

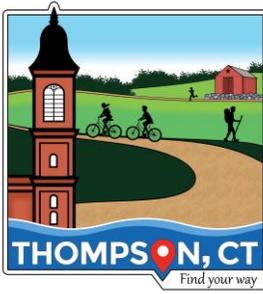
***THOMPSON***  
***INLAND WETLANDS COMMISSION***

TUESDAY, November 14, 2023

ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C) a)  
Action on Minutes of Previous Meeting  
Minutes of October 17, 2023



## TOWN OF THOMPSON Inland Wetlands Commission

815 Riverside Drive - P.O. Box 899  
North Grosvenordale, CT 06255  
office phone: (860) 923-1852  
www.thompsonct.org

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### MEETING MINUTES: Tuesday, October 17, 2023, 7:00PM

*Via ZOOM Online Meeting Portal*

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- A) The Meeting was called to order at 7:30 PM by Chairman George O'Neil who announced the protocols for conducting the online meeting. Technical difficulties prevented a 7:00 PM start.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer), Fran Morano, Dan Malo, IWC Agent, Amy St. Onge, First Selectman, Gloria Harvey (Recording Secretary)

- B) Appointment of Alternates – None

- C) Action on Minutes of Previous Meetings

1. Minutes of September 12, 2023 - Regular Meeting

The Minutes of September 12, 2023 Regular Meeting were unanimously accepted as filed.

- D) Citizens Comments on Agenda Items

Valerie Clark, Alm Road, commented on reinstating the rule regarding overlapping meetings, and the meeting minutes noting the next meeting date.

Charlie Obert found tonight's meeting date was submitted to the Secretary of State.

- E) Applications

- a. Old Applications

1. **WAA23018**, Gary Rawson, 0 Logee Road, (Assessor's map 141, block 17, lot 181R), construct new single-family home, stamped received 8/14/23. Under review. Waiting NDDH approval. No action required by Commission.
2. **WAA23020**, Maximilian Candidus, 0 Sand Dam Road, (Assessor's map 135, block 22, lot 17), New house within 100-foot upland review area, stamped received 8/30/23, approved 9/13/23, legal notice published 9/22/23, end of appeal period 10/6/23. Action to approve WAA23020 was made after the last IWC meeting.
3. **WAA23022**, Town of Thompson, 255 Buckley Hill Road, (Assessor's map 83, block 49, lot 6), Salt storage facility within 100-foot upland review area for Stoud Brook and associated wetlands, stamped received 9/6/23, approved 10/10/23, legal notice to be published 10/20/23, end of appeal period 11/4/23. Approved WAA23022. Approval will be published in this week's Villager newspaper.
4. **IWA23024**, Eastwood Thompson 49 LLC, 0 Riverside Drive, (Assessor's map 61, block 88, lot 16), construction of ballasted PV solar array, stamped received 9/11/23.

Commissioner Obert, David Held and Dan Malo walked the approximate two-acre site where the projected solar field is proposed. The location is flat, noticed the pits were dry, lots of trash and material on the ground and deer stands. Commissioner Obert looked at the drawings, observed great trails on the property where the solar field is proposed, didn't observe any encroachment on wetlands, and mentioned fencing around the solar field. Commissioner Chapin questioned if the notice of this special meeting site walk was published and Dan Malo replied that it was, however, it was just a site walk and not an official meeting because only one member of the Commission was present.

David Held, Provost and Rovero, submitted revised plans which mainly addressed the array layout, the plastic tubs filled with crushed stone or gravel where the solar panels clip on these tubs holding the panels in place and sitting on a 6' base for storm water flows and vegetation. There is no ground disturbance with this system. Dan Malo commented that the plan is a good design to minimize outfall to wetlands.

Commissioner Obert made a motion to approve IWA23024, Eastwood Thompson 49 LLC, 0 Riverside Drive, (Assessor's map 61, block 88, lot 16), construction of ballasted PV solar array. Commissioner Morano seconded the motion. The vote was unanimous and Application IWA23024 is **APPROVED**.

b. New Applications

1. **WAA23025**, Kevin Calabro, 117 New Road, (Assessor's map 116, block 24, lot 26), Irrigation system to establish lawn within 100-foot upland review area, stamped received 9/18/23, approved 10/2/23, legal notice published 10/13/23, end of appeal period 10/27/23.

Dan Malo stated that Mr. Calabro is looking to establish lawn and ground cover to address the drainage situation on his property by installing a tube system which Dan Malo approved. Dan Malo and Commissioner Obert will visit the site to inspect the work done on the driveway and verify that the irrigation system proposed in this application is being done according to the plan presented. Appeal period pending. Dan Malo will report on this project at the next meeting.

2. **DEC23026**, Little Pond Improvement Association, Inc, Sand Dam Road, (Assessor's map 116, block 24, lot 26), Annual clearing of debris from 5 Mile River riverbed and culverts between Little Pond and East Thompson Road, stamped received 9/18/23.

Dan Malo stated the Little Pond Association, with the Town's awareness, has been doing this type of cleanup for years and this year they advertised to recruit help which raised questions regarding permitting so Little Pond Association is seeking approval from the Commission to do annual maintenance for future cleans as this year's project has been completed. Dan Malo commented that he doesn't see this request as requiring a permit but as a Use Permitted as of Right. The Association is doing this cleanup for the best intentions of the environment because the debris poses challenges and he has no objection to this request as he believes it is routine. Commissioner Obert stated he has no problem with this request and he agreed with Dan that this request does not require a permit but cautioned removal of invasive plants.

3. **SUB23027**, John Camelio, 597 East Thompson Road (Assessor's map 154, block 5, lot 10), (3) Lot Subdivision within 100-foot upland review area, stamped received 10/4/23.

Dan Malo stated this is a 3-lot subdivision in East Thompson near New Road and the Five Mile River is the subject of previous approval. Applicant is seeking to carve out two additional lots, the third lot is already built. The utilities are along the shared or common driveway.

Janet Blanchett, J & D Civil Engineering, representing the property owner, builder and applicant John Camelio, stated no NDDH approval has been received yet and is waiting for NDDB comments. She stated there is a significant 100-year flood zone on this 38-acre parcel, and she summarized what's proposed on the plan. Due to Issues of finance costs for the application and due to the interpretation of the current Regulations an additional fee needed to be charged, therefore the applicant submitted a letter seeking a reduction of the fee amount. Janet Blanchette also stated that the applicant is seeking a 60-day extension beyond the normal 60 days in order to get the subdivision approval before review of the wetlands agent approval applications. This request was submitted in writing, and Commissioners accepted the 60-day extension in unanimous agreement. Commissioner Obert requested research on the history and rationale for the subdivision fee before a decision on a fee waiver.

Commissioner O'Neil thanked Janet Blanchette for providing the rationale helpful in reviewing this application. Commissioner Obert commented that this is a very important environmental area and due to the sensitivity of this area would prefer not to address it tonight. He felt more research needs to be done on how this proposed project could affect the area. He suggested coordinating with Dan to set up a site walk.

4. **WAA23028**, John Camelio, 597 East Thompson Road (Assessor's map 154, block 5, lot 10C), New house within 100-foot upland review area, stamped received 10/4/23. Review pending.
5. **WAA23029**, John Camelio, 597 East Thompson Road (Assessor's map 154, block 5, lot 10D), New house within 100-foot upland review area, stamped received 10/4/23. Review pending.
6. **WAA23030**, Joseph & Diane Przybylek, 76 Jezierski Lane (Assessor's map 116, block X, lot J-Z), Retaining wall & stairs within 100-foot upland review area, stamped received 10/3/23. Under Review.

Dan Malo stated drawing and narrative have been provided and this type of erosion control is typical lakeside activity for use and enjoyment of the home. He asked what type of equipment is proposed to do this work and the homeowners stated something small, such as a bobcat machine. Dan will explore geophysical issues, sediment and drainage.

The Przybyleks addressed the Commission stating the house is existing home and they want to install retaining walls and stone stairs to prevent erosion, stabilize area, and make it safer.

Commissioner Obert asked for clarification on the walls height and placement. Mr. Przybyleks replied two 4' walls with leveling area between the two.

7. **WAA23031**, Rich Audet/RTA Builders LLC, 33 Totem Pole Drive (Assessor's map 141, block 17, lot 60), Teardown house & rebuild within 100-foot upland review area, stamped received 10/5/23. Under Review.

Dan Malo stated he is awaiting NDDB letter and NDDH questions for sewer tie in. When replacing the roof on this property, structural problems were discovered that necessitated a tear down. Unanswered questions still pending for more information include is the owner replicating what was there, placement of erosion and sediment controls, and where materials excavated from the site will be stockpiled off site. Dan stated he needs more information to conduct a thorough review. Commissioner O'Neil agreed more information is needed to prevent any future damage to wetlands.

c. Applications Received After Agenda was Published – None

F) Permit Extensions / Changes

Request to transfer to Matthew Tavernier: **IWA21030**, 0 Sunnyside Drive (Assessor's map 113, block 1, lot 3), construction of driveway and septic for a new single-family home, portions of which are in wetlands 100-foot upland review area, issued 3/8/22 to Max Candidus.

Dan corrected scrivener's error stating the transfer application should be IWA21031. Property located the End of Sunnyside Drive. Mr. Tavernier is looking to acquire the rights to this permit. Commissioner O'Neil questioned if a transfer is permitted and Dan Malo replied that it is transferable and it is an action of the Commission to approve the transfer. There are no modifications to this existing permit. If modifications are made, applicant will have to apply for a new permit. Commissioner Obert stated site permit IWA21031, when approved, was a very restrictive application, with no room for changes. Dan will walk the site with Mr. Tavernier and confirm that it is according to the approved plan and hold him to that approval, making him aware that any modifications will require him to come before the Commission.

Commissioner Chapin asked if we grant this transfer of permit IWA21031 will it still be from the original time clock and not restart the five-year clock? Dan said this is correct, the five-year timeclock will not restart. Commissioner Chapin then said it makes sense to approve the transfer as long as Mr. Tavernier sticks to what was approved in the original application.

In reply to Commissioner O'Neil's question of what action is required by the Commission, Dan replied the Regulations say written consent of the Chairman of the Commission is necessary and this endorsement will transfer the permit.

Commissioner Morano made a motion to approve the administrative transfer of Application IWA21031, 0 Sunnyside Drive (Assessor's map 113, block 1, lot 3), construction of driveway and septic for a new single-family home, portions of which are in wetlands 100-foot upland review area transferred to Max Candidus. Commissioner Chapin seconded the motion. The motion was unanimously **APPROVED** with no objection. Commissioner O'Neil will stop by the IWC office to sign the transfer.

#### G) Violations & Pending Enforcement Actions.

1. **VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on 2/9/21. No update.
2. **VIOL23013**, Wojiech Sudyka, 1574 Riverside Drive, (Assessor's map 55, block 65, lot 14), No grading work exceeded scope of work authorized by Permit IWA 21028, issued 5/22/23. No update
3. **Permit WAA22033**, Spicer Gas, Inc. 299 (formerly 0) Reardon Road, (Assessor's map 65, block 101, lot 6), letter sent on failing erosion and sediment controls and stormwater basin as-built.

Dan Malo reported that Phase 1 of this project was approved, however the storm water basin was not built to the standard of the approved plan to accommodate both Phases 1 and 2. The storm water basin can accommodate current site conditions. Daniel Blanchette submitted an as built drawing for what was actually built with the understanding that if Phase 2 was to be built, they would have to improve the stormwater basin to accommodate Phase 2. The erosion control in place has held up well. Dan will meet periodically with Mr. Cummings, the project manager for Spicer, to see the function of this basin and determine that it still meets the needs of the current site conditions.

#### H) Other Business

1. Proposed 2024 Meeting Dates

The Town Clerk requested the IWC meeting dates for 2024 and the dates presented have been reviewed to make sure they meet our meeting dates of the second Tuesday of the month unless it conflicts with a federal holiday or town closure. They shouldn't conflict with other Commissions if they keep their schedules.

Commissioner Obert made a motion to approve the 2024 IWC calendar presented. Commissioner Chapin seconded the motion. The motion was **APPROVED** unanimously.

I) Citizen's Comments - None

J) Reports

1. Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2023 to September 28, 2023 has an available balance of \$22,358.45 and has expended 20.1% of the budget.

2. Wetlands Agent Report

Dan Malo reviewed 15 Building Permits and 4 for projects which had been approved under wetlands permits issued and 11 were non applicable outside of the wetlands area.

