - inch open graded chip stone (ASTM No. 8) screeded over the base.
9. Install Unilock Town Hall™ pavers per manufacturer's recommendation.
10. Jointing material between the pavers shall be 1/8-inch crushed stone.
11. Install concrete/fiber edge restraint at all locations except next to existing building and granite curbing.
12. Final paver compaction will be with a protective polymer pad on the bottom of the compactor or a rubber roller compactor.
13. Paver pattern will be linear with a soldier edge course.



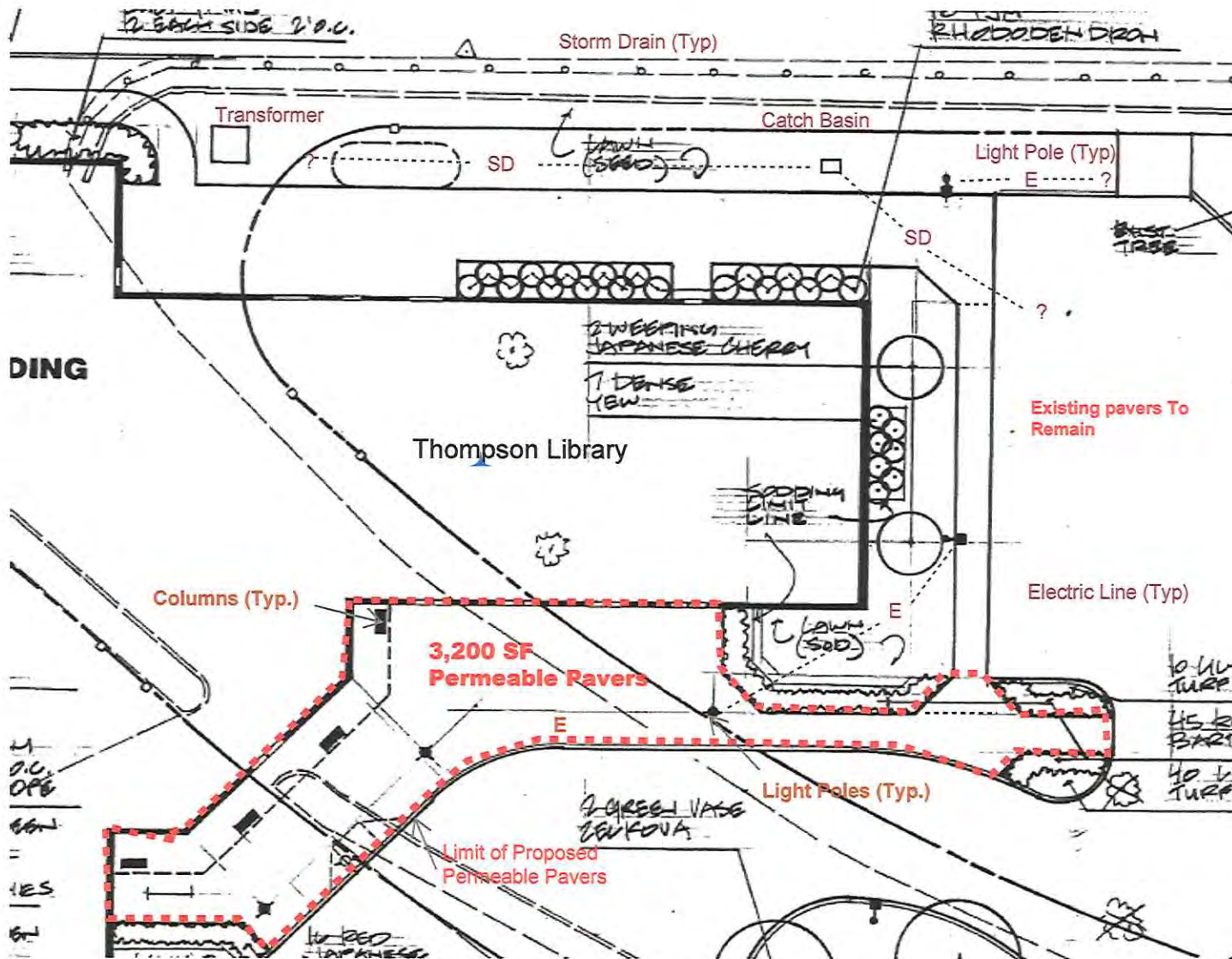
**Received**

**FEB 06 2024**

**Thompson Wetlands Office**







Received

FEB 06 2024

Thompson Wetlands Office

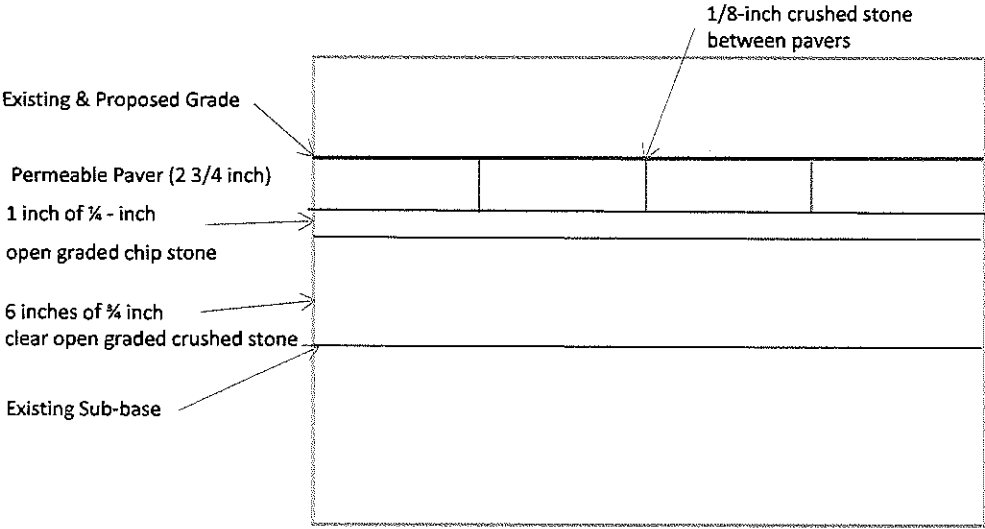
Base Plan- New Library Community Center, Evan & Chisholm Landscape Architects & Kaestle Boos Architects, Inc., Nov. 9, 1992

Utility locations are approximate. Contractor to confirm location and depth. Call Before You Dig required.

Conceptual Design -Option B  
Thompson Library  
Permeable Paver Project  
Eastern CT Conservation District  
December 2023

PERMEABLE PAVER CROSS SECTION DETAIL

THOMPSON PUBLIC LIBRARY



*Refer to Specifications for additional construction and compaction requirements.*

**Received**

FEB 06 2024

Thompson Wetlands Office



Agenda Item E) c) Applications Received After Agenda  
was Published.

None

Agenda Item F) Permit Extensions / Changes  
Modification of **WAA16021**, Sep Sadhegi for Dave  
Citron, 0 Greene Island (map 143, block 16, lot 53)

Single-family home and septic within upland review area  
of Quaddick Reservoir.

**WAA16021** extended by state statute 07/12/21.  
Application stamped received 2/7/24.

For Wetland Agent:	modification	rev 01/11
APPLICATION #WAA	of wna16021	
DATE RECEIVED	2/6/24	

Application  
for  
Wetland Agent Approval  
to conduct a regulated activity

**Received**

FEB 06 2024

**Thompson Wetlands Office**

**Town of Thompson**

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
  - \*Pole Number
  - \*Location of property in reference to Pole

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NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

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**FEE SCHEDULE:**

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

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**Please complete the following application information.**  
**If you need assistance contact the Wetland Agent (office 860- 923-1852)**  
**Fax 860-923-9897**  
**[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)**



Date February 6, 2024

1) Name of Applicant Sep Sadeghi  
Home Address 151 Laconia St, Lexington, MA 02420  
Home Tele & Hrs (781) 350 - 8738 Business Tele & Hrs \_\_\_\_\_  
Business Address \_\_\_\_\_

2) Applicant's interest in the Property: \_\_\_\_\_ Owner ☒ Other  
**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) David Citron  
Home Address PO Box 588 Brooklyn, CT 06234  
Business Address \_\_\_\_\_  
Home Tele & Hrs dcitron2012@gmail.com Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location \_\_\_\_\_  
Street or Road Location Greene Island  
Tax Assessor's Map # 143  
Block # 16  
Lot # that appears on site plan 53  
Deed Information : Volume # 882  
Page # 94

5) The property to be affected by the proposed activity contains:  
Soil Types Hinckley Loamy Sand  
Wetland Soils \_\_\_\_\_ (Swamp \_\_\_\_\_ Marsh \_\_\_\_\_ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)  
Watercourses ☒ (Lake or Pond ☒ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)  
Floodplain - Yes / No

6) Description of the Activity for which Approval is requested Proposed construction of a  
single family home and septic system.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- N/A ☐ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- N/A ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- N/A ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- N/A ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- N/A ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- N/A ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list.

11) Estimated start date Summer 2024


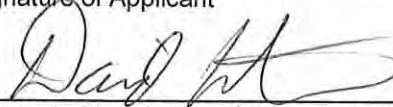
Estimated date of completion (all disturbed areas are stabilized) Spring 2025

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

**ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.**

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

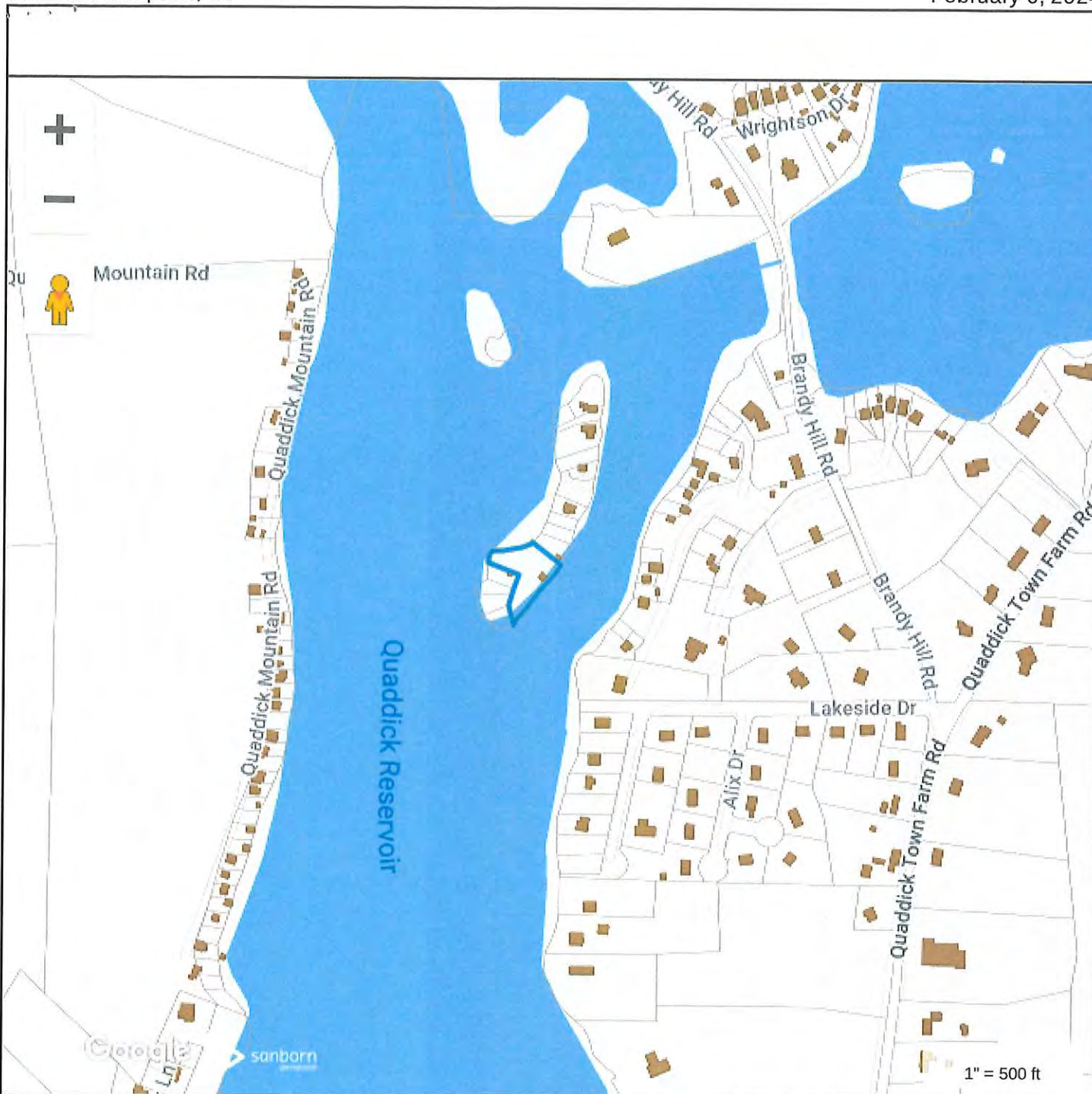
	<u>2/6/24</u>
Signature of Applicant	Date
	<u>2-7-24</u>
Consent of Landowner if other than applicant	Date