Enforcement-matters logged but no formal notice of violations have been issued. An inquiry letter has been issued to the Cleary family on Hill Road by Certified Mail regarding a conservation easement, and so far, no acknowledgement of communication from the Cleary's or a receipt has been received. Dan will communicate with the Cleary's what the restrictions in that area are from a Conservation point and IWC permitting. Dan is substantiating complaints and one in particular on Reardon Road where the church is removing soil from their cemetery and depositing it on Reardon Road. Clearing matter was reported by Building Office to the IWC. They had prior approval to do so but under the new regulations they may not be compliant.

Commissioner Obert commented on the church depositing soil on Reardon Road. He stated that the IWC has a responsibility to make sure damage doesn't happen and to do what agrees with the regulations and possible exposure if we do something wrong. They should have checked with the IWC so guidance would have been given to comply with the Regulations before cleaning up brush and a lot of vegetation, regarding Hill Road.

Dan is having technical difficulties with email and is working with IT to resolve this issue.

K) Correspondence

1. CC from Daniel Lesniewski, DEEP to GZA and others re North Grosvenordale Pond Dam DEEP has asked the company that has been producing the reports for the property owner regarding the high hazard dam to present these reports as requested by the state.

L) Signing of Mylars - None

M) Comments by Commissioners

Commissioner Obert commented utilizing our resources of staffing, networking, and the history we share with the town and documenting it in a way to serve the town to preserve its character. We are doing some good things and not everybody is interested in the ecology and character of the town and we want to make sure no one is taking advantage of the authority we have and doing things outside of the regulations.

He also asked if the Commission has any influence into asking to put trails around the solar panels. Dan replied it's a PZC decision and will check with the Planner to see if open space is required around the solar panels.

Commissioner Chapin questioned a landowner's rights if he's putting solar panels on his own private property.

Commissioner O'Neil commented saying if someone sees something say something.

N) Adjournment

Commissioner Morano made a motion to adjourn the meeting. The motion was seconded by Commissioner Chapin. The motion was unanimously **APPROVED**. The meeting adjourned at 9:24 PM.

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To see/hear the entire meeting via ZOOM, copy and paste the following link into your search bar:

<https://us02web.zoom.us/rec/share/pskupRnJxD1qOFAmykC7KwUWPi8pZJU8QOaLm8wWPZ-XAIK0jIw4aieIce-WKiZ2.MAeWqXUrpDOI3OGb>

Passcode: 3iBu3^Zt

Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.

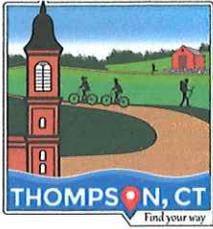
Respectfully submitted, Gloria Harvey, Recording Secretary,

*Gloria Harvey*

Agenda Item D)  
Citizens Comments on Agenda Items

## Agenda Item E) a) Old Applications

1. **WAA23018**, Gary Rawson, 0 Logee Road, (map 141, block 17, lot 181R), Construction of single-family home within upland review area, received 8/14/23. Approved 10/20/23, legal notice published 11/3/23, end of appeal period 11/17/23. No action required.



**TOWN OF  
THOMPSON  
Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

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**WETLAND AGENT APPROVAL WAA23018**

**APPROVAL GRANTED TO:**

Gary Rawson  
147 Kennedy Drive  
Putnam, CT 06260

**DATE OF APPROVAL:** October 20th, 2023

**EXPIRATION DATE:** October 20th, 2028

**LOCATION OF AUTHORIZED ACTIVITY:** 0 Logee Road, Assessor's Map 141, Block 17, Lot 184R

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with Construction of Single-Family Home in the Wetlands Upland Review Area of Quaddick Reservoir as shown in Wetlands Agent Approval Application WAA23018 stamped received by the Thompson Wetlands Office August 14, 2023 and as shown in drawing(s) entitled "Site Development Plan prepared for Gary Rawson, 0 Logee Road, Thompson, CT" prepared by J&D Civil Engineers, LLC revised 8/9/23 dated received August 14, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: \_\_\_\_\_

  
Dan Malo

Dated: \_\_\_\_\_

10/20/23

File Copy

## Agenda Item E) a) Old Applications

2. **IWA23024**, Eastwood Thompson 49 LLC, 0 Riverside Drive, (map 61, block 88, lot 16), Construction of ballasted PV solar array, received 9/11/23. Approved 10/17/23, legal notice published 11/3/23, end of appeal period 11/17/23. No action required.

## Agenda Item E) a) Old Applications

3. **SUB23027**, John Camelio, 597 East Thompson Road (map 154, block 5, lot 10), Three (3)-Lot Subdivision within upland review area, received 10/4/23.

**J & D** CIVIL  
ENGINEERS, LLC

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401 Ravenelle Road  
N. Grosvenordale, CT 06255  
www.jdcivilengineers.com  
(860) 923-2920

October 17, 2023

Inland Wetlands Commission  
Town of Thompson  
815 Riverside Drive  
North Grosvenordale, CT 06255

Re: Camelio subdivision application – SUB 23027

Job No.: 22210

Dear Commission members:

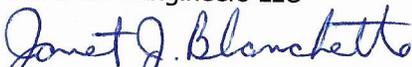
The purpose of this letter is to request a waiver to reduce application the fee of \$1030 to \$310 because the application fee seems excessive in relation to the cost to the town for reviewing and processing the application. This is a three-lot subdivision however one of the lots is already developed with an existing house so only two new house sites are proposed. If this were a two-lot subdivision the Commission's fee would be only \$80. The commission's staff is reviewing proposed work on only two lots. The applicant submitted a check for \$310 for the conceptual subdivision review which is the \$250 base fee for a 3-lot subdivision plus the \$60 state fee. The additional \$250 per lot wasn't included because agent approval applications for the individual lots were submitted simultaneously.

For this project the owner intends to construct the two new houses himself not sell off lots. So the owner has submitted agent approval applications for the two proposed houses. The information shown on the plans for the two new house lots is identical for both the subdivision and agent approval applications. The owner submitted \$110 fees for each of the two agent approval applications (\$50 plus \$60 state fee). Therefore, the total amount of application fees submitted for the proposed two new houses is \$530 (\$310 + \$110 + \$110).

We are aware that it takes time and resources for the staff to process permits and we understand the need for appropriate compensation. Therefore the applicant submitted a total of \$530 in fees which is in between the \$80 two-lot fee and the \$1030 three-lot fee. Hopefully the Commission will view this as a fair amount for both the town and applicant.

Very truly yours,

J & D Civil Engineers LLC

  
Janet J. Blanchette, PE

Cc: Jack Camelio



If you need assistance contact the wetland Agent (business office 860- 923-1852)

Date September 29, 2023

1) Name of Applicant John Camelio  
 Home Address 597 East Thompson Rd, Thompson CT, 06277  
 Home Tele & Hrs (781) 589 - 6188 Business Tele & Hrs \_\_\_\_\_  
 Business Address \_\_\_\_\_

2) Applicant's interest in the Property:  Owner  Other  
 INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.  
 No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) \_\_\_\_\_  
 Home Address \_\_\_\_\_  
 Business Address \_\_\_\_\_  
 Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)  
 Pole # and Location CLP 3148, northeast side of East Thompson Rd  
 Street or Road Location 597 East Thompson Rd  
 Tax Assessor's Map # 154  
 Block # 5  
 Lot # that appears on site plan 10, 10C, 10D  
 Deed Info : Volume # 995  
 Page # 238

5) The property to be subdivided contains:  
 Soil Types Merrimac, Rippowam sandy loam and Hinckley loamy sand  
 Wetland Soils  (Swamp  Marsh  Bog  Vernal Pool   
 Watercourses  (Lake or Pond  Stream or River  Intermittent Stream   
 Floodplain -  Yes /  No

6) Purpose and Description of the Activity for which Approval is requested:  
 a. Give a complete description of the proposed activity Proposed 3 lot subdivision with work within the  
upland review area.

If the above activity involves deposition or removal of material, what is the quantity? \_\_\_\_\_



## 597 EAST THOMPSON RD- ABUTTERS

Site Address	Owner Name	Owner Address	City	State	Zip
580 EAST THOMPSON RD	KUSZEWSKI JOSEPH R	580 EAST THOMPSON RD	THOMPSON	CT	06277
614 EAST THOMPSON RD	ELLIOTT DAVID E	614 EAST THOMPSON RD	THOMPSON	CT	06277
565 EAST THOMPSON RD	SEALE MICHELLE A	565 EAST THOMPSON RD	THOMPSON	CT	06277
0 EAST THOMPSON RD	SAVOLIS MARIA R + MARK W REV TRUSTS	551 EAST THOMPSON RD	THOMPSON	CT	06277
591 EAST THOMPSON RD	ROBBINS MICHAEL J +	591 EAST THOMPSON RD	THOMPSON	CT	06277
611 EAST THOMPSON RD	FAFARD KYLE H	611 EAST THOMPSON RD	THOMPSON	CT	06277
601 EAST THOMPSON RD	FAFARD CHRIS M + EDELLEN B	601 EAST THOMPSON RD	THOMPSON	CT	06277
631 EAST THOMPSON RD	DENNIS KAREN	631 EAST THOMPSON RD APT A	THOMPSON	CT	06277
635 EAST THOMPSON RD	DURAND RAYMOND J + SUZANNE C	635 EAST THOMPSON RD	THOMPSON	CT	06277
637 EAST THOMPSON RD	JOSEY SCOTT	637 EAST THOMPSON RD	THOMPSON	CT	06277
144 NEW RD	NEUNDORF ROBERT C	144 NEW RD	THOMPSON	CT	06277
134 NEW RD	PEDERSEN KRISTINE A	134 NEW RD	THOMPSON	CT	06277
64 NEW RD	LEE GREGORY S + MAUREEN E	64 NEW RD	THOMPSON	CT	06277
0 NEW RD	NEUNDORF DEBRA L	144 NEW RD	THOMPSON	CT	06277
0 NEW RD	AUGER GEORGE L + BERNICE	5940 30TH AVE SOUTH APT 304	GULFPORT	FL	33707
124 NEW RD	SAMANTHAS CONSTRUCTION INC	62 ELM ST	SOUTHBRIDGE	MA	01550
594 EAST THOMPSON RD	BARLOW MARIE C	594 EAST THOMPSON RD	THOMPSON	CT	06277
128 NEW RD	H C ROSE CONTRACTORS INC	3748 FLAT RIVER RD	COVENTRY	RI	02816
608 EAST THOMPSON RD	COSMA JENNY L	608 EAST THOMPSON RD	THOMPSON	CT	06277
125 NEW RD	COSTA JOSHUA J + MARIE P	125 NEW RD	THOMPSON	CT	06277
118 NEW RD	GRAY SHAUN D	118 NEW RD	THOMPSON	CT	06277

**Stormwater Management  
Low Impact Development  
And  
Erosion Control Narrative**

**Prepared For**

**Camelio and Bombard Subdivision**

597 East Thompson Road –Thompson, CT

**October 2, 2023**

**Prepared by:**

**J & D Civil  
Engineers, LLC**

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401 Ravenelle Road  
N. Grosvenordale, CT 06255

## **Project Description and Existing Site Description**

A three-lot subdivision is proposed on a 29.7 acre property on the south east side of East Thompson Road. Lot 10 is already developed with a house. Two new houses will be constructed on proposed Lots 10C, and 10D. Lot 10C will be 3 acres in size and Lot 10D will be 19 acres in size. The Five Mile River runs through the property and a considerable amount of the property is within the recently adopted limits of FEMA flood zone A. A gravel removal operation was conducted on the property so the land is relatively flat. During the gravel operation haul roads were installed on the property.

## **Stormwater Management**

The site is almost 30 acres in size and the two new proposed lots will only add 0.12 acres of impervious area so the percentage of impervious area for the property after development of all three lots is only 0.56%. In addition, the land is relatively flat and the underlying soils are well drained. Therefore, the lots do not require any drainage structures such as catchbasins, culverts, or swales. Runoff will not be channelized or concentrated. All the stormwater runoff will be in the form of sheet flow. Roof gutters will outlet to the land surface for infiltration and will not be directed to any roads or watercourses. Runoff directions and patterns will not be altered. There will not be any measurable differences in stormwater flow after construction because of the reasons described above.

## **Low Impact Development (LID)**

Low Impact Development design strategies have been incorporated into the project to the extent practicable. Much of the land that is proposed to be developed was previously disturbed during the gravel removal operation and does not contain mature forest. Another important example of LID design is the use of an existing pervious shared driveway as access to all three lots. In addition, Lot 10D will utilize another existing driveway left over from the previous gravel removal operation. The subdivision is minimizing grading, land disturbances and impervious area.

## **Erosion and Sediment Control**

Due to the large size of the lots and the relatively flat terrain, controlling erosion can be handled well utilizing standard E & S procedures. The septic system design plans for the two new lots contain erosion control narratives and details for both silt fence and silt sock. These erosion control devices are shown on the plans on the downslope side of construction activities. The limits of disturbance have been indicated on the plans.



## Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments  
Wetland Delineations and Permitting ~ E&S/Site Monitoring  
Wetland function and value assessments

11/27/2020

Provost & Rovero, Inc.

57 East Main St.

P.O. Box 191

Plainfield, CT. 06374

Attn: Mr. David Held

Re: Wetland delineation, Rawson Property, East Thompson Rd. Thompson, CT.

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourse on the above referenced property.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and inland wetlands and watercourse.

These wetland soils have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Section 22A-38.

Flag numbers WF-1 thru WF-79 delineate a palustrine forested wetlands and the Five Mile River located in the eastern portion of the property.

Flag numbers WF-1A through Wf-17A delineate the palustrine forested wetlands and the Five Mile River located to the west of the existing access road into the property.

Flag numbers WF-1B through WF-10B delineate wetland soils found in an excavated depression adjacent to the western property boundary.

Within these wetlands, low chroma colors and shallow redoximorphic features were found within 20 inches of the soil surface, indicating that the soils are hydric.

The remainder of the property was investigated for the presence of inland wetlands and watercourses and none were found.

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

*Joseph R. Theroux*

Joseph R. Theroux  
Certified Soil Scientist  
Member SSSSNE, NSCSS, SSSA.

# CAMELIO AND BOMBARD 3 LOT SUBDIVISION

## MAP 154 BLOCK 5 LOT 10 597 EAST THOMPSON RD, THOMPSON, CT 06255

**DATED: OCTOBER 2, 2023**

OWNER AND APPLICANT:

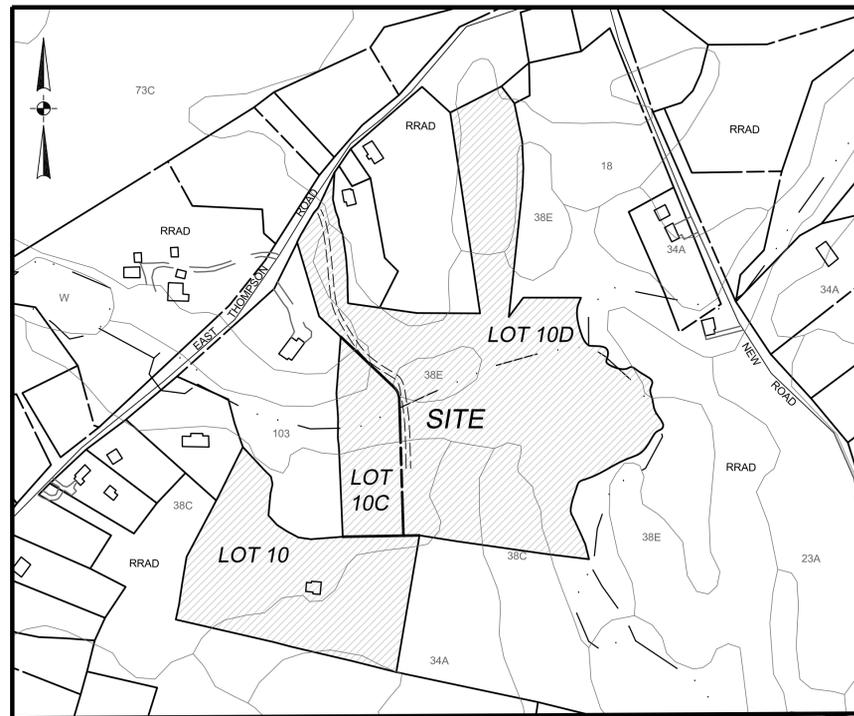
JOHN J. JR CAMELIO &  
KIMBERLY J. BOMBARD  
597 EAST THOMPSON RD  
THOMPSON, CT 06255

INDEX OF DRAWINGS

- 1 COVER
- 2 SUBDIVISION PLAN
- 3 SITE DEVELOPMENT PLAN - NORTH
- 4 SITE DEVELOPMENT PLAN - SOUTH
- 5 E & S AND CONSTRUCTION DETAILS
- 6 SEPTIC SYSTEM PLAN LOT 10C
- 7 SEPTIC SYSTEM PLAN LOT 10D

SOIL TYPE LEGEND

- W WATER
- 18 CATDEN AND FREETOWN SOILS 0 TO 2 % SLOPES
- 23A SUDBURY SANDY LOAM, 0 TO 5% SLOPES
- 34A MERRIMAC FINE SANDY LOAM, 0 TO 3% SLOPES
- 38C HICKLEY LOAMY SAND, 3 TO 15% SLOPES
- 38E HICKLEY LOAMY SAND, 15 TO 45% SLOPES
- 73C CANTON-CHATFIELD COMPLEX, 0 TO 15% SLOPES, VERY ROCKY
- 103 RIPPOWAM FINE SANDY LOAM



ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT (RRAD)  
USE: RESIDENTIAL

ITEM	REQUIRED	LOT 10	LOT 10C	LOT 10D
FRONTAGE	150'	827.49'	773.62'	237.78'
LOT COVERAGE	<50%	< 1%	1.6%	< 1%
FRONT SETBACK	40'	156'±	59'±	1082'±
SIDE SETBACK	20'	184'±	82'±	82'±
REAR SETBACK	20'	283'±	740'±	740'±
LOT SIZE	40,000 SF	348,703 SF	129,399 SF	816,008 SF
NET BUILDABLE AREA	15,000 SF ±	348,703 SF ±	65,387 SF ±	221,468 SF ±

**LOCATION MAP**

1" = 200'

**J & D CIVIL ENGINEERS, LLC**

**401 RAVENELLE ROAD  
THOMPSON, CT 06255**

JDCIVILENGINEERS.COM

860-923-2920

APPROVED BY THE TOWN OF THOMPSON  
PLANNING AND ZONING COMMISSION

APPROVED BY THE TOWN OF THOMPSON  
INLAND WETLANDS COMMISSION

CHAIRMAN SIGNATURE \_\_\_\_\_

CHAIRMAN SIGNATURE \_\_\_\_\_

DATE OF PZC APPROVAL \_\_\_\_\_

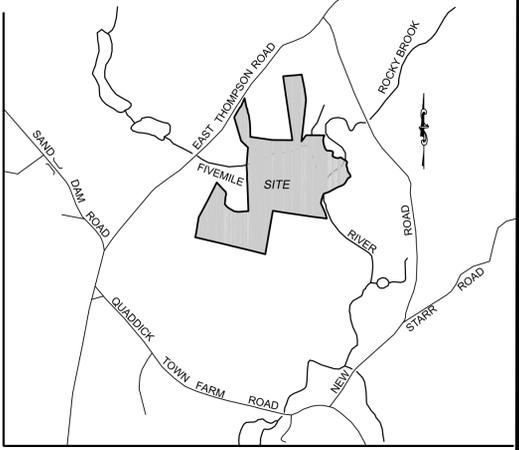
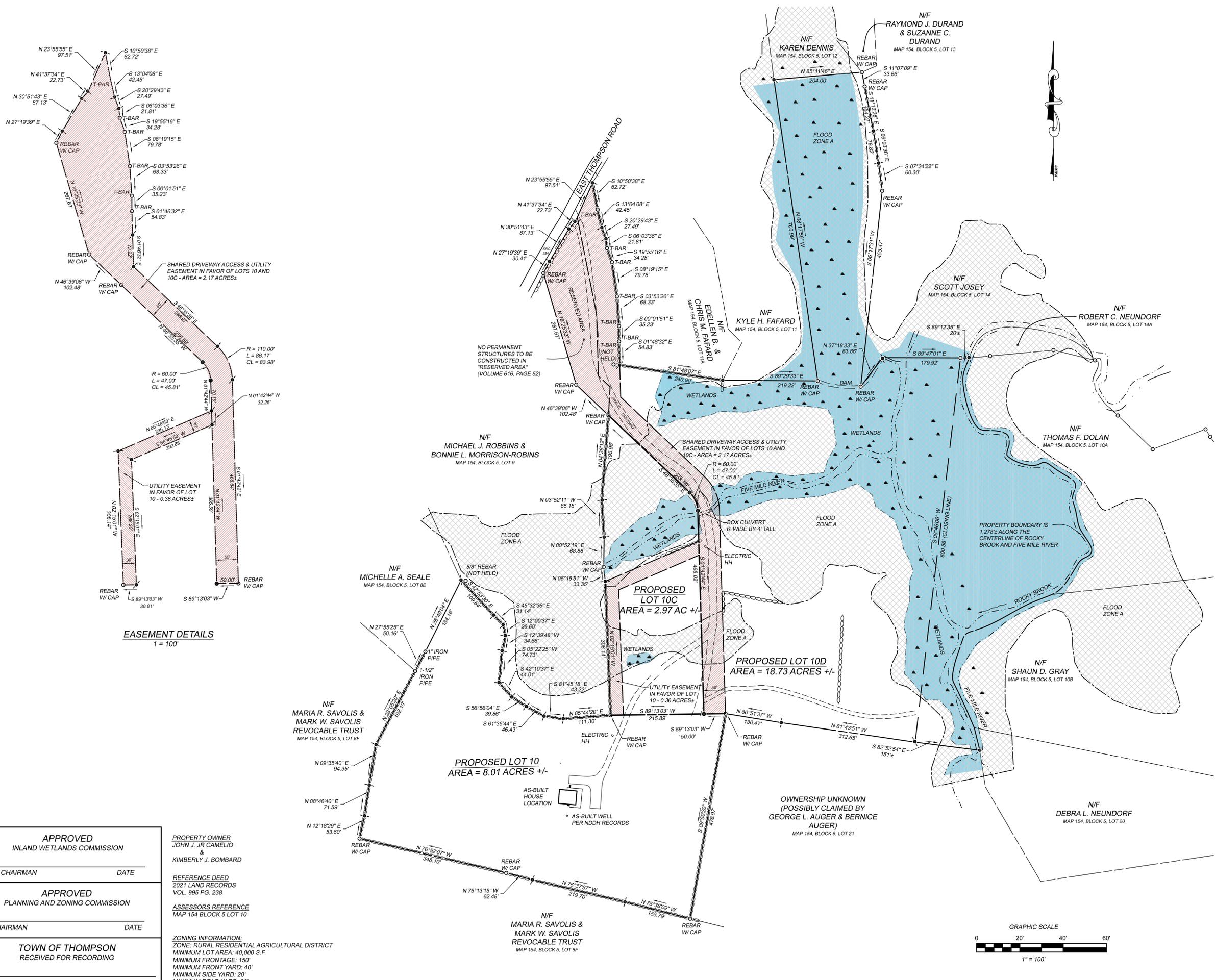
DATE OF IWC APPROVAL \_\_\_\_\_

DATE OF EXPIRATION \_\_\_\_\_

TOWN OF THOMPSON  
RECEIVED FOR RECORDING

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_ TIME \_\_\_\_\_ MAP # \_\_\_\_\_

THE SUBDIVISION REGULATIONS OF THE THOMPSON PLANNING AND ZONING COMMISSION ARE PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY WAIVERS OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH WAIVERS OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.