**Please attach a written consent by the owner if applicant is not the property owner.**



## List of Abutters

Site Address	Owner Name	Owner Address	City	State	Zip
21 GREENE ISLAND	TEAL MEGAN + MICHAEL	921 ROUTE 171	WOODSTOCK	CT	06281
28 GREENE ISLAND	HICKEY DONNA J + FORD DAVID B	53 CIRCUIT DR	RIVERSIDE	RI	02915
0 GREENE ISLAND	FORD DAVID B + HICKEY DONNA J	53 CIRCUIT DR	RIVERSIDE	RI	02915
0 GREENE ISLAND	DELHAIE RICHARD B SR + ELIZABETH A	1546 SEABREEZE DR SE	DARIEN	GA	31305
31 GREENE ISLAND	DELHAIE RICHARD B SR + ELIZABETH A	1546 SEABREEZE DR SE	DARIEN	GA	31305
17 GREENE ISLAND	FORMOSA PAMELA M REV TRUST	25 WESTCOTT RD	HOPEDALE	MA	01747-1824
0 GREENE ISLAND	FORMOSA PAMELA M REV TRUST	25 WESTCOTT RD	HOPEDALE	MA	01747-1824

**Property Information**

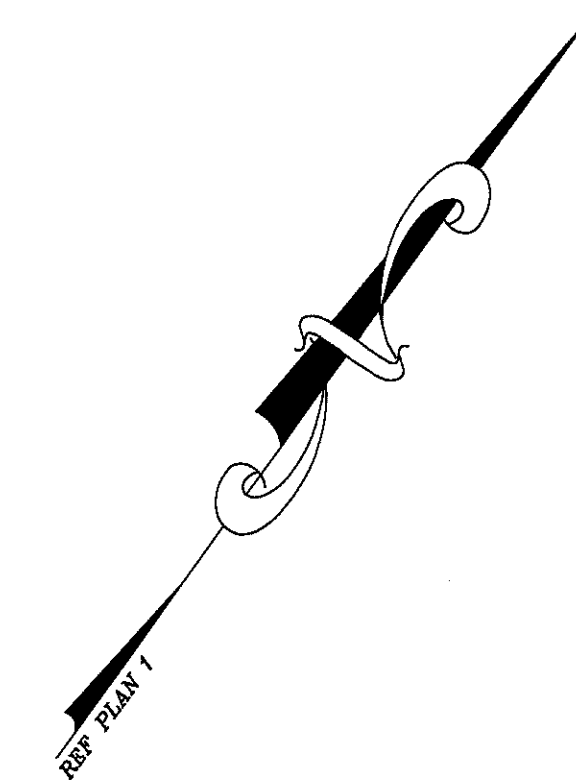
Property ID 4640  
Location 0 GREENE ISLAND  
Owner CITRON DAVID M

**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
Data updated Daily

Print map scale is approximate.  
Critical layout or measurement  
activities should not be done using  
this resource.



Dennis R. Blanchette 1/15/04 12107  
DENNIS R. BLANCHETTE DATE LICENSE  
NUMBER

2/6/24 modification of WAA16021 Copy 1



SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 5.7 MINS/INCH

NUMBER OF BEDROOMS: 2

SEPTIC TANK: 1000 GALLON

LEACHING AREA REQUIRED: 375 SQUARE FEET

LEACHING AREA PROVIDED: 120' OF STANDARD CAPACITY QUICK 4 INFILTRATORS, BACKFILLED WITH NATIVE SAND AND GRAVEL INSTEAD OF APPROVED AGGREGATE, SO USE (3.6 - 0.4 ) 3.2 SF/LF = 384 SQUARE FEET

MOTTLING: N/A, LEDGE: N/A, WATER: N/A, RESTRICTIVE: N/A

MLSS (PRIMARY) = N/A

LSS PROVIDED = 60'

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: 1000 GALLON PLASTIC TWO-COMPARTMENT TANK WITH OUTLET FILTER, SUCH AS INFILTRATOR IM-1060 OR SIMILAR. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2685 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

LEACHING CHAMBERS: INFILTRATOR QUICK 4 STANDARD CHAMBERS, BACKFILLED WITH NATIVE SAND AND GRAVEL

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH: MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45% GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

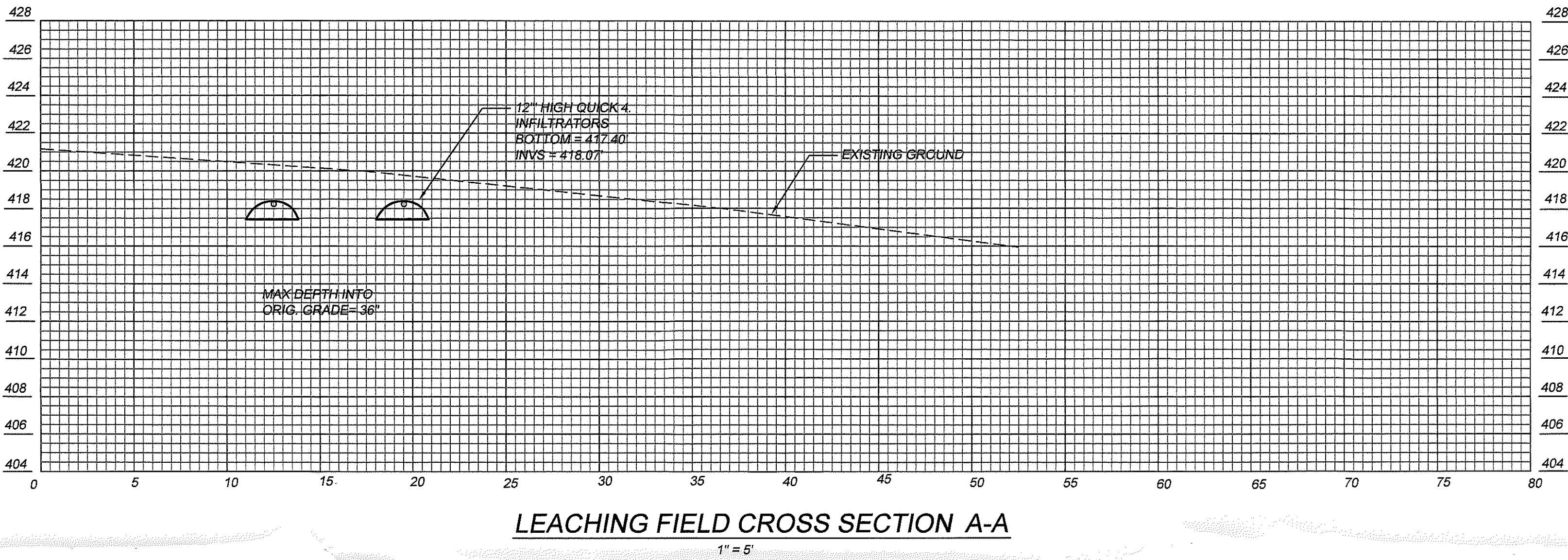
EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