**SURVEY NOTES**

- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- REFERENCE PLANS:
  - (A) "PROPERTY SURVEY PREPARED FOR RIVER JUNCTION ESTATES LLC, EAST THOMPSON ROAD THOMPSON, CT." PLAN PREPARED BY PROVOST AND ROVERO, DATE: 5-17-2021, ON FILE IN THE TOWN CLERK'S OFFICE AS MAP #1800
  - (B) "PROPERTY SURVEY PREPARED FOR SCOTT JOSEY, 637 EAST THOMPSON ROAD, THOMPSON, CT." PREPARED BY J & D CIVIL ENGINEERS LLC, DATE 2-16-18.
- WETLANDS INDICATED ON THE PLAN WERE DELINEATED BY JOSEPH THEROUX IN NOVEMBER 2020.
- PROPERTY INCLUDES LAND AREAS WITHIN A 100 YEAR FLOOD ZONE PER FIRM MAP 09015C0068F DATED: 9/7/23

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07/23 LICENSE #

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2023 J&D CIVIL ENGINEERS, LLC

**LEGEND**

- IRON ROD OR DRILL HOLE TO BE SET
- ANGLE POINT
- EXISTING IRON ROD DRILL HOLE
- EXISTING PROPERTY LINE
- - - ABUTTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- - - EDGE OF EASEMENT
- STONE WALL
- UTILITIES
- WETLANDS
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

APPROVED INLAND WETLANDS COMMISSION			
CHAIRMAN	DATE		
APPROVED PLANNING AND ZONING COMMISSION			
CHAIRMAN	DATE		
TOWN OF THOMPSON RECEIVED FOR RECORDING			
TOWN CLERK	DATE	TIME	MAP #

**PROPERTY OWNER**  
JOHN J. JR CAMELIO & KIMBERLY J. BOMBARD

**REFERENCE DEED**  
2021 LAND RECORDS VOL. 995 PG. 238

**ASSESSORS REFERENCE**  
MAP 154 BLOCK 5 LOT 10

**ZONING INFORMATION:**  
ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT  
MINIMUM LOT AREA: 40,000 S.F.  
MINIMUM FRONTAGE: 150'  
MINIMUM FRONT YARD: 40'  
MINIMUM SIDE YARD: 20'  
MINIMUM REAR YARD: 20'

**SUBDIVISION PLAN**  
PREPARED FOR  
**CAMELIO & BOMBARD**  
597 EAST THOMPSON ROAD - THOMPSON, CT  
MAP 154 BLOCK 5 LOT 10

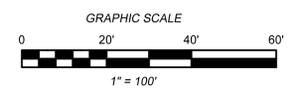
**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: APS  
CHECKED: JAB

REVISIONS:

JOB NO: 22210  
SCALE: 1" = 100'

DATE: OCTOBER 2, 2023  
SHEET: 2





EAST THOMPSON ROAD

RESERVED AREA  
SEE SHEET 2

EXISTING PAVED  
APRON

SHARED DRIVEWAY  
ACCESS & UTILITY  
EASEMENT. SEE  
SHEET 2

USE 18' - 20' WIDE  
EXISTING DRIVEWAY  
FOR SHARED  
DRIVEWAY

APPROX. LOCATION  
EXIST. U/G UTILITIES

WIDEN DRIVEWAY TO  
22' TO CREATE  
VEHICLE BYPASS  
AREA

EROSION  
CONTROL  
DEVICES

SHARED DRIVEWAY  
ACCESS & UTILITY  
EASEMENT

LOT 10D  
AREA = 18.73 ACRES +/-

BOX CULVERT 6"  
WIDE BY 4' TALL

MATCH LINE SHEET 3

MATCH LINE SHEET 3

SHEET 4

SHEET 4

LEGEND

- BUILDING SETBACK LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- CLEARING LIMITS
- GUARDRAIL
- LIMIT OF DISTURBANCE
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

**SITE DEVELOPMENT PLAN - NORTH**  
 PREPARED FOR  
**CAMELIO & BOMBARD**  
 597 EAST THOMPSON RD - THOMPSON, CT  
 MAP 154 BLOCK 5 LOT 10

**J&D CIVIL ENGINEERS, LLC**  
 401 RAVENELLE ROAD  
 N. GROSVENORDALE, CT 06255  
 860-923-2920

DESIGNED: JJB  
 CHECKED: DRB

REVISIONS:

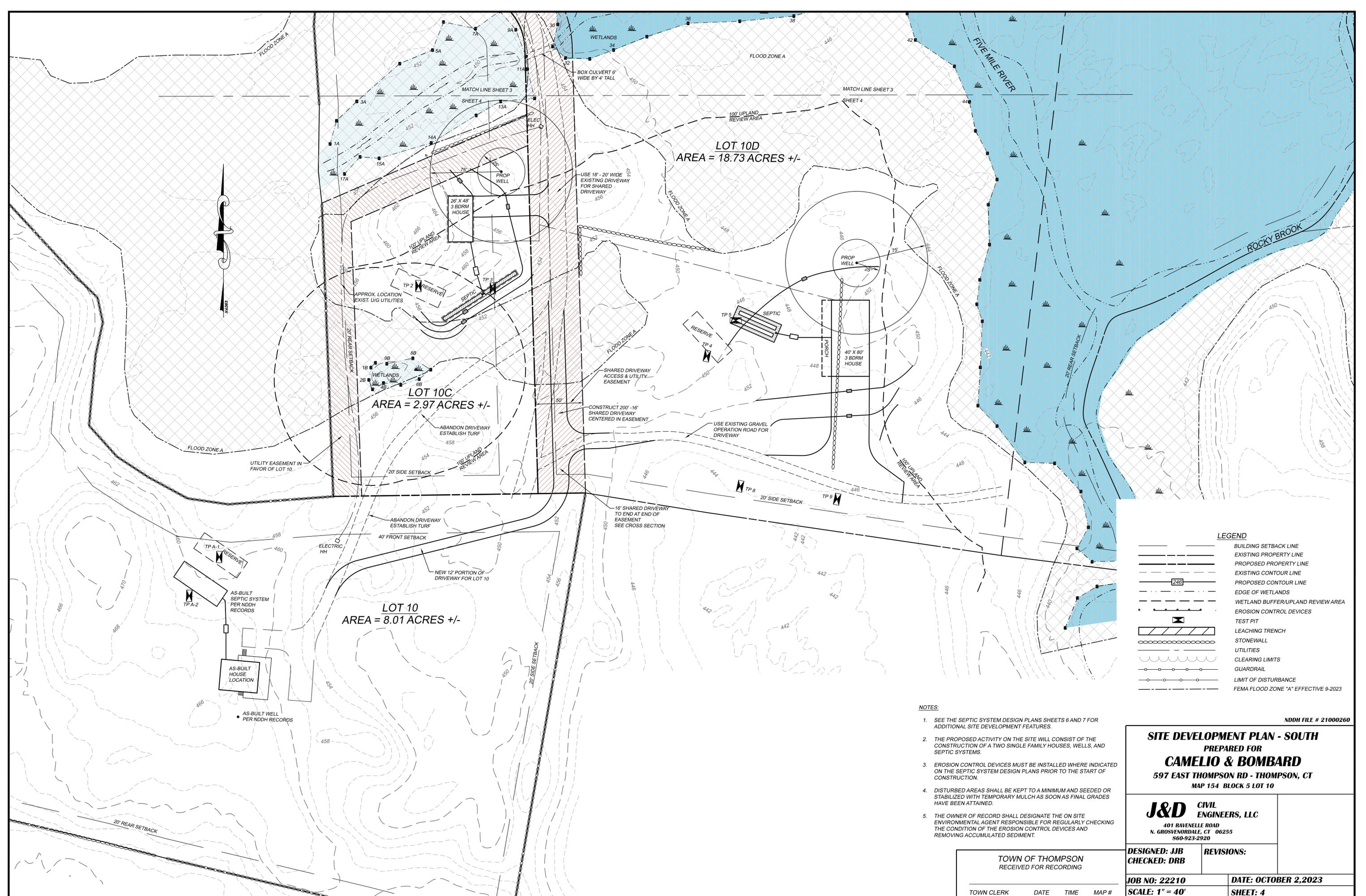
JOB NO: 22210  
 SCALE: 1" = 40'

DATE: OCTOBER 2, 2023  
 SHEET: 3

TOWN OF THOMPSON  
 RECEIVED FOR RECORDING

TOWN CLERK    DATE    TIME    MAP #

NDDH FILE # 21000260



**LEGEND**

- BUILDING SETBACK LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- CLEARING LIMITS
- GUARDRAIL
- LIMIT OF DISTURBANCE
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

**NOTES:**

1. SEE THE SEPTIC SYSTEM DESIGN PLANS SHEETS 6 AND 7 FOR ADDITIONAL SITE DEVELOPMENT FEATURES.
2. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF TWO SINGLE FAMILY HOUSES, WELLS, AND SEPTIC SYSTEMS.
3. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THE SEPTIC SYSTEM DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
4. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
5. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

NDDH FILE # 21000260

**SITE DEVELOPMENT PLAN - SOUTH**  
 PREPARED FOR  
**CAMELIO & BOMBARD**  
 597 EAST THOMPSON RD - THOMPSON, CT  
 MAP 154 BLOCK 5 LOT 10

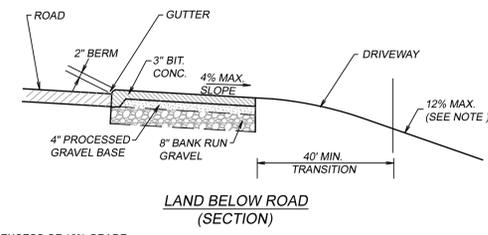
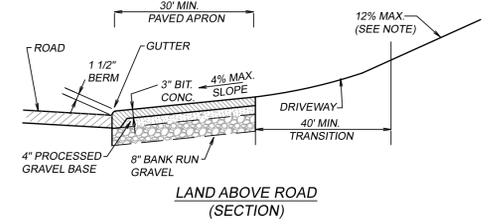
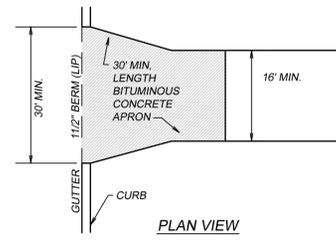
**J&D CIVIL ENGINEERS, LLC**  
 401 RAVENELLE ROAD  
 N. GROSVENORDALE, CT 06255  
 860-923-2920

**DESIGNED: JJB**      **REVISIONS:**  
**CHECKED: DRB**

**JOB NO: 22210**      **DATE: OCTOBER 2, 2023**  
**SCALE: 1" = 40'**      **SHEET: 4**

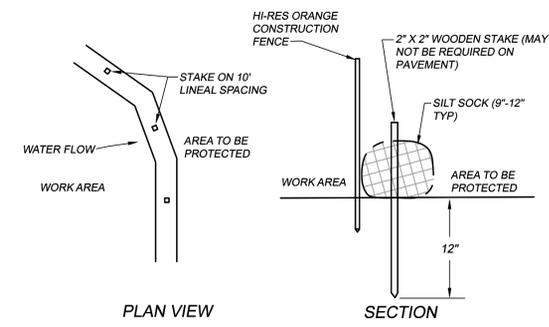
TOWN OF THOMPSON  
 RECEIVED FOR RECORDING

TOWN CLERK      DATE      TIME      MAP #



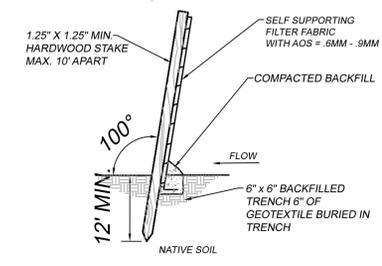
NOTE:  
SHARED DRIVEWAYS IN EXCESS OF 10% GRADE SHALL BE PAVED WITH 3\"/>

**SHARED DRIVEWAY DETAIL**  
NOT TO SCALE

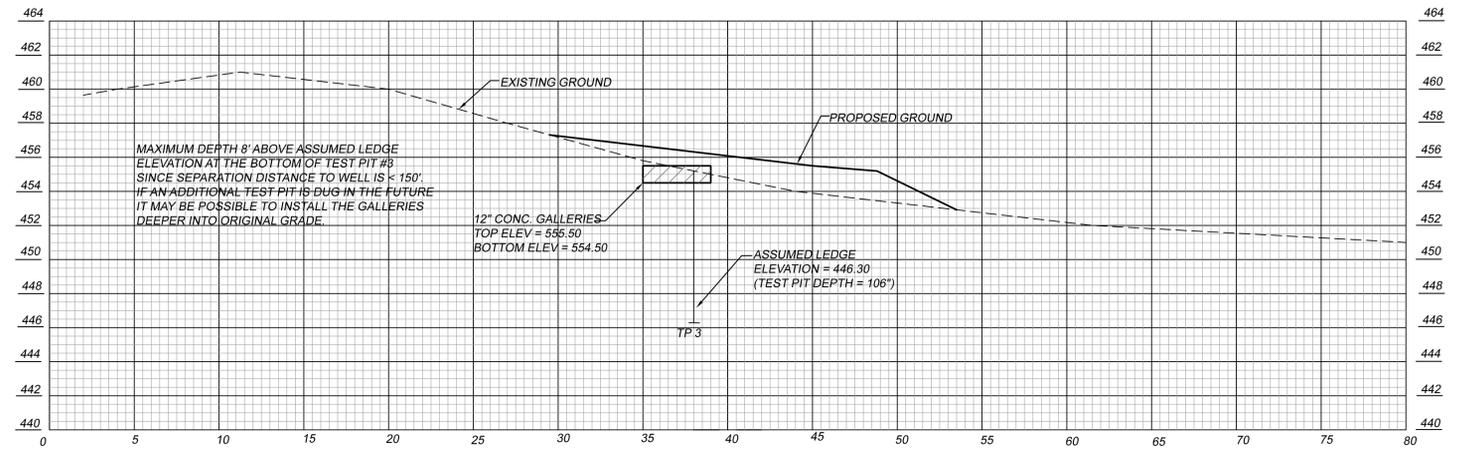


- NOTES**
1. SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
  2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
  3. SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS
  4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