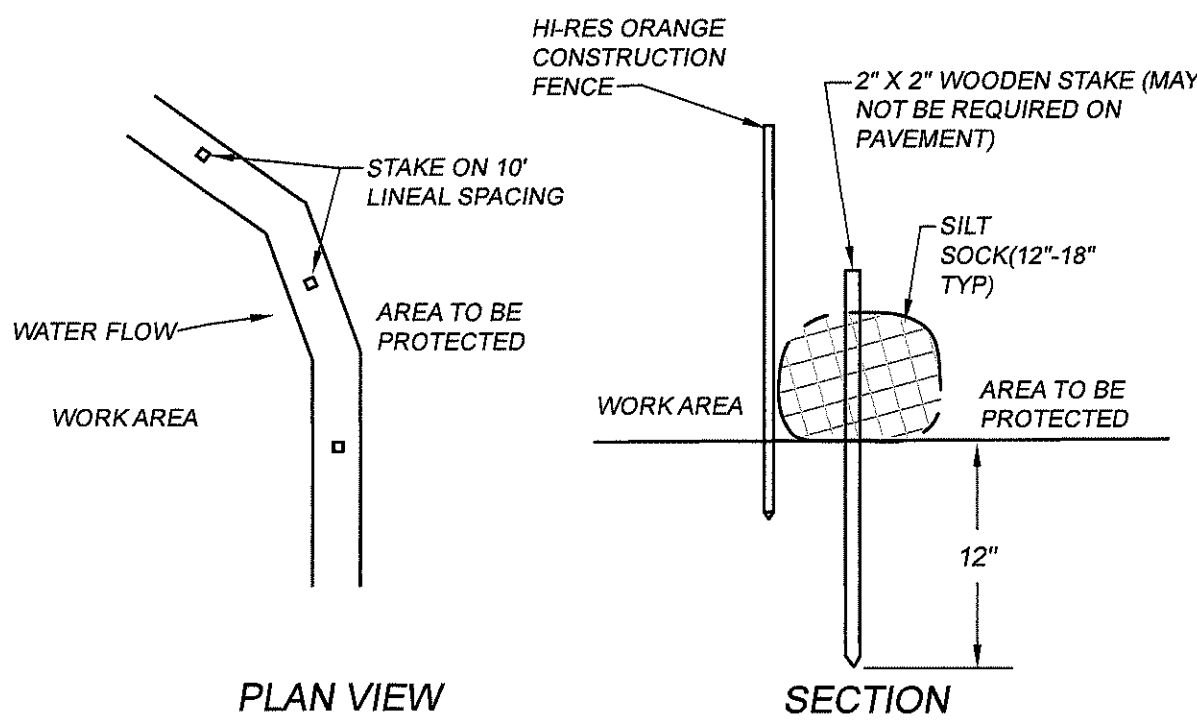
CONSTRUCTION NARRATIVE AND TIMELINE

2 BEDROOM, 1 BATH SEASONAL WOOD FRAME COTTAGE TO BE CONSTRUCTED ON APPROXIMATELY 3 FEET TALL. PILLARS/PIERS WITH FULL SEPTIC SYSTEM. PLANS INCLUDE EROSION CONTROL DEVICES THAT WILL REMAIN IN PLACE UNTIL ANY DISTURBED SOIL IS SEEDED AND COVERED IN WOOD CHIPS/MULCH. LAND WILL BE DISTURBED AS LITTLE AS POSSIBLE AND RESTORED TO ITS ORIGINAL STATE AS MUCH AS POSSIBLE UNDER AND AROUND THE COTTAGE. A MINI EXCAVATOR WILL BE TRANSPORTED TO THE ISLAND TO FACILITATE EXCAVATION OF THE SEPTIC SYSTEM. TREE ROOTS WILL BE CUT BY HAND OR HAND-HELD CHAIN SAW WHERE NECESSARY. ALL MATERIAL MOVEMENT AND CONSTRUCTION WORK WILL BE COMPLETED FROM APRIL 1, 2024 THROUGH OCTOBER 31, 2024 DURING MAXIMUM WATER LEVEL ON QUADDICK LAKE. MATERIAL WILL BE TRANSPORTED BY PONTOON BOAT CONVERTED FOR USE AS A BARGE WITH SAFETY RAILINGS FROM BOAT LAUNCH, A DISTANCE OF APPROXIMATELY 120 YARDS TO EXISTING DOCK. MATERIALS WILL THEN BE CARRIED BY HAND UP THE EXISTING STAIRS WHICH HAVE SAFETY RAILINGS. APPROXIMATELY 6 TREES WILL BE CUT DOWN FOR THIS CONSTRUCTION. A SMALL WOOD CHIPPER MAY BE TEMPORARILY TRANSPORTED TO THE ISLAND AND THE WOOD CHIPS WILL BE USED FOR GROUND STABILIZATION ALONG WITH SEEDING WHERE NECESSARY. REMAINING CUT WOOD WILL EITHER BE BURNED IN AN APPROVED WOOD STOVE IN THE COTTAGE AND/OR REMOVED FROM THE ISLAND. SOIL REMOVED FOR THE SEPTIC SYSTEM THAT IS NOT USED AS BACKFILL WILL BE USED FOR MINOR RE-GRADE OF SITE BETWEEN COTTAGE AND SEPTIC TANK.

- STARTING APPROXIMATELY APRIL 1, 2024 A POINT WELL WILL BE INSTALLED WITH EROSION CONTROL DEVICES
- APPROXIMATELY APRIL 8, 2024 SEPTIC SYSTEM MATERIALS WILL BEGIN TO BE TRANSPORTED TO THE SITE
- BEGINNING APPROXIMATELY MAY 1ST, THE SEPTIC AREA WILL BEGIN TO BE EXCAVATED
- BEGINNING APPROXIMATELY JULY 1, 2024 THE SEPTIC SYSTEM WILL BE INSTALLED AND BACKFILLED
- BEGINNING APPROXIMATELY JULY 15, 2024, MATERIALS FOR COTTAGE CONSTRUCTION WILL BE TRANSPORTED TO THE SITE
- BEGINNING AUGUST 1, 2024 HAND DIGGING OF PILLAR/POST HOLES WILL BEGIN TO BE COMPLETED BY AUGUST 31, 2024
- BEGINNING APPROXIMATELY SEPTEMBER 1, 2024 PILLAR/POSTS WILL BE INSTALLED AND LEVELED
- BEGINNING APPROXIMATELY SEPTEMBER 15, 2024 CONSTRUCTION OF COTTAGE WILL BEGIN
- BY APPROXIMATELY OCTOBER 1, 2024 GROUND STABILIZATION WILL BE COMPLETED
- APPROXIMATELY OCTOBER 31, 2024 CONSTRUCTION WILL BE COMPLETE



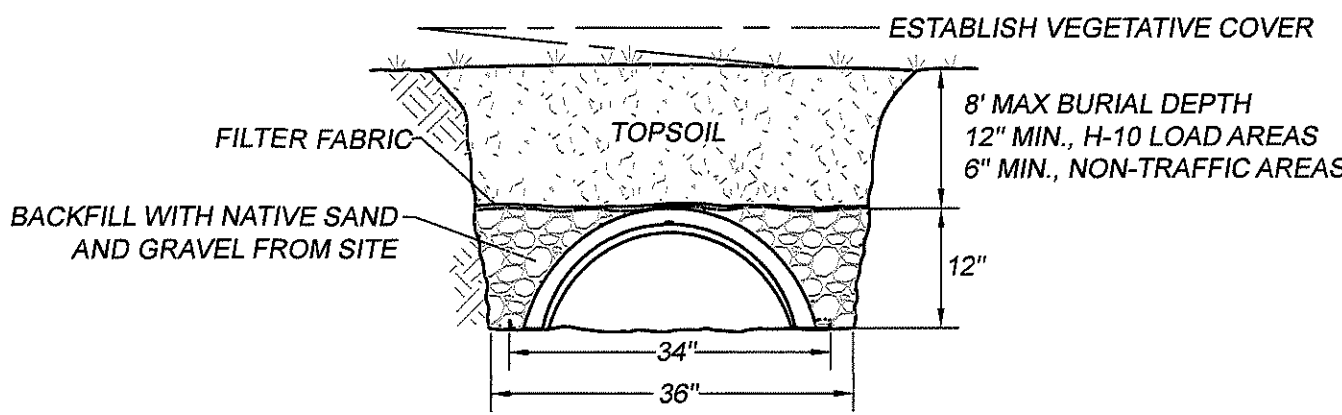
LEACHING FIELD CROSS SECTION A-A  
1" = 5'



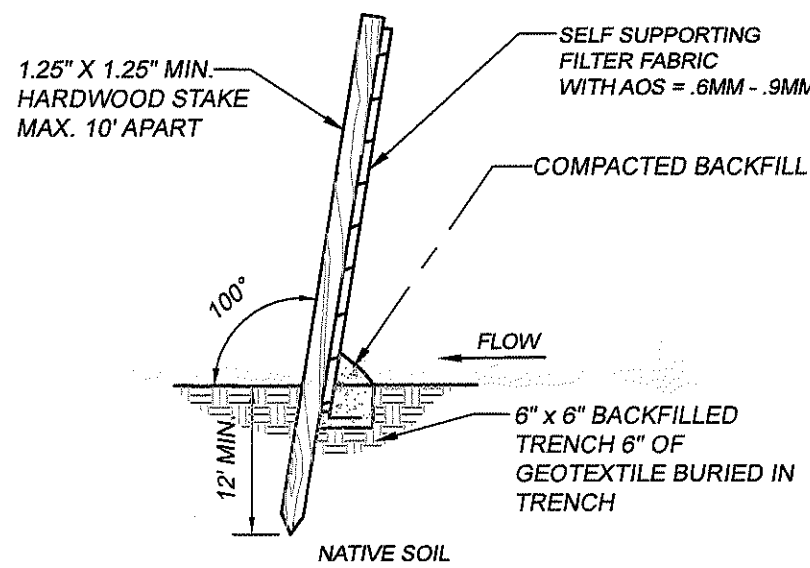
NOTES

1. SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
3. SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

SILT SOCK DETAIL  
NOT TO SCALE



INFILTRATOR QUICK4  
STANDARD TRENCH DETAIL  
NOT TO SCALE



SILT FENCE INSTALLATION  
NOT TO SCALE

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX  
DATE: 11-10-88

PIT NO. A

0-3" TOPSOIL  
3-22" LOAMY COARSE SAND  
22-84" SANDY GRAVEL

MOTTLING: N/A  
RESTRICTIVE LAYER: N/A  
LEDGE: N/A  
WATER: N/A

PERC. TEST RESULTS  
HOLE A

TIME	READING
9:45	15"
9:50	19"
10:00	22"
10:10	23.75"

HOLE DEPTH = 24"  
PERC. RATE = 5.7 MINS/IN

SITE DEVELOPMENT PLAN

PREPARED FOR

SEP SADEGHI

LOT 53 GREENE ISLAND - THOMPSON, CT

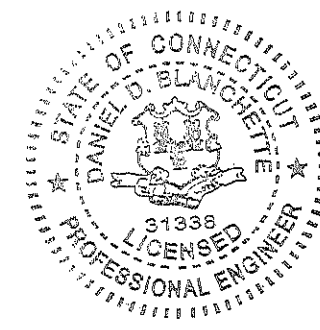
MAP 143 BLOCK 16 LOT 53

J&D CIVIL ENGINEERS, LLC

401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: JJB  
CHECKED: DRB

REVISIONS:  
NOV 1, 2016 COMMENTS  
FROM THOMPSON TW&W



JOB NO: 23272

DATE: JANUARY 4, 2024

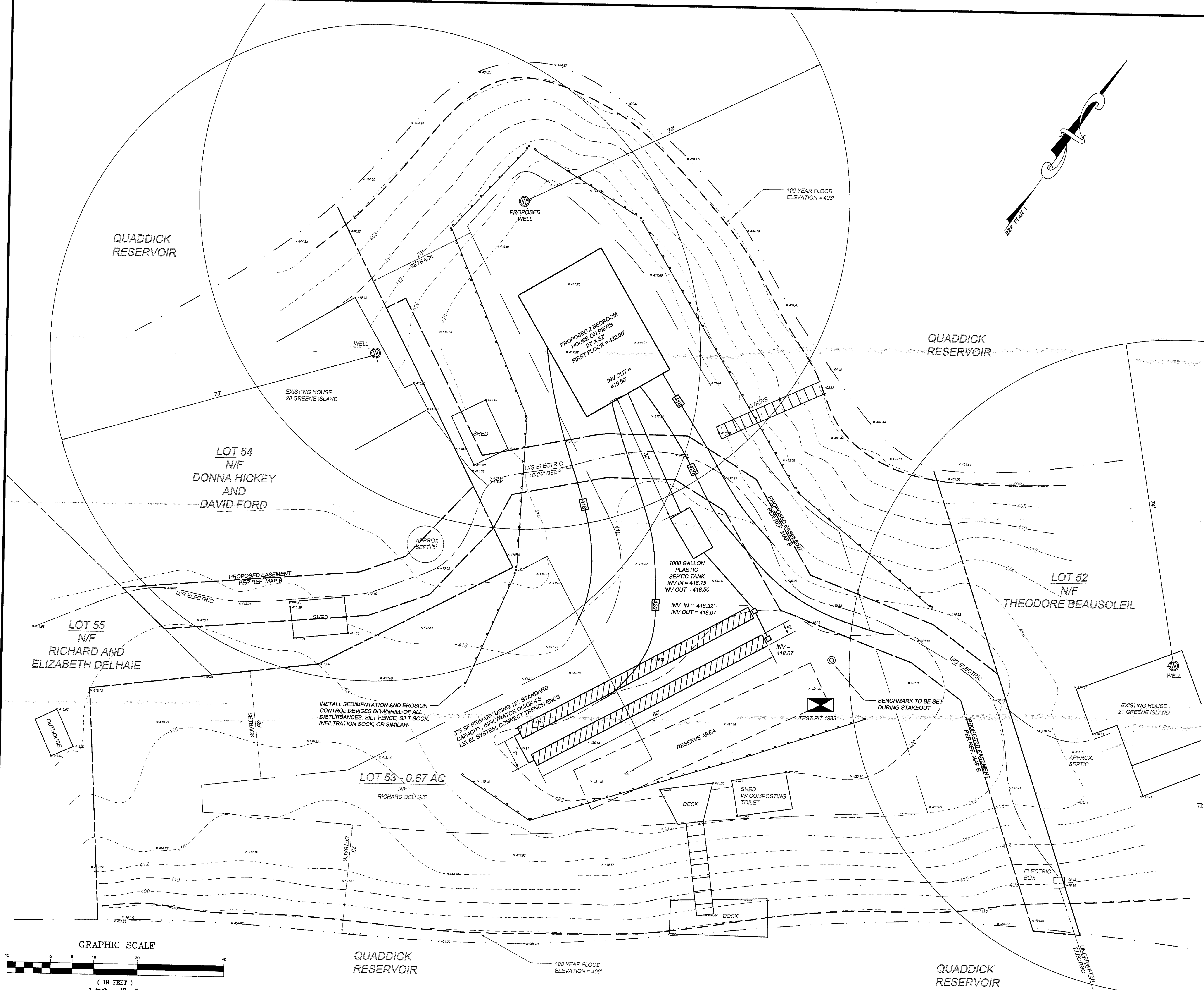
SCALE: AS NOTED

SHEET: 2 OF 2

## Inland Wetlands Permit Expiration Dates Over Time From 2000 thru 2021

Citation	Date	Effective permit issuance dates	Time Period for Permit	Total Extension Time
C.G.S. Sec. 22a-42a(d)(2)	prior to 2000	issued	not <2 yrs, or >5 yrs	10 yrs
P.A. 09-181	7/2/2009	issued 7/1/2006 - 7/1/2009	6 yrs	11 yrs
P.A. 11-5	5/9/2011	issued & valid prior to 7/1/2011	9 yrs	14 yrs
P.A. 21-163 sec. 4	7/12/2021	issued prior to 7/1/2021 & not expired as of 7/12/2021	14 yrs	19 yrs

\\SERVER01\UD Data\UD Civil Business Public\Plans\Land Projects 2009\16184 Citron Septic - Green Island\dwg\Site Plan and Septic 2016-09-30.dwg, 11/12/2016 1:03:57 PM



#### SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED ON AUGUST 24, 2016, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

#### 3. REFERENCE PLAN:

A. "PLAN OF LAND PREPARED FOR CLAIRE GREENE," DATED JULY 27, 1988, BY ALBERT L. FITZBACK

B. "EASEMENT MAP PREPARED FOR RICHARD B SR. AND ELIZABETH A DELHAIE, LONG ISLAND, THOMPSON, CONNECTICUT," DATED SEPTEMBER 1, 2016, SCALE 1"=10', BY DATUM ENGINEERING AND SURVEYING

4. VERTICAL DATUM IS BASED ON NAVD29, REFERENCE MARKER 6

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 11/1/16 12107  
Dennis R. Blanchette DATE LICENSE NUMBER

PROPOSED CONSTRUCTION IS NOT WITHIN 100 YEAR FLOOD ZONE PER FIRM MAP 090117-0020-B, DATED NOV 1, 1984.

ENTIRE PROPERTY IS WITHIN 100' UPLAND REVIEW AREA

#### LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WATER
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES

Received  
NOV 01 2016  
Thompson Wetlands Office

MAP 143 BLOCK 16 LOT 53

**SITE DEVELOPMENT PLAN**  
PREPARED FOR  
**DAVID CITRON**  
LOT 53 GREENE ISLAND - THOMPSON, CT

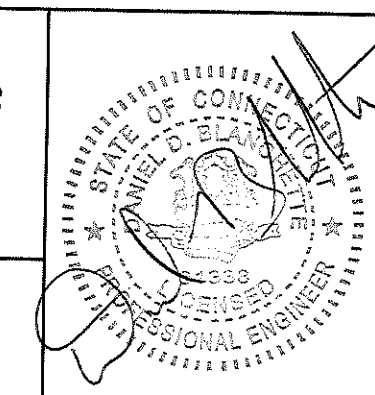
**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: DDB  
CHECKED: JRB

REVISIONS:  
NOV 1, 2016 COMMENTS  
FROM THOMPSON TW&W

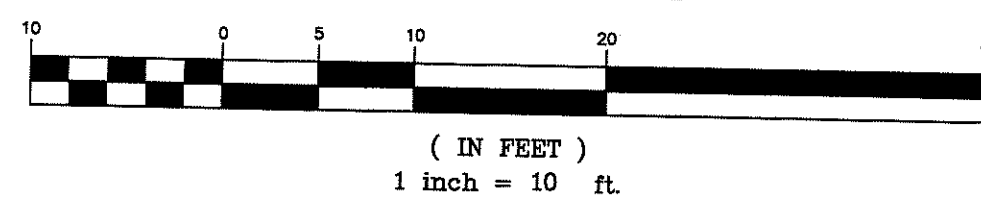
JOB NO: 16184  
SCALE: 1" = 10'

DATE: SEPT 30, 2016  
SHEET: 1 OF 2



WAA14021 Conn. NDDH FILE #

GRAPHIC SCALE



QUADDICK  
RESERVOIR

QUADDICK  
RESERVOIR



SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 5.7 MINS/INCH

NUMBER OF BEDROOMS: 2

SEPTIC TANK: 1000 GALLON

LEACHING AREA REQUIRED: 375 SQUARE FEET

LEACHING AREA PROVIDED: 120' OF STANDARD CAPACITY QUICK 4 INFILTRATORS, BACKFILLED WITH NATIVE SAND AND GRAVEL INSTEAD OF APPROVED AGGREGATE, SO USE (3.6 - 0.4 ) 3.2 SF/LF = 384 SQUARE FEET

MOTTLING: N/A, LEDGE: N/A, WATER: N/A, RESTRICTIVE: N/A

MLSS (PRIMARY) = N/A

LSS PROVIDED = 60"

SPECIFICATIONS

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HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2865 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

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POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH.:  
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%  
GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM.

2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.

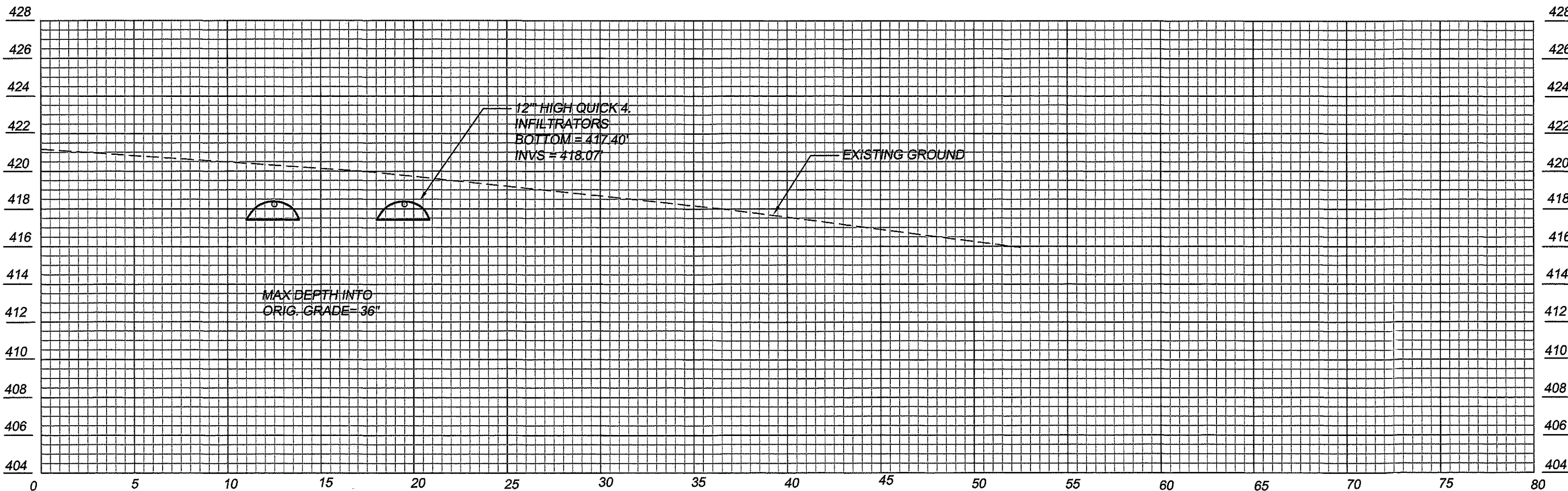
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.

4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

CONSTRUCTION NARRATIVE AND TIMELINE

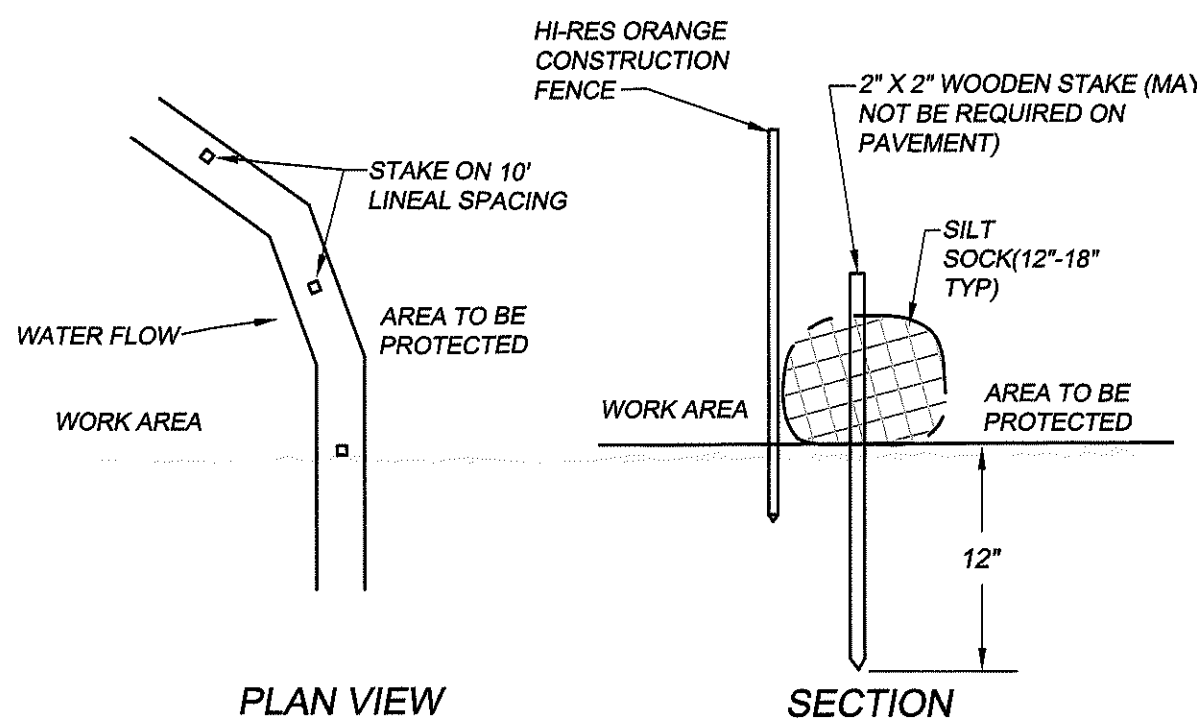
2 BEDROOM, 1 BATH SEASONAL WOOD FRAME COTTAGE TO BE CONSTRUCTED ON APPROXIMATELY 3 FEET TALL PILLARS/PIERS WITH FULL SEPTIC SYSTEM. PLANS INCLUDE EROSION CONTROL DEVICES THAT WILL REMAIN IN PLACE UNTIL ANY DISTURBED SOIL IS SEEDED AND COVERED IN WOOD CHIPS/MULCH. LAND WILL BE DISTURBED AS LITTLE AS POSSIBLE AND RESTORED TO ITS ORIGINAL STATE AS MUCH AS POSSIBLE UNDER AND AROUND THE COTTAGE. ALL POST HOLES AND SEPTIC TRENCHES TO BE DUG BY HAND. TREE ROOTS WILL BE CUT BY HAND OR HAND-HELD CHAIN SAW WHERE NECESSARY. ALL MATERIAL MOVEMENT AND CONSTRUCTION WORK WILL BE COMPLETED FROM APRIL 1, 2018 THROUGH OCTOBER 31, 2018 DURING MAXIMUM WATER LEVEL ON QUADDICK LAKE. MATERIAL WILL BE TRANSPORTED BY PONTOON BOAT CONVERTED FOR USE AS A BARGE WITH SAFETY RAILINGS FROM BOAT LAUNCH, A DISTANCE OF APPROXIMATELY 120 YARDS TO EXISTING DOCK. MATERIALS WILL THEN BE CARRIED BY HAND UP THE EXISTING STAIRS WHICH HAVE SAFETY RAILINGS. APPROXIMATELY 6 TREES WILL BE CUT DOWN FOR THIS CONSTRUCTION. A SMALL WOOD CHIPPER MAY BE TEMPORARILY TRANSPORTED TO THE ISLAND AND THE WOOD CHIPS WILL BE USED FOR GROUND STABILIZATION ALONG WITH SEEDING WHERE NECESSARY. REMAINING CUT WOOD WILL EITHER BE BURNED IN AN APPROVED WOOD STOVE IN THE COTTAGE AND/OR REMOVED FROM THE ISLAND. SOIL REMOVED FOR THE SEPTIC SYSTEM THAT IS NOT USED AS BACKFILL WILL BE USED FOR MINOR RE-GRADE OF SITE BETWEEN COTTAGE AND SEPTIC TANK.