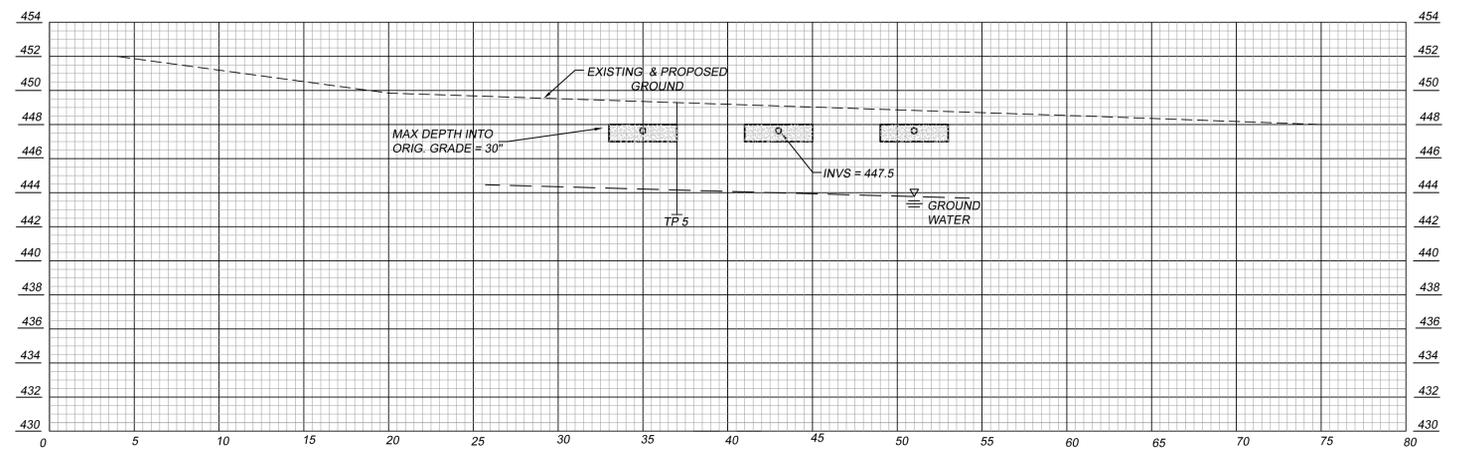
**SILT SOCK DETAIL**  
NOT TO SCALE



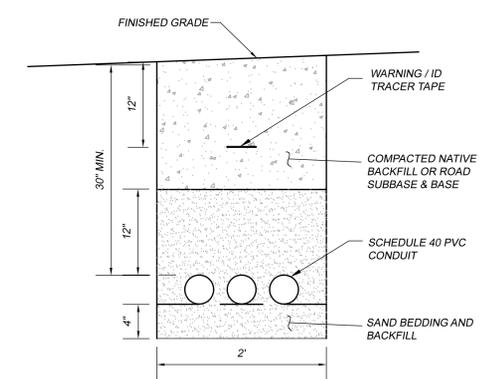
**SILT FENCE INSTALLATION**  
NOT TO SCALE



**LEACHING FIELD CROSS SECTION A-A (LOT 10C)**  
1" = 5'



**LEACHING FIELD CROSS SECTION B-B (LOT 10D)**  
1" = 5'



- 1) NUMBER AND SIZE OF CONDUITS SHALL BE AS REQUIRED BY OWNER & UTILITY COMPANY
- 2) CONSTRUCTION METHODS, MATERIALS & DIMENSIONS SHALL CONFORM TO THE SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES

**TYPICAL UTILITY TRENCH DETAIL**  
NOT TO SCALE

TOWN OF THOMPSON  
RECEIVED FOR RECORDING

TOWN CLERK    DATE    TIME    MAP #

**E & S AND CONSTRUCTION DETAILS**  
PREPARED FOR  
**CAMELIO & BOMBARD**  
597 EAST THOMPSON ROAD - THOMPSON, CT  
MAP 154 BLOCK 5 LOT 10

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: JJB CHECKED: DRB	REVISIONS:
JOB NO: 22210 SCALE: AS NOTED	DATE: OCTOBER 2, 2023 SHEET: 5



**TEST PIT RESULTS**

OBSERVED BY: MAUREEN MARCOUX  
DATE: AUGUST 9, 2023

**PIT NO. 4**

- 0" - 8" (TOPSOIL, ROOTS)
- 8" - 21" (GRAVELLY FINE SANDY LOAM, ROOTS)
- 21" - 62" (BONEY MEDIUM TO COARSE SAND & GRAVEL)
- 62" - 73" (WET BONEY COARSE SAND AND GRAVEL)
- 73" - 103" (GROUNDWATER)

MOTTLING: N/A  
GROUND WATER: 73"  
LEDGE: N/A  
ROOTS: N/A  
RESTRICTIVE: 62"

**PIT NO. 5**

- 0" - 9" (ORGANICS, TOPSOIL, LARGE ROOTS)
- 9" - 35" (BONEY FINE SANDY LOAM)
- 35" - 64" (BONEY MEDIUM TO COARSE SANDS & GRAVEL)
- 64" - 78" (GROUNDWATER)

MOTTLING: N/A  
GROUND WATER: 64"  
LEDGE: N/A  
ROOTS: N/A  
RESTRICTIVE: 64"

**TEST PIT RESULTS**

OBSERVED BY: MAUREEN MARCOUX  
DATE: AUGUST 9, 2023

**PIT NO. 8 - UNSUITABLE**

- 0" - 22" (FILL MATERIAL)
- 22" - 24" (TOPSOIL)
- 24" - 29" (MOIST GREY GRAVELLY LOAMY MEDIUM SAND)
- 29" - 50" (VERY BONEY WET SAND AND GRAVEL)
- 50" - 68" (GROUNDWATER)

MOTTLING: N/A  
GROUND WATER: 50" ACT 28"  
LEDGE: N/A  
ROOTS: N/A  
RESTRICTIVE: 24" ACT 2"

**PIT NO. 9 - UNSUITABLE**

- 0" - 29" (FILL MATERIAL)
- 29" - 35" (MOTTLED SILTY LOAMY FINE SAND)
- 35" - 76" (VERY BONEY SAND AND GRAVEL)
- 76" - 87" (GROUNDWATER)

MOTTLING: 29" ACT 0"  
GROUND WATER: 76" ACT 47"  
LEDGE: N/A  
ROOTS: N/A  
RESTRICTIVE: 64"

**NOTES**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION  
PURPOSE: SITE DEVELOPMENT PLAN

HORIZONTAL ACCURACY: B OR D  
TOPOGRAPHIC ACCURACY: T-2  
HORIZONTAL DATUM: NAD 83  
VERTICAL DATUM: NAVD 88

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION. THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.

2. REFERENCE PLANS:  
(A) "SUBDIVISION PLAN PREPARED FOR CAMELIO AND BOMBARD, 597 EAST THOMPSON RD, THOMPSON, CT" BY J&D CIVIL ENGINEERS LLC, DATED OCTOBER 2, 2023, SCALED 1" = 100'

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/23 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2023 J&D CIVIL ENGINEERS, LLC

**PERC TEST RESULTS**

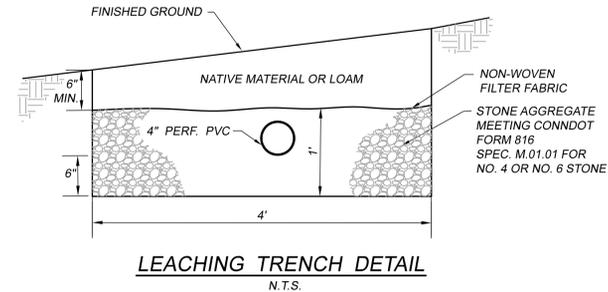
OBSERVED BY: MAUREEN MARCOUX  
DATE: AUGUST 9, 2023

**HOLE A NEAR TP 4 & 5**

TIME	READING
10:31	9.50"
10:32	10.00"
10:33	10.50"
10:35	11.00"
10:40	12.50"
10:50	14.75"
DEPTH: 12" / 28"	
RATE: 4.4 MIN/IN	

**EROSION AND SEDIMENT CONTROL NOTES:**

- THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
- EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
- THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.



**SEPTIC SYSTEM DESIGN CRITERIA**

- NUMBER OF BEDROOMS: 3
- SEPTIC TANK: 1000 GALLON
- PERC RATE: 4.4 MINS/INCH
- MOTTLING: N/A; LEDGE: N/A; WATER: N/A; RL: 62" - 64"; SLOPE: 1.0 - 2.0%
- LEACHING AREA REQUIRED: 495 SQUARE FEET
- LEACHING AREA PROVIDED: 166' OF TRENCHES, 48" WIDE, = 498 SQUARE FEET
- MLSS NOT APPLICABLE
- LSS PROVIDED = 50'

**SPECIFICATIONS**  
SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION PIPE: 4" PVC PERFORATED, LAID LEVEL (MAX SLOPE 2" PER 100')

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS. BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

**EROSION AND SEDIMENT CONTROL NOTES:**  
1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.

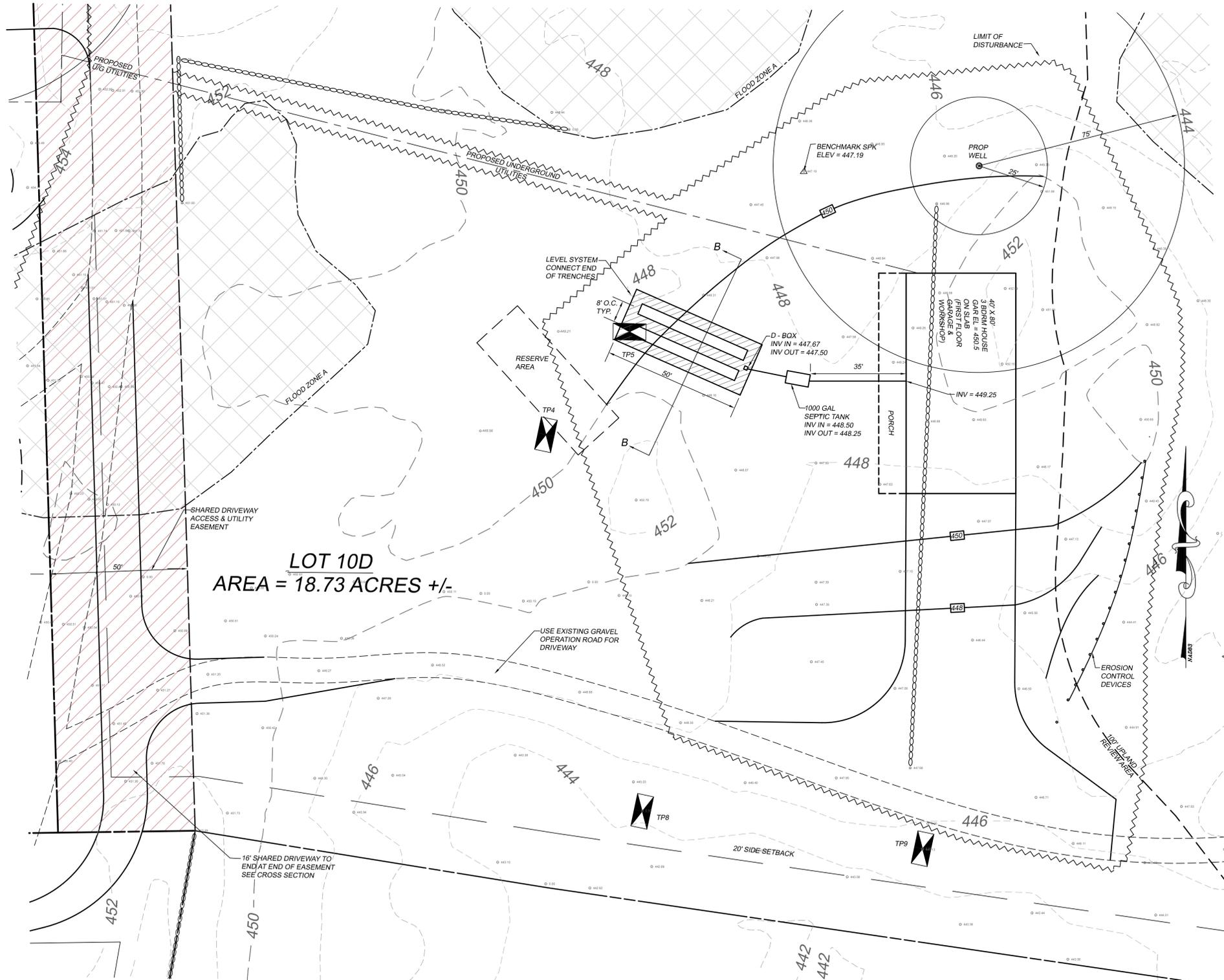
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.

3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.