- STARTING APPROXIMATELY APRIL 1, 2018 A POINT WELL WILL BE INSTALLED WITH EROSION CONTROL DEVICES
- APPROXIMATELY APRIL 8, 2018, SEPTIC SYSTEM MATERIALS WILL BEGIN TO BE TRANSPORTED TO THE SITE
- BEGINNING APPROXIMATELY MAY 1ST, THE SEPTIC AREA WILL BEGIN TO BE DUG BY HAND
- BEGINNING APPROXIMATELY JULY 1, 2018 THE SEPTIC SYSTEM WILL BE INSTALLED AND BACKFILLED.
- BEGINNING APPROXIMATELY JULY 15, 2018, MATERIALS FOR COTTAGE CONSTRUCTION WILL BE TRANSPORTED TO THE SITE
- BEGINNING AUGUST 1, 2018 HAND DIGGING OF PILLAR/POST HOLES WILL BEGIN TO BE COMPLETED BY AUGUST 31, 2018
- BEGINNING APPROXIMATELY SEPTEMBER 1, 2018, PILLAR/POSTS WILL BE INSTALLED AND LEVELED
- BEGINNING APPROXIMATELY SEPTEMBER 15 CONSTRUCTION OF COTTAGE WILL BEGIN
- BY APPROXIMATELY OCTOBER 1, 2018, GROUND STABILIZATION WILL BE COMPLETED
- APPROXIMATELY OCTOBER 31, 2018, CONSTRUCTION WILL BE COMPLETE



LEACHING FIELD CROSS SECTION A-A

1" = 5'



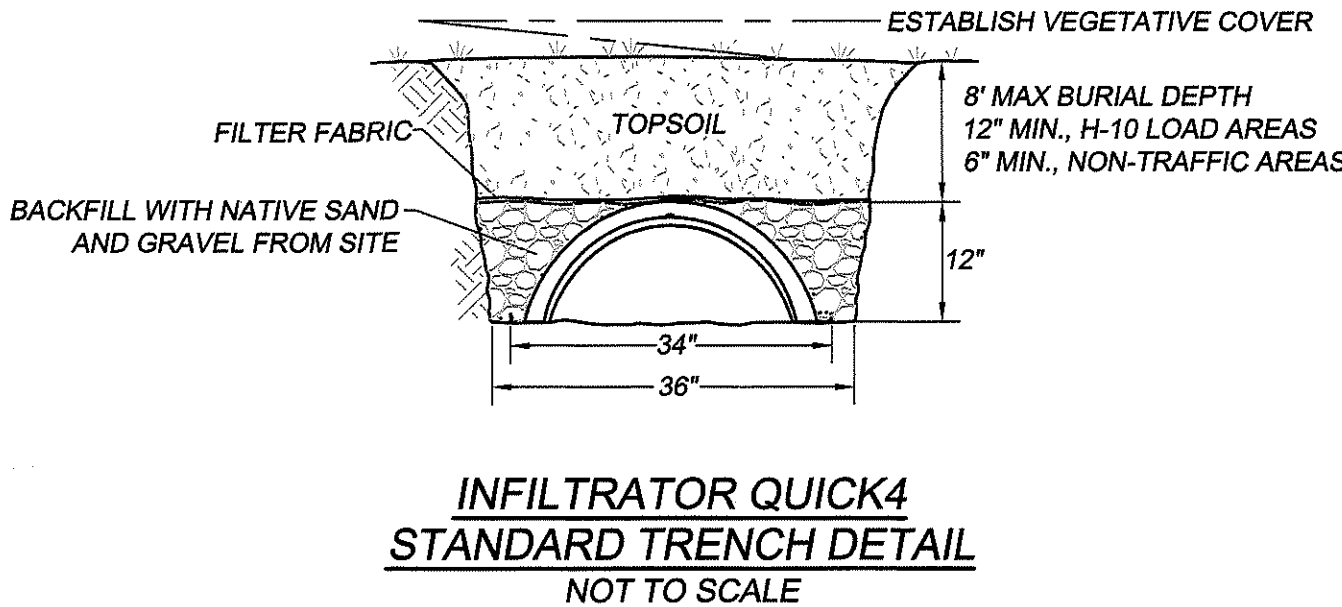
PLAN VIEW

SECTION

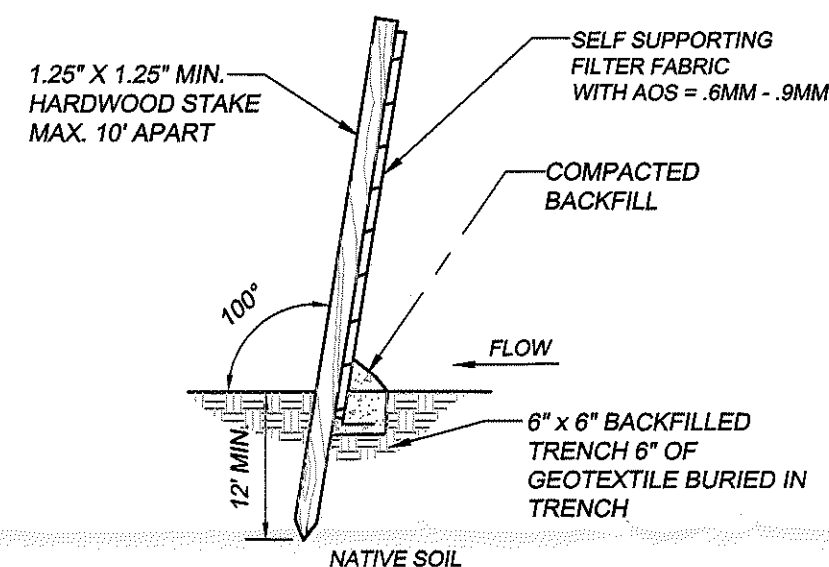
NOTES

- SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
- ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
- SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
- FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

SILT SOCK DETAIL  
NOT TO SCALE



INFILTRATOR QUICK4  
STANDARD TRENCH DETAIL  
NOT TO SCALE



SILT FENCE INSTALLATION  
NOT TO SCALE

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX  
DATE: 11-10-88

PIT NO. A

0-3" TOPSOIL  
3-22" LOAMY COARSE SAND  
22-84" SANDY GRAVEL

MOTTLING: N/A  
RESTRICTIVE LAYER: N/A  
LEDGE: N/A  
WATER: N/A

PERC. TEST RESULTS  
HOLE A

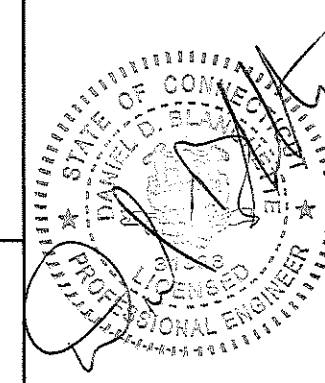
TIME	READING
9:45	15"
9:50	19"
10:00	22"
10:10	23.75"

HOLE DEPTH = 24"  
PERC. RATE = 5.7 MINS/IN

MAP 143 BLOCK 16 LOT 53

SITE DEVELOPMENT PLAN  
PREPARED FOR  
DAVID CITRON  
LOT 53 GREENE ISLAND - THOMPSON, CT

**J&D** CIVIL  
ENGINEERS, LLC  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920



DESIGNED: JJB

CHECKED: DRB

JOB NO: 16184

SCALE: AS NOTED

REVISIONS:

NOV 1, 2016 COMMENTS  
FROM THOMPSON IW&W

DATE: SEPT 30, 2016

SHEET: 2 OF 2

NDDH FILE #





**Town of Thompson**  
**INLAND WETLANDS COMMISSION**  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

**WETLAND AGENT APPROVAL WAA16021**

**APPROVAL GRANTED TO:**

David Citron  
66 School St.  
Danielson, CT 06239

P.O Box 558  
Brooklyn CT 06234

**DATE OF APPROVAL:** November 16, 2016

**EXPIRATION DATE:** November 16, 2021

**LOCATION OF AUTHORIZED ACTIVITY:** 0 Greene Island., Assessor's Map 143, Block 16, Lot 53

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with the construction of a 2 bedroom home with septic system in upland review area as shown in Wetlands Agent Approval application WAA16021 stamped received by the Thompson Wetlands Office November 1, 2016 and as shown in drawing(s) entitled "Site Development Plan Prepared for David Citron, Lot 53 Greene Island – Thompson, CT " prepared by J&D Civil Engineers, LLC dated September 30, 2016, revised November 1, 2016 dated received November 1, 2016.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent:

Marla Butts  
Marla Butts

Dated:

November 16, 2016

Copy

For Wetland Agent:	rev 01/11
APPLICATION #WAA	16021
DATE RECEIVED	November 1, 2016

Application  
for  
Wetland Agent Approval  
to conduct a regulated activity

**Town of Thompson**  
INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Received  
NOV 01 2016  
Thompson Wetlands Office

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property

Follow GPS to boat ramp near:  
28 Island View Drive  
Thompson, CT 06277

\*Pole Number \*Location of property in reference to Pole

CL+P #1647 - On island to the left of boat ramp

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

**FEE SCHEDULE:**

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.  
If you need assistance contact the Wetland Agent (office 860- 923-1852)  
Fax 860-923-9897  
[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)



Date 10-20-16

1) Name of Applicant David C. Iron

Home Address 66 School Street, Danielson, CT 06239

Home Tele & Hrs 860-990-3225 (24) Business Tele & Hrs 860-990-3225 (24)

Business Address 66 School Street, Danielson, CT 06239

2) Applicant's interest in the Property: ☒ Owner ☐ Other  
**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) \_\_\_\_\_

Home Address \_\_\_\_\_

Business Address \_\_\_\_\_

Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location 1647-CL+P (near 28 Island View Drive)  
Street or Road Location Island View Drive

Tax Assessor's Map # 143

Block # 16

Lot # that appears on site plan 53

Deed Information: Volume # 392

Page # 322

5) The property to be affected by the proposed activity contains:

Soil Types 0-3" Topsoil; 3"-22" Loamy Coarse Sand; 22"-84" sandy gravel

Wetland Soils \_\_\_\_\_ (Swamp \_\_\_\_\_ Marsh \_\_\_\_\_ Bog \_\_\_\_\_ Vernal Pool \_\_\_\_\_)

Watercourses \_\_\_\_\_ (Lake or Pond \_\_\_\_\_ Stream or River \_\_\_\_\_ Intermittent Stream \_\_\_\_\_)

Floodplain - Yes ☐ No ☒

6) Description of the Activity for which Approval is requested Construct 2

Bedroom house (22' x 32' = 704 sq. ft.)

with Full septic system per site plan.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- N/A ☐ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- N/A ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- N/A ☐ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- N/A ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- N/A ☐ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- N/A ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- N/A ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

- 10) Names and Addresses of Abutters:

Elizabeth + Richard Delhaie (sellers):  
45 Mansfield Rd, Ashford, CT 06278  
Theodore - Beau Soleil: 32 Messier Road  
David Ford + Donna Hickey:  
53 Circuit Drive, Riverside, RI 02915

- 11) Estimated start date April 1, 2018

Estimated date of completion (all disturbed areas are stabilized) October 31, 2018

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Dan H 10-20-16  
Signature of Applicant Date

\_\_\_\_\_  
Consent of Landowner if other than applicant Date

**Please attach a written consent by the owner if applicant is not the property owner.**





mailed 2/28/2017

GIS CODE #: \_\_\_\_\_  
For DEEP Use Only

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:  
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106  
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

### PART I: Must Be Completed By The Inland Wetlands Agency

1. DATE ACTION WAS TAKEN: year: 2016 month: November
2. CHOOSE ACTION TAKEN (see instructions for codes): G
3. WAS A PUBLIC HEARING HELD (check one)? yes ☐ no ☒
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) Marla Butts (signature) Marla Butts

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): Thompson  
does this project cross municipal boundaries (check one)? yes ☐ no ☒  
if yes, list the other town(s) in which the action is occurring (type name(s)): \_\_\_\_\_
6. LOCATION (click on hyperlinks for information): USGS quad map name: Thompson or quad number: 29  
subregional drainage basin number: 3400
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): David Citron
8. NAME & ADDRESS / LOCATION OF PROJECT SITE (type information): Green Island  
briefly describe the action/project/activity (check and type information): temporary ☐ permanent ☒ description: construct 2 bedroom with septic on Green Island within the 100 foot upland review area for Quaddick Reservoir
9. ACTIVITY PURPOSE CODE (see instructions for codes): D
10. ACTIVITY TYPE CODE(S) (see instructions for codes): 12, NA, NA, NA
11. WETLAND / WATERCOURSE AREA ALTERED (type acres or linear feet as indicated):  
wetlands: 0.00 acres open water body: 0.00 acres stream: 0.00 linear feet
12. UPLAND AREA ALTERED (type acres as indicated): 0.50 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): 0.00 acres

DATE RECEIVED:

### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



## NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET, UNIT 4, BROOKLYN, CT 06234

860-774-7350/Fax 860-774-1308 WWW.NDDH.ORG

October 20, 2016

Mr. Richard Delaie  
45 Mansfield Road  
Ashford, CT 06278

**SUBJECT: FILE #17000087 – GREENE (AKA LONG) ISLAND, MAP #143, BLOCK #16, LOT #53, THOMPSON, CT**

Dear Mr. Delaie:

The subject plan (J & D Civil Engineers Job #16184 dated 9/30/2016) submitted on September 30, 2016 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 2 bedroom house based on the following:

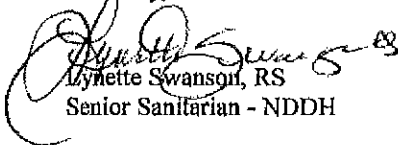
- 1 The house, well, septic system and benchmark to be field staked by CT licensed land surveyor. Offset stakes to include flow line or bottom of trench elevation marks.
- 2 If there is to be more than 12 inches of cover over tank cleanouts, risers to be installed.
- 3 Although the code allows the infiltrators to be backfilled with native material, it is highly recommended they be backfilled with stone, as they have been known to clog prematurely when backfilled with select fill or native material.
- 4 Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
- 5 Maximum depth into original grade not to exceed 36 inches.
- 6 Prior to an approval to construct permit being issued, approval from the Thompson Wetlands Commission.
- 7 Due to extremely limited useable area, an engineer's as-built drawing is to be submitted (to include ties to house) following final inspection and approval of installation by NDDH.
- 8 A set of house plans to be submitted to NDDH prior to an approval to construct permit being issued.
- 9 Prior to installation of sewage disposal system a test pit is required in the primary area to verify soil conditions. The applicable fee of \$65.00 must be remitted prior to the testing being conducted.

This is not an approval to construct permit. You must have your CT licensed installer come in to this office and sign for the approval to construct permit and remit the applicable fees. A set of house plans must be submitted to this office, prior to the permit being issued.

**THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.**

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

  
Lynette Swanson, RS  
Senior Sanitarian - NDDH

cc: Thompson Building Official; J & D Civil Engineers; David Citron



79 Elm Street • Hartford, CT 06106-5127

[www.ct.gov/deep](http://www.ct.gov/deep)

Affirmative Action/Equal Opportunity Employer

November 1, 2016

David M. Citron  
PO Box 558  
Brooklyn, CT 06234  
[dcitron2012@gmail.com](mailto:dcitron2012@gmail.com)

Project: Residential Construction for Citron Property Located on Green Island Lot 53, Tax Assessor's Map #143, Block #16, Lot #53 in Thompson  
NDDB Determination No.: 201614118

Dear David Citron,

I have reviewed Natural Diversity Data Base (NDDB) maps and files regarding the area delineated on the map provided for the proposed Residential Construction for Citron Property Located on Green Island Lot 53, Tax Assessor's Map #143, Block #16, Lot #53 in Thompson, Connecticut. I do not anticipate negative impacts to State-listed species (RCSA Sec. 26-306) resulting from your proposed activity at the site based upon the information contained within the NDDB. The result of this review does not preclude the possibility that listed species may be encountered on site and that additional action may be necessary to remain in compliance with certain state permits. This determination is good for two years. Please re-submit a new NDDB Request for Review if the scope of work changes or if work has not begun on this project by November 1, 2018.

Natural Diversity Data Base information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Natural History Survey and cooperating units of DEEP, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the Data Base should not be substitutes for on-site surveys required for environmental assessments. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated into the Data Base as it becomes available.

Please contact me if you have further questions at (860) 424-3592, or [dawn.mckay@ct.gov](mailto:dawn.mckay@ct.gov). Thank you for consulting the Natural Diversity Data Base.

Sincerely,

A handwritten signature in cursive script that reads "Dawn M. McKay".

Dawn M. McKay  
Environmental Analyst 3



**mbutts**

---

**From:** David Citron [dcitron2012@gmail.com]  
**Sent:** Tuesday, November 01, 2016 4:47 PM  
**To:** mbutts  
**Subject:** Fwd: David Citron - Greene Island - Thompson, CT  
**Attachments:** 201614118.pdf; ATT00004.htm

Hi Marla,

Please see below and attached for the letter from DEEP regarding endangered species - or lack there of - on Greene Island.

Thanks for your time today. I'll see you next Tuesday night.

Best regards,

David Citron  
860-990-3225

Sent from my iPhone

Begin forwarded message:

**From:** DEEP Nddbrequest <[DEEP.Nddbrequest@ct.gov](mailto:DEEP.Nddbrequest@ct.gov)>  
**Date:** November 1, 2016 at 4:34:58 PM EDT  
**To:** David Citron <[dcitron2012@gmail.com](mailto:dcitron2012@gmail.com)>  
**Subject:** Re: David Citron - Greene Island - Thompson, CT

David,

I have attached our DEEP-NDDDB Program letter for this project in Thompson.

Take care,

Dawn  
Dawn M. McKay  
Wildlife Division  
Bureau of Natural Resources  
Connecticut Department of Energy and Environmental Protection  
79 Elm Street, Hartford, CT 06106-5127  
P: 860.424.3592 | E: [dawn.mckay@ct.gov](mailto:dawn.mckay@ct.gov) <<mailto:dawn.mckay@ct.gov>>

---

From: David Citron <[dcitron2012@gmail.com](mailto:dcitron2012@gmail.com)>  
Sent: Tuesday, November 1, 2016 10:27 AM  
To: DEEP Nddbrequest  
Subject: Re: David Citron - Greene Island - Thompson, CT

Hi Karen,

11/3/2016

- 5) **WAA16020** Thompson Rail Business Park, LLC, 307 Reardon Rd, Assessor's Map 65, Block 101, Lot 6, expand excavation/mining in 100-foot upland review area beyond that authorized by permit 07-06-04, received by Wetlands Office 10/31/16, Dan Julian was present to explain the project and to answer question, Ms. Butts explained her concerns and with no objections from the Commission she will issue a Wetlands Agent Approval only for the change in grade presented on this application, Ms. Butts will go with each Commissioner separately to visit the site.
- 6) **WAA16021** David Citron, Green Island, Assessor's Map 143, Block 16, Lot 53, construct 2-bedroom home with septic in upland review area, received by Wetlands Office 11/1/16, Ms. Butts stated he has already received NDDH and DEEP approval and her only concern is the equipment has to be brought over by barge, David Citron was present to explain his project with construction date of 4/1/18 – 10/31/18, with no objections from the Commission Ms. Butts will issue the Wetlands Agent Approval.

c) Applications Received After Agenda was Published:

- 1) **DEC16022** Little Pond Improvement Association, INC., 0 Center St., Assessor's Map 116, Block x, Lot 7, place riprap to control erosion from Center Street runoff, received by Wetlands Office 11/7/16, Ms. Butts explained the concerns on this project, Peter Nalewajk was present to answer questions

**Motion to approve DEC16022 to stabilize right of way with stone as a non-regulated use under section 4.2a of Wetlands Regulations was made by Commissioner Obert. Seconded by Commissioner Thomas. Motion passed unanimously.**

**Motion to amend previous motion by adding "If this is not successful the Association must call in a qualified engineer to help them address the problem" was made by Commissioner Obert. Seconded by Commissioner Thomas. Motion passed unanimously.**

E) Permit Extensions / Changes: None

F) Active Violations & Pending Enforcement Actions:

- a) **VIOL14002** issued 1/28/14 to Norman Rudzinski, 0 Labby Rd., Assessor's Map 95, Block 27, Lot 17, violation remains open until all work is complete on Rich Road, Ms. Butts stated there is no change because the gate was locked when attempting to check on the work.
- b) **VIOL16009** issued 6/13/16 to Vincent Fallovallita, 170 Wilsonville Rd, Assessor's Map 9, Block 18, Lot 28D, filling and grading in upland review area without a permit, application has been filed and received tonight, this violation is on hold pending the outcome of application IWA16018

G) Other Business:

- a) 2017 IWC Meetings schedule. The only change from the regular schedule of site walks is 11/4/17 instead of 11/11/17 which is Veteran's Day.

H) Reports:

- a) Budget & Expenditures: Wetlands Budget for Fiscal Year 2016–2017 (Results of Fiscal Reporting 7/1/16 – 10/27/16) Commissioner Obert stated that the Commission has used 31.2% overall of its budget.
- b) Wetlands Agent Report:  
Updates:
  - **Complaint 16-07**, Madison Ave, Meehan Builders, LLC – Ms. Butts hasn't received a response yet from Brian Meehan, the manager of property owner Madison Avenue Investments, LLC. in regards to her letter of 10/11/16.



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Photos are welcome in JPEG format.