4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

**LEGEND**

- BUILDING SETBACK LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- LIMIT OF DISTURBANCE
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023



**SEPTIC SYSTEM PLAN - LOT 10D**  
PREPARED FOR  
**CAMELIO & BOMBARD**  
597 EAST THOMPSON RD - THOMPSON, CT  
MAP 154 BLOCK 5 LOT 10D

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: JJB  
CHECKED: DRB  
REVISIONS:

JOB NO: 22210  
SCALE: 1" = 20'  
DATE: OCTOBER 2, 2023  
SHEET: 7

TOWN OF THOMPSON  
RECEIVED FOR RECORDING

TOWN CLERK      DATE      TIME      MAP #

NDDH FILE # 21000260



November 13, 2023

Janet Blanchette  
J & D Civil Engineers, LLC  
401 Ravenelle Road  
North Grosvenordale, CT  
[janet@jdcivilengineers.com](mailto:janet@jdcivilengineers.com)

Project: Camelio 3 Lot Subdivision at 597 East Thompson Road in Thompson, Connecticut  
Portal Filing No.: 102592  
NDDDB Preliminary Assessment No.: 202307560  
Expiration Date: November 13, 2024

Dear Janet Blanchette,

I have reviewed Natural Diversity Data Base maps and files regarding the Camelio 3 Lot Subdivision at 597 East Thompson Road in Thompson, Connecticut. Please be advised that this is a preliminary review and not a final determination. A more detailed review will be necessary to move forward with any environmental permit applications submitted to DEEP for the proposed project. **This preliminary assessment letter cannot be used or submitted with registrations and permit applications with CT-DEEP.** This letter is valid for one year.

### State Listed Plant Species

Our records indicate that the following State Listed plant species have been documented near this site in habitats similar to that which apparently occur on this site, based on aerial photographic analysis, USDA-NRCS soils mapping, and other remote sensing data.

#### ***Carex polymorpha* (Variable sedge)**

State Status: Endangered

Habitat: Dry, moist, or hydric sites, on sandy and/or gravelly glaciofluvial and alluvial soils (some alluvial soil sites may be sandy loams). Wooded and open-canopy stream banks and shores, forested wetlands that are not very wet, often at or near forest edges, woods roads, railroad ballast, moist low shrublands, upland forest-brackish marsh borders. Forests can be mixed or deciduous. Populations in relatively deeper shade often do not produce flowers and fruit.

Fruits late Jun, Jul.

#### ***Piptatherum pungens* (Slender mountain ricegrass)**

State Status: Endangered

Habitat: Dry, acidic, sandy or rocky, open-canopy or somewhat closed-canopy forested sites. Dry oak, pine, or mixed oak-pine forests and woodlands, open sand barrens and dry grasslands in utility ROWs, sandy roadsides and roadbanks, railroad ROWs, rocky ridge and knoll summits, including traprock. Rocky sites include a traprock ridge, where it flanks a hiking trail through thin dry mixed woods. Flowering and fruiting late Apr-June (rarely -Aug)

To prevent impacts to listed plant species, botanical field surveys of the site should be performed by a qualified botanist or plant ecologist at a time when these target species are detectable and identifiable. If

you need help finding a qualified botanist or plant ecologist, please contact The Native Plant Trust ([conservation@NativePlantTrust.org](mailto:conservation@NativePlantTrust.org)) for recommendations for a qualified botanist or plant ecologist who is familiar with these plants. An acceptable report presenting the results of such surveys should include:

1. Survey date(s) and duration.
2. Descriptions and representative photographs of the habitats occurring on the site.
3. List of component vascular plant and animal species within the survey area (including scientific binomials).
4. Good quality photographs of any state listed plants found, which show the identifying characters clearly.
5. A discussion of the identifying characters that distinguish each listed plant from other similar species. This discussion should demonstrate a thorough understanding of all the salient identifying characters of each target species.
6. Data regarding population numbers and/or area occupied by State-listed species. Include special plant and/or animal forms found at:  
[https://www.ct.gov/deep/cwp/view.asp?a=2702&q=323460&deepNav\\_GID=1628](https://www.ct.gov/deep/cwp/view.asp?a=2702&q=323460&deepNav_GID=1628)
7. Detailed maps of the area surveyed including the survey route and locations of state listed species.
8. Conservation strategies or protection plans that indicate how impacts may be avoided for all state listed plant species present on the site.
9. Statement/résumé indicating the botanist's qualifications. Please be sure when you hire a consulting qualified biologist to help conduct this site survey that they have the proper experience with the target species.

The botanical site surveys report should be sent to our CT DEEP-NDDDB Program ([deep.nddbrequest@ct.gov](mailto:deep.nddbrequest@ct.gov)) for review by our program biologists. After reviewing your listed plant survey report, conservation strategies, and/or protection plans describing how you will protect these species from project impacts, we will make a final determination and provide you with a letter from our Program to use with obtaining DEEP-Permits and other authorizations. Incomplete survey reports, conservation strategies, and protection plans may not be accepted.

### **Protection for State Listed Animal Species**

#### **Five-mile River Dependent Species**

#### **Eastern pearlshell (*Margaritifera margaritifera*)- State Special Concern**

This freshwater mussel species lives buried in clean, stable, mixed substrate in fast-flowing unpolluted streams and rivers. Its host fish include Atlantic salmon (*Salmo salar*), brook trout (*Salvelinus fontinalis*), brown trout (*Salmo trutta*), rainbow trout (*Onchorhynchus mykiss*). Best habitats are good trout streams that are heavily shaded by a riparian canopy, possess clean cold water with high dissolved oxygen, and have stable channels with substrates of coarse sand, gravel, and cobble. Factors that limit the eastern pearlshell are changes to water quality, including eutrophication, acidification, sedimentation, and increases in water temperature.

Freshwater mussels are aquatic animals that play an important role in our environment. These sedentary organisms live in sediments on the bottom of streams and rivers and provide a service to all by filtering water and removing bacteria and phytoplankton. It is because they are filter-feeding animals that they are very susceptible to sediments and pollutants in the water in which they live. The greatest diversity of freshwater mussels in the world is found in Eastern North America. Freshwater mussels are one of the

most endangered groups of animals with almost three-quarters of the native mussels in North America imperiled. The disappearance of freshwater mussels is a reliable indicator of chronic water pollution. The following considerations will help protect and benefit these species.

- Adhere strictly to water quality standards at your project site.
- Pay special attention and address specific monitoring targets for sediment, water temperature, copper, and ammonia (TAN).
  - Use best management practices available to control stormwater runoff from this site both during construction and after construction: Qualified Environmental Inspector(s) shall be on-site daily during the duration of construction, weekly during stabilization, and within 24 hours of storm events with 0.5 inches of precipitation or more to inspect sedimentation and erosion controls to ensure that they continue to function as intended. Stock-piled soils should be situated at least 10 feet from the watercourse and within sedimentation and erosion control devices.
- Your application indicates that “some work is within the upland review areas.”
  - No vegetation should be converted to impervious surface or lawn within the 100ft buffer of waterways.
- Turf grass and impervious surface should be minimized on the properties.
- Reconnect waterways that are disconnected by perched, undersized, or shallow stream culverts.
- Ensure precautions are taken to avoid direct kill of freshwater mussels during any instream construction or modification.
  - Your project description indicates there will be no in-water disturbance. Please re-submit your application to NDDB if you will need to conduct in-water disturbance.
- Employ precautions to prevent the introduction and spread of invasive plants and bivalves.

Natural Diversity Database information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection’s Natural History Survey, cooperating units of DEEP, landowners, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the NDDB should not be substitutes for onsite surveys necessary for a thorough environmental impact assessment. The result of this review does not preclude the possibility that listed species may be encountered on site and that additional action may be necessary to remain in compliance with certain state permits. Please contact me if you have further questions at (860) 876-9393, or [William.moorhead@ct.gov](mailto:William.moorhead@ct.gov).

Thank you for consulting the Natural Diversity Data Base.

Sincerely,



Bill Moorhead  
Botanist/Plant Community Ecologist



79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

File WAA21008  
rec'd via email 5/27/21

May 27, 2021

Jason Lavallee  
83 Rich Rd  
North Grosvenordale, CT 06255  
JLavallee0193@charter.net

**NDDB DETERMINATION NUMBER:** 202104654

**Project:** Installation of utility trench for future single family residence at 597 E. Thompson Rd, Thompson, CT

**Expiration:** April 28, 2023

I have reviewed Natural Diversity Data Base (NDDB) maps and files regarding this project. According to our records, there are State-listed species (RCSA Sec. 26-306) dependent on the Five Mile River and documented nearby the proposed project area.

#### **Fivemile River Dependent Species**

- **Eastern pearlshell (*Margaritifera margaritifera*)- State Special Concern**

This freshwater mussel species lives buried in clean, stable, mixed substrate in fast-flowing unpolluted streams and rivers. Its host fish include Atlantic salmon (*Salmo salar*), brook trout (*Salvelinus fontinalis*), brown trout (*Salmo trutta*), rainbow trout (*Onchorhynchus mykiss*). Best habitats are good trout streams that are heavily shaded by a riparian canopy, possess clean cold water with high dissolved oxygen, and have stable channels with substrates of coarse sand, gravel, and cobble. Factors that limit the eastern pearlshell are changes to water quality, including eutrophication, acidification, sedimentation, and increases in water temperature.

Freshwater mussels are aquatic animals that play an important role in our environment. These sedentary organisms live in sediments on the bottom of streams and rivers and provide a service to all by filtering water and removing bacteria and phytoplankton. It is because they are filter-feeding animals that they are very susceptible to sediments and pollutants in the water in which they live. The greatest diversity of freshwater mussels in the world is found in Eastern North America. Freshwater mussels are one of the most endangered groups of animals with almost three-quarters of the native mussels in North America imperiled. The disappearance of freshwater mussels is a reliable indicator of chronic water pollution. The following considerations will help protect and benefit these species.

- Adhere strictly to water quality standards at your project site.
- Pay special attention and address specific monitoring targets for sediment, water temperature, copper, and ammonia (TAN).
  - Use best management practices available to control stormwater runoff from this site both during construction and after construction: Qualified Environmental Inspector(s) shall be on-site daily during the duration of construction, weekly during stabilization, and within 24 hours of storm events with 0.5 inches of precipitation or more to inspect sedimentation and erosion controls to ensure that they continue to function as intended. Stock-piled soils should be situated at least 10 feet from the watercourse and within sedimentation and erosion control devices.
- No vegetation should be removed from the 100ft buffer of waterways.
- Turf grass and impervious surface should be minimized in the surrounding watershed.

- Reconnect waterways that are disconnected by perched, undersized, or shallow stream culverts.
- Ensure precautions are taken to avoid direct kill of freshwater mussels during any instream construction or modification.
  - Your project description indicates there will be no in-water disturbance. Please re-submit your application to NDDDB if you will need to conduct in-water disturbance.
- Employ precautions to prevent the introduction and spread of invasive plants and bivalves.
- Take action to reduce non-point source pollution and educate the surrounding community about how to reduce non-point source pollution. More information can be found in our resources for Low Impact Development here:
  - [www.ct.gov/deep/cwp/view.asp?a=2719&q=464958&deepNav\\_GID=1654](http://www.ct.gov/deep/cwp/view.asp?a=2719&q=464958&deepNav_GID=1654)

This is determination is valid for two years.