# OBITUARIES

## Dezeray Renee Cabana, 27



**WORCESTER, MASSACHUSETTS** — Dezeray Renee Cabana, 27, of Lund St., died November 14, in UMASS Medical Center. Born in Worcester, Massachusetts, she was the daughter of Kimberly Renee Houle of Thompson. Ms. Cabana worked as a Certified Nurse's Assistant at Notre Dame Healthcare in Worcester. Ms. Cabana enjoyed singing, dancing and attending services at the Church of Pentecost in Worcester. Dezeray is survived by her mother Kimberly Renee Houle of Thompson; her step father Robert James Jackson

of Worcester; a son Jayvien Jose De Los Santos of Thompson; her brother Robert James Jackson, Jr. of Thompson; maternal grandfather Armand W.J. Houle of Southbridge; and a very large extended family of aunts, uncles, and cousins. She was predeceased by her paternal grandparents William and Margaret Cabana and maternal grandmother Marcella Marie Houle. Relatives and friends are invited to visit with Dezeray's family from 8:00 p.m. to 8:00 p.m. on Tuesday, November 29, in the Valde Funeral Home, 23 Main St., N. Grosvenordale. In lieu of flowers memorial donations may be made to for the care of her son Jayvien. For memorial guestbook visit [www.GilmanAndValade.com](http://www.GilmanAndValade.com).

## Mary Ellen Morrarty, 78



**DANIELSON** — Mary Ellen (Chase) Morrarty, 78, formerly of Drown Rd., Pomfret Center, died November 16, in Davis Place. She was the loving wife of the late George R. Morrarty. Born in Putnam, she was the daughter of the late Ellsworth and Florence Chase. Mrs. Morrarty worked as administrative assistant for EastCoast. She enjoyed gardening, antique engine shows and being a Mom. She will be sorely missed. Mary Ellen is survived by her daughters, Beth Laney of Voluntown,

and Susanne Cristofori of Daytona Beach, Florida; her son Sean Cristofori of Pomfret Center; her brother, Ellsworth Chase of Pomfret; and her sister Priscilla Babbitt of Norwich; her grandchildren, Alexander Cristofori, Mitchell Cristofori, Blake Laney, Nicole Cristofori, Chase Cristofori; and three great-grandchildren. She is predeceased by her son, the late Mark Cristofori. Relatives and friends were invited to visit with Mary Ellen's family on, November 22 in the Gilman Funeral Home in Putnam. Burial will be private in Abington Cemetery. For memorial guestbook visit [www.GilmanAndValade.com](http://www.GilmanAndValade.com).

## NEWS BRIEFS

### Quinebaug Valley Singers to present Christmas concerts

The Quinebaug Valley Singers, one of south-central Massachusetts and northeastern Connecticut's finest community choruses known for dynamic and original performances that bring audiences leaping to their feet in rapturous applause, will present their annual Christmas concerts on Saturday, Dec. 10, at 7:30 p.m., in St. Joachim Chapel at St. Anne/St. Patrick Parish, Fiskdale (corner of routes 148 and 20), and on Sunday, Dec. 11, at 3 p.m. in the Evangelical Covenant Church, just off the Common in Woodstock, Connecticut. Both concerts are free, and both venues are handicap-accessible. As always, tasty refreshments will be served after each concert. Huffing and puffing, we finally caught up with QVS's energetic Music Director Nym Cooke, and he agreed to stand still just long enough to tell us about these concerts, before racing on. "The program is the result of an online poll sent out to the entire chorus — something we also did for our spring program last year. We posted a list of every single Christmas and holiday song we'd performed since I came on board with the chorus, sometimes 'way back near the beginning of the millennium. The members

voted for their favorite 20 pieces, and the program has been drawn from their votes. Though I tweaked the final selection a bit, everything you'll hear was among the top vote-getters — except the opening song 'Star in the East,' whose refrain ('Brightest and best of the sons of the morning...') tilted the concert. "I'm impressed by our members' good taste! The very most popular piece in the poll was Georg Frideric Handel's wonderful Messiah chorus, 'And the glory of the Lord,' which we sing very lightly and with quicksilver rapidity, perhaps the way a choir of angels might do it. Vote-getter number two was Peter Yarrow's stirring Hanukkah song 'Light one candle,' originally recorded by Peter, Paul and Mary. Third in popularity was Morten Lauridsen's haunting and unforgettable setting of 'O magnum mysterium,' which a select group of sixteen singers will present. Number four was the ever-popular 'African No. 1,' with a Kenyan melody and our own Sarah Jo Burke (formerly of the Burke Family Singers — Google 'em) on flute. Fifth in the number of votes received was John Rutter's tender 'Christmas Lullaby'... And so it goes. "Other highlights of the concert include 'Carol of the Bells,' 'Have yourself a merry little Christmas' (in a very jazzy arrangement), 'White Christmas' (the Festival Edition, with two keyboardists and chimes),

Felix Mendelssohn's masterful chorus 'There shall a star come out of Jacob,' the African-American song 'O Mary' (this rocks, people), a couple of highlights from our much-beloved concert of 'Celtic Noëls,' and lots more. "Perhaps I should add that this 'edition' of QVS is the strongest since I came on board; we have many fine singers on every vocal part. We are going to sound terrific! Also, we'll be recording all this Christmas music in three sessions late next January. The result should be a memorable CD — the perfect Christmas gift to yourself, your family, or your friends." And with that, Cooke dashed away. The concerts themselves should prove to be memorable; folks are advised to arrive early to be sure of a seat. Be sure to give generously when the freewill offering is collected at intermission; don't forget to stay for the incredible-edible goodies afterwards; consider becoming a Friend of the Quinebaug Valley Singers (your concert program will tell you how); and if you like to sing, just show up at the chorus's first rehearsal for their Spring concerts, Monday, Feb. 6, at 7 p.m. at St. Anne's church in Fiskdale. Anyone desiring more information about any of this may contact Nym Cooke at [nymcooke@gmail.com](mailto:nymcooke@gmail.com), or QVS President KT Therrien at [ktzno@aol.com](mailto:ktzno@aol.com). We'll hope to see you at one or both of the concerts!



Walter Wright (The Spirit of Christmas Present) and Real Carpenter (Scrooge).



The narrators: Bonnie Therrien, Roy Simmons and Ariel Lewis.

### 'A Christmas Carol' coming to the Bradley Playhouse

**PUTNAM** — The Theatre of Northeastern Connecticut at the Bradley Playhouse is proud to usher in the holidays with the best loved Christmas stage tradition — A Christmas Carol. The presentation begins Dec. 2, and runs for three weekends. Performances are Dec. 2, 3, 9, 10, 16 and 17 at 7:30 p.m. and Dec. 4, 11 and 18 at 2 p.m. Tickets are \$19 for adults and \$15 for seniors and students. The Bradley provides a new view of this traditional story, infusing the Dickens' classic with a steampunk twist, bringing a new look to the play, while keeping with the original story and message of Christmas. All your favorite characters are present — it's the traditional Christmas Carol with steampunk elements in the set and costumes. The audience is invited to join in the spirit and come to the theatre in their own steampunk creations. Steampunk is an alternate history in which the Industrial Revolution either never happened, or happened very differently. There is no internal combustion engine or electricity. Instead, in this futuristic past that never materialized, clockwork gears and steam power have continued in standard usage. It is the world of Jules Verne's Nautilus submarine in "20,000 Leagues Under the Sea" and H.G. Wells' time travel machine in "The Time Machine." This version of Charles Dickens' classic was adapted by John Mortimer and first performed by the Royal Shakespeare Company in London in 1994. TNBC's A Christmas Carol is directed by Kathleen Atwood and Scott Guerin. Real Carpenter reprises his role as Scrooge, as does Walter Wright as The Spirit of Christmas Present. Sarah Oeschmann appears as Christmas Past, Maya Summiel is Christmas Yet to Come and Roy Simmons plays The Ghost of Jacob Marley as well as a Narrator. The other Narrators are Ariel Lewis and Bonnie Therrien. Bob Cratchit is played by Mark Scribner, Mrs. Cratchit is Diana Daugherty and Remy Jacques appears as Tiny Tim. Come and see why The Bradley Playhouse received Yankee Magazine's 2016 Editor's Choice Award for the best community theatre in New England and Norwich Magazine's 2016 award for Best Live Theater of Northeastern Connecticut. In keeping with the holiday spirit of sharing joy, the Bradley will once again have a mitten tree where people can hang mittens, hats and other accessories to make the season warmer for those less fortunate. The Bradley Playhouse is located at 30 Front Street (Route 44) in Putnam. All seats are reserved. Reservations may be made with a major credit card online at [www.thebradleyplayhouse.org](http://www.thebradleyplayhouse.org) or by calling 860-928-7887. Tickets may be purchased at the theater box office, either before the performance or at the door. As always, purchasing your tickets ahead of time is recommended, especially since "A Christmas Carol" is always very popular.

## LEGALS

### TOWN OF THOMPSON PLANNING AND ZONING COMMISSION LEGAL NOTICE

The Town of Thompson Planning and Zoning Commission will hold a public hearing on Monday, November 28, 2016 beginning at 7PM in Thompson Town Hall, 815 Riverside Dr., North Grosvenordale, CT for the following: Application 16-14: Havish, LLC, Applicant and Owner of Record. For property at 440 Riverside Dr. Map 65/Block 95/Lot 23A/Zone C. Requesting a special permit to add a drive-thru window to existing building. Files are available to review in the Planning & Development Office, Town Hall. At these hearings, interested parties may appear and be heard, and written testimony received. Respectfully submitted, Greg Lee, Chairman November 18, 2016 November 25, 2016

### TOWN OF THOMPSON

On November 18, 2016 the following wetlands agent approvals were issued: Application # WAA1601 approved with conditions, Stephen R Myers and Cindylee M Myers, 0 Porter Plain Rd. (Assessor's Map 135, Block 23, Lot 15B) - Construction of a single-family home and septic system in the upland review area; Application # WAA16017 approved with conditions, Joyce A Hoyer, 7 Center St. (Assessor's Map of 115, Block X, Lot P) - Construction of a 24' x 32' attached garage in the upland review area; Application # WAA16021 approved with conditions, David Clifton, 0 Greene Island (Assessor's Map 143, Block 16, Lot 53) - Construction of a 2 bedroom home with septic system in upland review area. On November 17, 2016 the following wetlands agent approval was issued: Application # WAA16020 approved with conditions, Thompson Rail Business Park LLC, 307 Reardon Rd. (Assessor's Map

85, Block 101, Lot 6) - Expansion of excavation/mining activities within the 100-foot upland review area beyond that authorized by Wetlands Permit 07-08-04. Maria Butts, Wetlands Agent November 25, 2016

### TOWN OF THOMPSON ZONING BOARD OF APPEALS LEGAL NOTICE

The Town of Thompson Zoning Board of Appeals, at its November 14, 2016 meeting, rendered the following decisions: Variance 16-09: Kerstin Forrester, Applicant and Owner of Record. For property at 593 Fabyan Rd. Map 17/Block 84/Lot 32/Zone R40. Variance requested to reduce road frontage from 150 ft. to 82 ft. allowing division of land between 2 existing independent single-family units, both pre-date zoning regulations. Approved. Variance 16-10: Joyce Hoyer, Applicant

and Owner of Record. For property at 7 Center St. Map 116/Block X/Lot P/Zone R40. Variance requested to increase impervious surface by 74 sq. ft. to allow construction of a 24' x 32' detached garage. Approved. Variance 16-11: Lisa and Thomas McDougall, Applicants and Owners of Record. For property at 142 Quinebaug Rd. Map 59/Block 88/Lot 6&8A/Zone RA80. Variance requested to decrease acreage of lot 8A by 9,611 sq. ft. and increase acreage of lot 6 by 9,611 sq. ft. to allow for a septic system on lot 6. Both lots are nonconforming and will remain so. Approved. Respectfully submitted, Daniel Roy, Chairman November 25, 2016



Agenda Item G) a) Violations & Pending Enforcement  
Actions

**VIOL21036**, Permit IWA20022, Marc Baer,  
1227 Thompson Rd (map 116, block 24, lot 10)

Grades not as authorized in modified plan approved  
by the Commission on February 9, 2021.

Agenda Item G) b) Violations & Pending Enforcement  
Actions

**VIOL23013**, Wojiech, Sudyka,  
1574 Riverside Drive, (map 55, block 65, lot 14)

Grading work exceeded scope of work authorized by  
Permit IWA 21028, issued 5/22/23.

Agenda Item G) c) Violations & Pending Enforcement  
Actions

**VIOL23035**, James Quaiel,  
0 Hill Road, aka 6 Hill Rd, (map 109, block 34, lot 32)

Fill and earthmoving within upland review area without  
permit. Violation issued 11/1/23.



## Agenda Item G) d) Violations & Pending Enforcement Actions

**VIOL23037**, St. Joseph's Church  
12-18 Main Street, (map 63, block 94, lot 3)

Fill along Reardon Road within upland review area and wetlands. Violation issued 12/15/23.

## Agenda Item H) a) Other Business

Invitation to the Director of Planning & Development  
and First Selectman, regarding Budget

## Agenda Item H) b) Other Business

### Proposed Commission Budget



Account ID	Account Description	FY22 Actual	FY22 Revised Budget	FY23 Actual	FY23 Approved Budget	FY24 Projection	FY24 Approved Budget	FY25 Proposed Budget	FY25 v FY24 \$ Change	FY25 v FY24 % Change
<b>INLAND WETLANDS COMMISSSION - 6203</b>										
	<b>SALARIES</b>									
<sup>a</sup>	9901-60-6203-0000-510151 INLAND WETLANDS OFFICER	21,740	19,890	20,540	20,487	25,748	20,947	59,521	38,574	184.2%
<sup>b</sup>	9901-60-6203-0000-510152 INLAND WETLAND SECRETARY	2,965	3,959	3,433	4,078	4,170	4,170	4,261	91	2.2%
<sup>c</sup>	new acct, w/Zoning SHARED LAND USE CLERK							9,547		
	Total SALARIES:	24,705	23,849	23,973	24,564	29,918	25,117	63,782	38,665	153.9%
	<b>PROFESSIONAL &amp; TECH SERVICES</b>									
	9901-60-6203-0000-522110 PROFESSIONAL AFFILIATIONS	60	60	60	60	60	60	60	-	0.0%
	9901-60-6203-0000-522130 TRAVEL	-	25	-	100	50	100	100	-	0.0%
	9901-60-6203-0000-522140 MEETINGS, FEES, ETC	-	25	284	100	50	100	100	-	0.0%
	9901-60-6203-0000-522220 PROFESSIONAL SERVICES	-	300	-	300	150	300	300	-	0.0%
	9901-60-6203-0000-522310 ADVERTISING	676	700	603	900	561	900	900	-	0.0%
	Total PROFESSIONAL & TECH SERVICES:	736	1,110	947	1,460	871	1,460	1,460	-	0.0%
	<b>OTHER SERVICES</b>									
<sup>d</sup>	9901-60-6203-0000-522890 EASTERN CT CONSERVATION DISTR	1,000	1,000	1,000	1,000	1,000	1,000	-	(1,000)	-100.0%
	9901-60-6203-0000-533150 OFFICE SUPPLIES	-	400	313	400	300	400	300	(100)	-25.0%
	Total OTHER SERVICES:	1,000	1,400	1,313	1,400	1,300	1,400	300	(1,100)	-78.6%
	Total INLAND WETLANDS COMMISSSION:	26,441	26,359	26,232	27,424	32,089	27,977	65,542	37,565	134.3%

- <sup>a</sup> Wetlands and Conservation Agent salaries, combined, with rate increase  
<sup>b</sup> Inland Wetlands Recording Secretary, with rate increase  
<sup>c</sup> Proposed shared Administrative Clerk w/Zoning Department  
<sup>d</sup> Proposed move of Eastern CT Conservation District account to Conservation

Current salary of \$58,240 with Finance recommended 2.2% increase

Current salary of \$4,170 with Finance recommended 2.2% increase

total proposed salary \$19,094 (16 hours per week x \$22.95 x 52 weeks)

Services provided to Town and Residents are more closely related to Conservation

salary line combined per Finance request

position modeled after Woodstock Land Use Clerk position

Conservation 2024	29,687	
Conservation 2025 requested	3,656	88% decrease
Wetlands 2024	27,997	
Wetlands 2025 requested	65,542	134% increase
Combined 2024	57,684	
Combined 2025 requested	69,198	20% overall increase

Account ID	Account Description	FY22 Actual	FY22 Revised Budget	FY23 Actual	FY23 Approved Budget	FY24 Projection	FY24 Approved Budget	FY25 Proposed Budget	FY25 v FY24 \$ Change	FY25 v FY24 % Change
<b>CONSERVATION COMMISSION - 6204</b>										
	SALARIES									
<sup>a</sup>	9901-60-6204-0000-510151 CONSERVATION ENFRCMNT OFFC	-	-	-	-	-	-		-	#DIV/0!
<sup>b</sup>	9901-60-6204-0000-510152 CONSERVATION SECRETARY	1,300	1,738	1,492	1,790	1,830	1,830	1,871	41	2.2%
<sup>c</sup>	9901-60-6204-0000-510156 CONSERVATION OFFICER	22,904	17,459	26,561	26,455	37,292	27,050	-	(27,050)	-100.0%
	Total SALARIES:	24,204	19,197	28,052	28,245	39,122	28,880	1,871	(27,009)	-93.5%
	PROFESSIONAL & TECH SERVICES									
	9901-60-6204-0000-522110 PROFESSIONAL AFFILIATIONS	123	150	123	150	138	150	150	-	0.0%
	9901-60-6204-0000-522130 TRAVEL	-	135	87	135	100	135	135	-	0.0%
	9901-60-6204-0000-522140 MEETINGS, FEES, ETC	-	100	90	100	100	100	100	-	0.0%
	9901-60-6204-0000-522280 OUTSIDE CONTRACTORS	-	121	-	121	100	122	100	(22)	-18.0%
	9901-60-6204-0000-522310 ADVERTISING	-	50	-	50	50	50	50	-	0.0%
	Total PROFESSIONAL & TECH SERVICES:	123	556	300	556	488	557	535	(22)	-3.9%
	OTHER SERVICES									
<sup>d</sup>	9901-60-6204-0000-522890 WINDHAM COUNTY SOIL & WATER	-	-	-	-	-	-		-	#DIV/0!
<sup>e</sup>	formerly Inland Wetlands EASTERN CT CONSERVATION DISTR							1,000		
	9901-60-6204-0000-533150 OFFICE SUPPLIES	-	250	147	250	150	250	250	-	0.0%
	9901-60-6204-0000-533990 MISCELLANEOUS	-		-	-	-	-		-	#DIV/0!
	Total OTHER SERVICES:	-	250	147	250	150	250	1,250	1,000	400.0%
	Total CONSERVATION COMMISSION:	24,327	20,003	28,499	29,051	39,760	29,687	3,656	(26,031)	-87.7%

<sup>a</sup> Removal of archaic budget line

<sup>b</sup> Conservation Recording Secretary, with rate increase

Current salary of \$1,830 with Finance recommended 2.2% increase

2406

<sup>c</sup> Conservation Agent salary moved into Wetlands Agent Salary

Salary line combined per Finance request

1250

<sup>d</sup> Removal of archaic budget line

<sup>e</sup> Proposed move of Eastern CT Conservation District account to Conservation

Services provided to Town and Residents are more closely related to Conservation Commission

Conservation 2024	29,687	
Conservation 2025 requested	3,656	88% decrease
Wetlands 2024	27,997	
Wetlands 2025 requested	65,542	134% increase
Combined 2024	57,684	
Combined 2025 requested	69,198	20% overall increase

Rationale for shared 'Land Use Office' secretarial services—

I've administered 7 commissions across 8 years as a municipal land use officer

1 conservation

1 pzc

3 wetlands

2 zba

I've also spent 10 years as a Planning & Zoning and Wetlands Commission member

There is one person who is a common factor to the success of these operations...

#### A shared Land Use Office Clerk

Every other town that I have worked with has had shared secretarial support for their land use officers/planner. This is far different from recording secretary duties or add on responsibilities.

It is a daily presence in the office to intercept and prioritize calls and complaints, and otherwise manage tasks which are disruptions to the technical work. Receipt of applications, payments, file maintenance, answering basic questions, providing directions, et c. Our offices are persistently interrupted.

I believe the land use 'department' suffers from a lack of capable administrative support. There is always more work for us to do than our hours will allow. A never-ending workload may be the nature of the job, yet we may be the only 'office' lacking someone else who can answer the phone when we are away from the desk, conferring with other departments, performing inspections, or taking a day off.

Thompson has a robust volunteer and commission membership and functions like a small city's would in many ways. But our land use offices are not staffed like a city. Changes to our regulations have invited more development, and this has and will continue to generate increased permit activity and inquiries.

There is no point person to unite our common workflow between our distant offices and this can lead to communication and coordination issues. The physical space is problematic and should be studied. There are costs of every kind in this inefficiency.

We can't be expected to do more work in the present number of hours—not without help. Related to the wetlands and conservation budget lines, there was an overall reduction in labor hours for the combined position, from 20+15 to 32. Fulfillment of our tasks cannot be met without structural changes.



## Agenda Item H) c) Other Business

Review revisions to draft Inland Wetlands and  
Watercourse Regulations and revised application forms  
with Marla Butts

Agenda Item H) d) Other Business

Operational Procedures

## Agenda Item H) e) Other Business

Resignation of Wetlands Agent, effective 2/28/24



Agenda Item I

Citizens Comments on Agenda Items

## Agenda Item J Reports

a) Budget & Expenditures

b) Wetlands Agent Report

c) Correspondence

02/12/2024 14:03  
9636pleb

TOWN OF THOMPSON  
YEAR-TO-DATE BUDGET REPORT

JULY 1, 2023 THRU FEBRUARY 15, 2024

P 1  
glytdbud

FOR 2024 13

	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	MTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
-----							
9901 GENERAL FUND							
-----							
99016203 INLAND WETLANDS COMMISSSION							
-----							
99016203 510151 INLAND WETLANDS OF	20,948	25,748	10,748.08	.00	.00	14,999.92	41.7%
99016203 510152 INLAND WETLAND SEC	4,170	4,170	1,873.44	.00	.00	2,296.56	44.9%
99016203 522110 PROFESSIONAL AFFIL	60	60	60.00	.00	.00	.00	100.0%
99016203 522130 TRAVEL	100	100	.00	.00	.00	100.00	.0%
99016203 522140 MEETINGS, FEES, ET	100	100	.00	.00	.00	100.00	.0%
99016203 522220 PROFESSIONAL SERVI	300	300	.00	.00	.00	300.00	.0%
99016203 522310 ADVERTISING	900	900	529.20	.00	115.00	255.80	71.6%
99016203 522890 EASTERN CT CONSERV	1,000	1,000	.00	.00	.00	1,000.00	.0%
99016203 533150 OFFICE SUPPLIES	400	400	.00	.00	.00	400.00	.0%
TOTAL INLAND WETLANDS COMMISSSION	27,978	32,778	13,210.72	.00	115.00	19,452.28	40.7%
TOTAL GENERAL FUND	27,978	32,778	13,210.72	.00	115.00	19,452.28	40.7%
TOTAL EXPENSES	27,978	32,778	13,210.72	.00	115.00	19,452.28	
GRAND TOTAL	27,978	32,778	13,210.72	.00	115.00	19,452.28	40.7%

\*\* END OF REPORT - Generated by Paula Leblanc \*\*



## Agenda Item K, Signing of Mylars

None

## Agenda Item L, Comments by Commissioners

## Agenda Item M, Adjournment