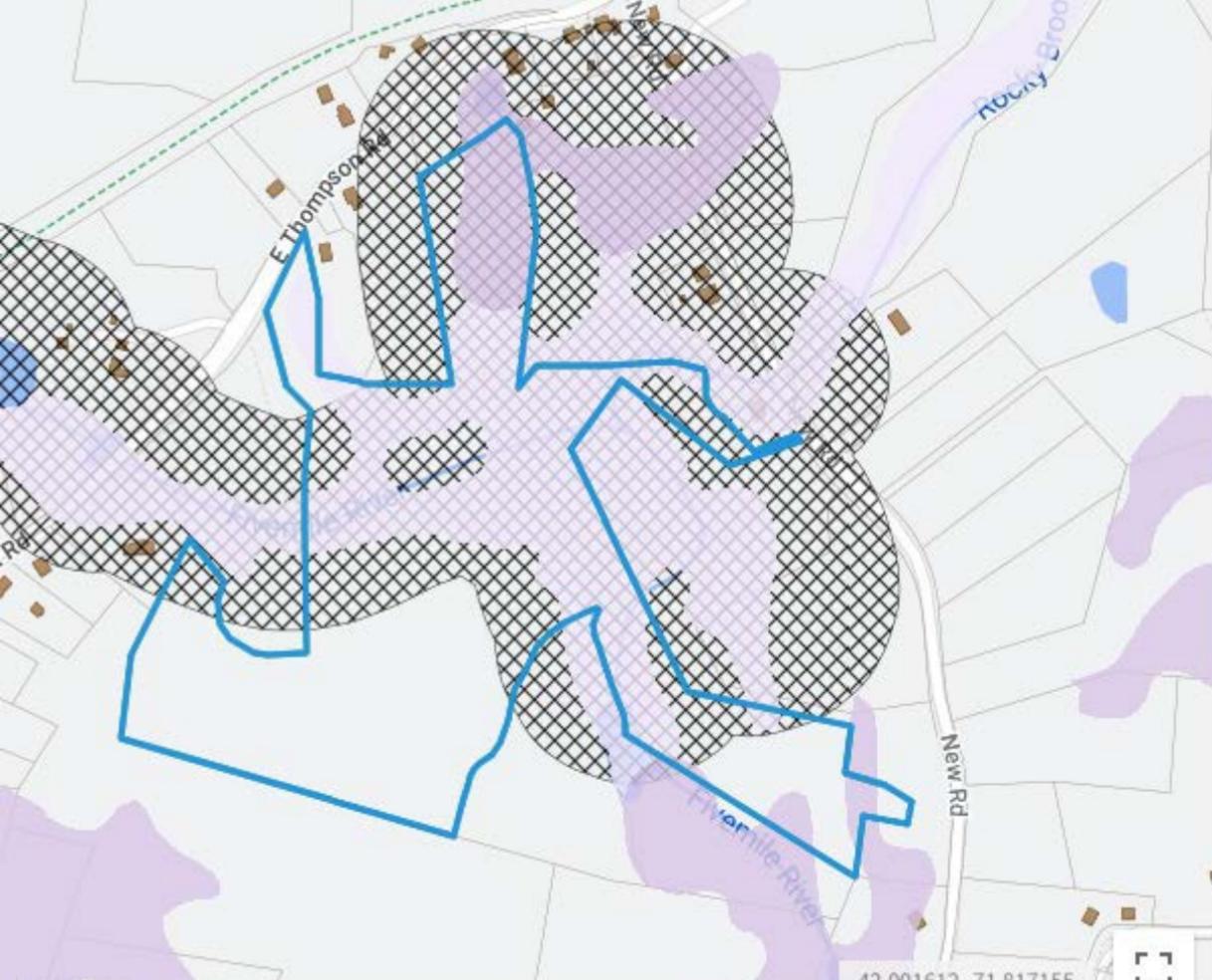
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Natural Diversity Database information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Bureau of Natural Resources and cooperating units of DEEP, independent conservation groups, and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the NDDDB should not be substituted for on-site surveys required for environmental assessments. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated in the NDDDB as it becomes available.

Please contact me if you have any questions ([shannon.kearney@ct.gov](mailto:shannon.kearney@ct.gov)). Thank you for consulting with the Natural Diversity Data Base and continuing to work with us to protect State-listed species.

Sincerely,

/s/ Shannon B. Kearney  
Wildlife Biologist



**PALUSTERINE NON-FORESTED**

-  BEACHSHORE, B
-  CIRCUMNEUTRAL SPRING FEN, CIRSF
-  FLOODPLAIN FOREST, FF
-  FRESHWATER AQUATIC, FA
-  MEDIUM FEN, MP
-  POOR FEN, PF
-  RICH FEN, RF
-  SEA LEVEL FEN, SLF

**TERRESTRIAL FORESTED**

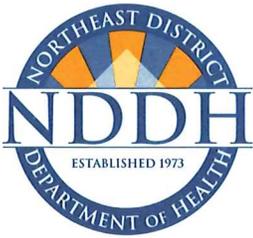
-  COASTAL WOODLAND/SHRUBLAND, CWS
-  DRY ACIDIC FOREST, DAF
-  DRY CIRCUMNEUTRAL FOREST, DCF
-  DRY SUBACIDIC FOREST, DSF
-  OLD GROWTH FOREST, OGF
-  SUBACIDIC COLD TALUS FOREST/ WOODLAND, SUBCTFW

**TERRESTRIAL NON-FORESTED**

-  ACIDIC ROCKY SUMMIT OUTCROP, ACRSO
-  ALLUVIAL GRASSLAND/OUTCROP, ALLG/O
-  CIRCUMNEUTRAL ROCKY SUMMIT OUTCROP, CIRRSO
-  COASTAL BLUFFS AND HEADLANDS, CBH
-  COASTAL GRASSLAND, CG
-  SAND BARREN, SB
-  SUBACIDIC ROCKY SUMMIT OUTCROP, SUBRSO

 NATURAL DIVERSITY AREA





# NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET · UNIT 4 · BROOKLYN, CT 06234  
PHONE (860) 774-7350 · FAX (860) 774-1308 · WEB SITE WWW.NDDH.ORG

October 23, 2023

John Camelio & Kemberly Bombard  
597 East Thompson Road  
Thompson, CT 06277

**SUBJECT: FILE #21000260 -- EAST THOMPSON ROAD #597, MAP #154, BLOCK #5, LOT #10,  
THOMPSON, CT**

Dear John Camelio & Kemberly Bombard:

Upon review of the subdivision plan J&D CIVIL ENGINEERS, JOB#22210, CAMELIO & BOMBARD, DRAWN SEPTEMBER 2023 submitted to this office on 09/18/2023 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lots:10C & 10D require that a Professional Engineer design and submit individual plot plan(s) for review and approval prior to construction.
2. Proposed lots are based on 3 bedroom homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
3. If the proposed septic area is moved, additional testing may be required

Be advised you must receive approval from the appropriate commissions in the Town of Thompson prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Maureen Marcoux, RS  
Senior Sanitarian ~ NDDH

cc: Town of Thompson; J&D Civil Engineers

## Agenda Item E) a) Old Applications

4. **WAA23028**, John Camelio, 597 East Thompson Road (map 154, block 5, lot 10C), New house within upland review area, received 10/4/23. Review pending.
  
5. **WAA23029**, John Camelio, 597 East Thompson Road (map 154, block 5, lot 10D), New house within upland review area, received 10/4/23. Review pending.

**J & D** CIVIL  
ENGINEERS, LLC

---

401 Ravenelle Road  
N. Grosvenordale, CT 06255  
www.jdcivilengineers.com  
(860) 923-2920

October 17, 2023

Inland Wetlands Commission  
Town of Thompson  
815 Riverside Drive  
North Grosvenordale, CT 06255

Re: Camelio agent approval applications – WAA 23028 and 23029

Job No.: 22210

Dear Commission members:

The owner understands that the conceptual subdivision approval SUB 23027 should be granted prior to any action on the agent approval applications for the construction of two-house sites within the subdivision. Therefore, the owner will grant a 60 day time extension for processing the applications if the staff and commission needs that time.

Very truly yours,

J & D Civil Engineers LLC



Janet J. Blanchette, PE

Cc: Jack Camelio

November 1, 2023

Inland Wetlands Commission  
Town of Thompson  
815 Riverside Drive  
North Grosvenordale, CT 06255

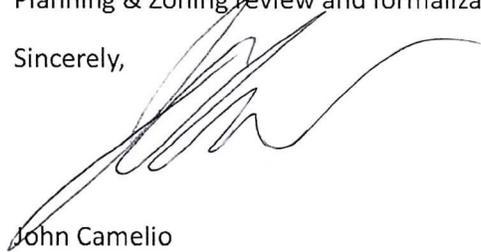
REGARDING: WAA 23028 and 23029

John Camelio  
597 East Thompson Road  
Map 154, Block 5, Lot 10 (proposed lots 10C, 10D)

Dear Commission Members,

John Camelio is granting a 65-day extension for the wetlands permit process to allow for IWC and Planning & Zoning review and formalization of the proposed subdivision.

Sincerely,

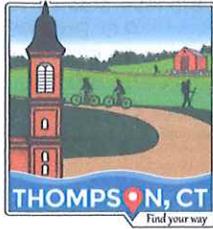
A handwritten signature in black ink, appearing to read 'John Camelio', written over a light blue horizontal line.

John Camelio

Cc: Dan Malo, Thompson Wetlands Agent

## Agenda Item E) a) Old Applications

6. **WAA23030**, Joseph & Diane Przybylek, 76 Jezierski Lane (map 116, block X, lot J-Z), Retaining wall & stairs within upland review area, received 10/3/23. Approved 10/20/23, legal notice published 11/3/23, end of appeal period 11/17/23. No action required.



**TOWN OF  
THOMPSON  
Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

**WETLAND AGENT APPROVAL WAA23030**

**APPROVAL GRANTED TO:**

Joseph & Diane Przybyłek  
76 Jezierski Lane  
Thompson, CT 06277

**DATE OF APPROVAL:** October 20th, 2023

**EXPIRATION DATE:** October 20th, 2028

**LOCATION OF AUTHORIZED ACTIVITY:** 76 Jezierski, Assessor's Map 116, Block X, Lot J/Z

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with Retaining wall and stairs within the Upland Review Area of Little Pond as shown in Wetlands Agent Approval Application WAA23030 stamped received by the Thompson Wetlands Office October 3, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: \_\_\_\_\_

Dan Malo

Dated: \_\_\_\_\_

10/20/23

file copy

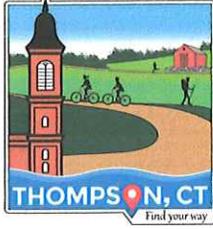
## Agenda Item E) a) Old Applications

7. **WAA23031**, Rich Audet/RTA Builders LLC, 33 Totem Pole Drive (map 141, block 17, lot 60), Teardown house & rebuild within upland review area, received 10/5/23. Approved 10/20/23, legal notice published 11/3/23, end of appeal period 11/17/23. No action required.



## Agenda Item E) b) New Applications

1. **WAA23032**, Mountford Construction LLC, 2 Buckley Hill Road, (map 59, block 61, lot 62), Construction and grading for (3) duplex dwellings within upland review area, received 10/23/23. Approved 11/8/23, legal notice scheduled 11/17/23, end of appeal period 12/1/23. No action required.



**TOWN OF  
THOMPSON  
Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org/>

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**WETLAND AGENT APPROVAL WAA23032**

**APPROVAL GRANTED TO:**  
Mountford Construction LLC  
510 East Thompson Road  
Thompson, CT 06277

**DATE OF APPROVAL:** October 27, 2023  
**EXPIRATION DATE:** October 27, 2028

**LOCATION OF AUTHORIZED ACTIVITY:** 2 Buckley Hill Road, Assessor's Map 59, Block 61  
, Lot 62

**DESCRIPTION OF AUTHORIZED ACTIVITY:** To conduct regulated activities associated with Construction and grading for 3 duplex dwellings in Upland Review Area as shown in Wetlands Agent Approval Application WAA23032 stamped received by the Thompson Wetlands Office October 23, 2023 and as shown in drawing(s) entitled "Erosion Control Plan" by August Civil Design LLC, dated September 15, 2023 dated received October 23, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

**APPROVAL CONDITIONS:**

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: \_\_\_\_\_

  
Dan Malo

Dated: 10/27/23

*file copy*

## Agenda Item E) b) New Applications

2. **WAA23033**, Jane Kuhar, 0 Arrowhead Drive, (map 141, block 17, lot 132), Construction of single-family home within upland review area, received 10/30/23. Under review.

## Dan Malo

---

**From:** Daniel Blanchette <daniel@jdcivilengineers.com>  
**Sent:** Friday, October 20, 2023 8:14 AM  
**To:** Dan Malo  
**Subject:** Two Agent Approval Applications

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Morning Dan,

I wanted to give you a head's up, I will dropping two applications in the mail later today for agent-approvals. The owners/clients are Jane Kuhar and Karen Quaiel. They each own two small lots off Arrowhead Drive, four lots in total. Since the lots are undersized, the zoning regulations required us to combine the lots. So although there are only two site plans, if you look on the mapgeo website it shows four lots.

My clients do not want to build themselves, they just want to be able to market the lots as fully permitted. Eventually whoever builds on these will need to transfer the permits, or maybe get a new permit if they change things around. You will notice my septic design is not final, it is a preliminary design to demonstrate the lots are buildable, like we would do for a subdivision. I expect health department approval in another week or two.

Since these lots are side by side, the plans for each lot are the same. Meaning, the plans I submit for Jane are identical to the ones I am submitting for Karen, both sets of plans show both lots.

There is no work within wetlands, although most of the work will be within the upland review area. Some of the work on Jane's property is within 5-10 feet of some wetlands. Please let me know if you have any questions. Thanks!

Daniel Blanchette, PE

J&D Civil Engineers, LLC  
401 Ravenelle Road  
N. Grosvenordale, CT 06255  
www.jdcivilengineers.com  
860-923-2920

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>23033</u>
DATE RECEIVED	<u>10/30/23</u>

Application  
for  
Wetland Agent Approval  
to conduct a regulated activity

**Town of Thompson**

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Received

OCT 30 2023

Thompson Wetlands Office

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property  
\*Pole Number \*Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

**Please complete the following application information.**  
**If you need assistance contact the Wetland Agent (office 860- 923-1852)**  
**Fax 860-923-9897**  
**[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)**

Date October 10, 2023

1) Name of Applicant Jane Kuhar  
Home Address 4102 Graceview Way, Durham NC, 2205-1683  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_  
Business Address \_\_\_\_\_

2) Applicant's interest in the Property:  Owner  Other  
**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) \_\_\_\_\_  
Home Address \_\_\_\_\_  
Business Address \_\_\_\_\_  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)  
Pole # and Location Eversource 1512  
Street or Road Location Arrow Head Drive  
Tax Assessor's Map # 141  
Block # 17  
Lot # that appears on site plan 132  
Deed Information : Volume # 996  
Page # 226

5) The property to be affected by the proposed activity contains:  
Soil Types Hinckley gravelly sandy loam, Carlisle muck  
Wetland Soils  (Swamp  Marsh  Bog  Vernal Pool   
Watercourses \_\_\_\_\_ (Lake or Pond  Stream or River  Intermittent Stream   
Floodplain - Yes  No

6) Description of the Activity for which Approval is requested Construction of a single family 3-bedroom house. Proposed construction withing 100' upland review area.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- 1-Locus map at approx. 1" = 1000'
- 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- 4-Soil types on the property. See soil report.
- 5-Flood Hazard area classification and delineation.
- 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- 7-Nature and volume of the material to be placed, removed, or transferred.
- 8-Topographical contours, proposed and existing.
- 9-Location and supporting data for proposed drainage.
- 10-Date, scale (recommend 1"=40') and North arrow.
- 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list.

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11) Estimated start date Spring 2024

Estimated date of completion (all disturbed areas are stabilized) Fall 2024

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

**ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.**

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Jane E. Kuhar 10/17/2023  
Signature of Applicant Date

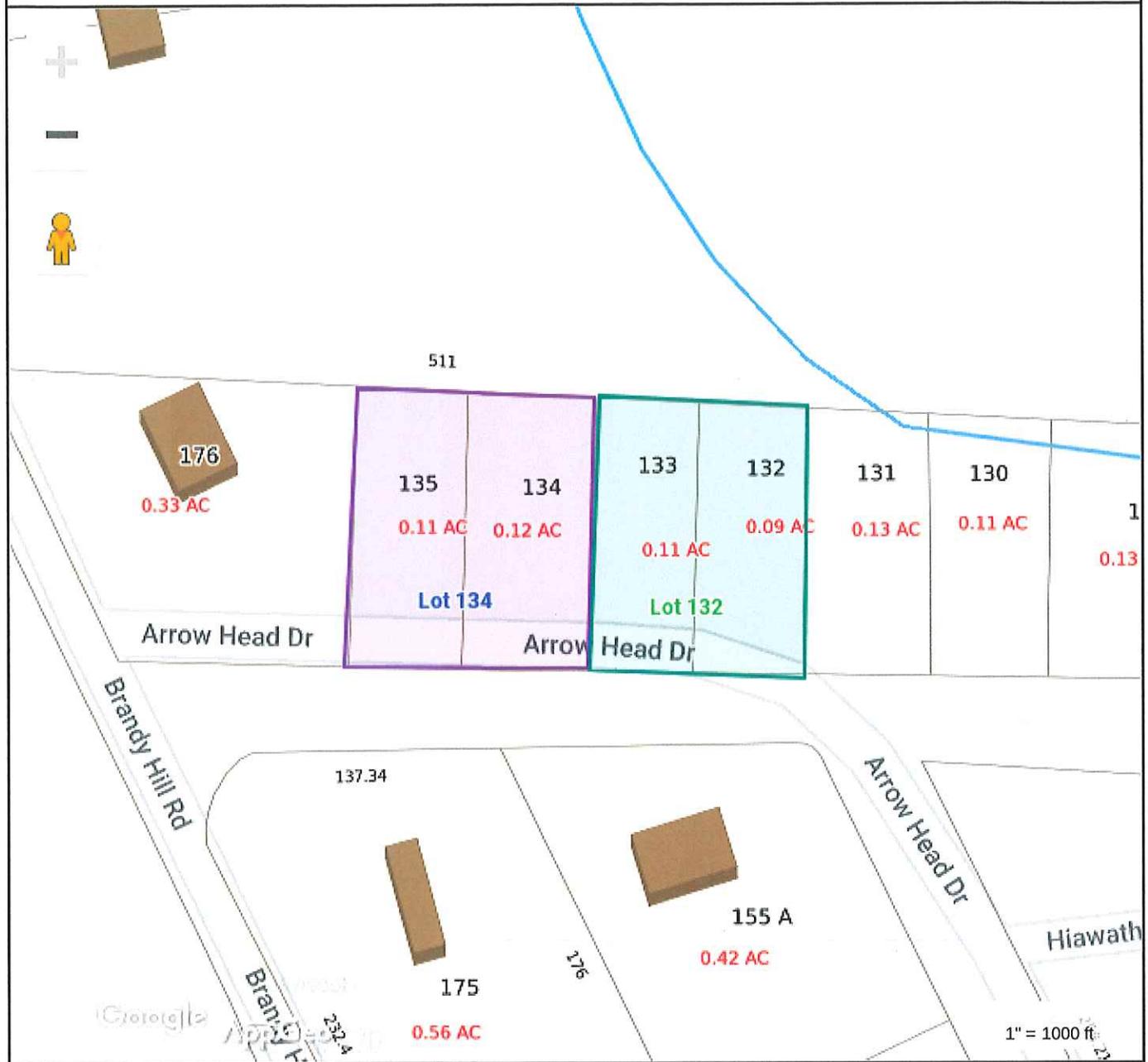
\_\_\_\_\_  
Consent of Landowner if other than applicant Date

**Please attach a written consent by the owner if applicant is not the property owner.**

## ABUTTERS OF LOT 132

Site Address	Owner Name	Owner Address	City	State	Zip	Country
0 ARROW HEAD DR	GLACE AVOIRS LLC	32 GREENE LN	THOMPSON	CT	06277	
0 ARROW HEAD DR	QUAIEL KAREN M	10TH FOURTH AVENUE	DUDLEY	MA	01571	USA
7 ARROW HEAD DR	CHOINIERE GAY KATHERINE	7 HIAWATHA DR	THOMPSON	CT	06277	USA
321 BRANDY HILL RD	LEVESQUE ALLAN E	321 BRANDY HILL RD	THOMPSON	CT	06277	
0 BRANDY HILL RD	LEVEILLE TIMOTHY S	301 BRANDY HILL ROAD	THOMPSON	CT	06277	

### Locus Map Proposed Lot 132 & 134



**Property Information**

Property ID 3807  
 Location 221 GAWRON RD  
 Owner GAWRON STEPHEN J JR



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
 Data updated Daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

# WASHBURN WETLAND CONSULTING LLC

19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022

Telephone (860) 428-8424 • washburnwetland@gmail.com

Daniel Blanchette  
J & D Civil Engineers  
401 Ravenelle Road  
North Grosvenordale, CT 06255

June 9, 2023

Dear Daniel,

Today, at your request, I conducted a site investigation on Lots 133, 134 and 135 on Arrow Head Drive in Thompson, CT. The owners of the properties are Karen Quaiel and Jane Kuhar. The purpose of the site investigation was to delineate the wetlands on the subject properties.

The subject properties are located on an area of nearly level to steeply sloping soils formed in glacial outwash. References used in the soil identification process included *Soil Survey of Windham County Connecticut* (USDA Soil Conservation Service, December 1981), the U.S.G.S. topographic map for the subject property, a Site Development Plan you provided, and GIS maps. The wetlands were delineated using consecutively numbered lengths of orange surveyors' ribbon. There is one series of wetland flags (WF), numbered WF1 – WF8. Please refer to the attached site sketch for further details. (Please note: WF6 reads "WF6 end". Please disregard the "end" and locate all eight flags.)

The wetlands in the area of the delineation consist of a wooded shrub swamp.

According to Map 9 of the *Soil Survey*, in the area of the wetlands delineation, the upland soils consist of Hinckley gravelly sandy loam, while the wetlands soils consist of Carlisle muck. The site investigation confirmed the mapping in the *Soil Survey*.

It has been a pleasure working for you on this site. Please feel free to call me if I may be of further assistance.

Sincerely,



Margaret Washburn, M.S.  
Registered Professional Soil Scientist

Received

OCT 30 2023

Thompson Wetlands Office

## Agenda Item E) b) New Applications

3. **WAA23034**, Karen Quaiel, 0 Arrowhead Drive, (map 141, block 17, lot 134), Construction of single-family home within upland review area, received 10/30/23. Under review.

## Dan Malo

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**From:** Daniel Blanchette <daniel@jdcivilengineers.com>  
**Sent:** Friday, October 20, 2023 8:14 AM  
**To:** Dan Malo  
**Subject:** Two Agent Approval Applications

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Morning Dan,

I wanted to give you a head's up, I will dropping two applications in the mail later today for agent-approvals. The owners/clients are Jane Kuhar and Karen Quaiel. They each own two small lots off Arrowhead Drive, four lots in total. Since the lots are undersized, the zoning regulations required us to combine the lots. So although there are only two site plans, if you look on the mapgeo website it shows four lots.

My clients do not want to build themselves, they just want to be able to market the lots as fully permitted. Eventually whoever builds on these will need to transfer the permits, or maybe get a new permit if they change things around. You will notice my septic design is not final, it is a preliminary design to demonstrate the lots are buildable, like we would do for a subdivision. I expect health department approval in another week or two.

Since these lots are side by side, the plans for each lot are the same. Meaning, the plans I submit for Jane are identical to the ones I am submitting for Karen, both sets of plans show both lots.

There is no work within wetlands, although most of the work will be within the upland review area. Some of the work on Jane's property is within 5-10 feet of some wetlands. Please let me know if you have any questions. Thanks!

Daniel Blanchette, PE

J&D Civil Engineers, LLC  
401 Ravenelle Road  
N. Grosvenordale, CT 06255  
www.jdcivilengineers.com  
860-923-2920

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>23034</u>
DATE RECEIVED	<u>10/30/23</u>

Application  
for  
Wetland Agent Approval  
to conduct a regulated activity

**Received**

OCT 30 2023

Thompson Wetlands Office

**Town of Thompson**

INLAND WETLANDS COMMISSION  
815 RIVERSIDE DRIVE  
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property  
\*Pole Number \*Location of property in reference to Pole

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NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

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FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot ..... \$50 + \$60  
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

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Please complete the following application information.  
If you need assistance contact the Wetland Agent (office 860- 923-1852)  
Fax 860-923-9897  
[www.thompsonct.org/wetlands](http://www.thompsonct.org/wetlands)

Date October 10, 2023

1) Name of Applicant Karen Quaiel  
Home Address 10th Fourth Avenue  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_  
Business Address \_\_\_\_\_

2) Applicant's interest in the Property:  Owner  Other  
**INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.**

3) Name of Property Owner (if not applicant) \_\_\_\_\_  
Home Address \_\_\_\_\_  
Business Address \_\_\_\_\_  
Home Tele & Hrs \_\_\_\_\_ Business Tele & Hrs \_\_\_\_\_

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CL&P 1511  
Street or Road Location Arrow Head Drive  
Tax Assessor's Map # 141  
Block # 17  
Lot # that appears on site plan 134  
Deed Information : Volume # 249  
Page # 1

5) The property to be affected by the proposed activity contains:  
Soil Types Hinckley gravelly sandy loam, Carlisle muck  
Wetland Soils  (Swamp  Marsh  Bog  Vernal Pool   
Watercourses \_\_\_\_\_ (Lake or Pond  Stream or River  Intermittent Stream   
Floodplain - Yes/No

6) Description of the Activity for which Approval is requested Construction of a single  
family 3-bedroom house. Proposed constructyion within 100' upland review area.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- 1-Locus map at approx. 1" = 1000'
- 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- 4-Soil types on the property. See soil report.
- 5-Flood Hazard area classification and delineation.
- 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).  
(b)Location of perc tests and soil test holes.  
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- 7-Nature and volume of the material to be placed, removed, or transferred.
- 8-Topographical contours, proposed and existing.
- 9-Location and supporting data for proposed drainage.
- 10-Date, scale (recommend 1"=40') and North arrow.
- 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

*The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.*

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes?     No     If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list.

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11) Estimated start date Spring 2024

Estimated date of completion (all disturbed areas are stabilized) Fall 2024

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

**ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.**

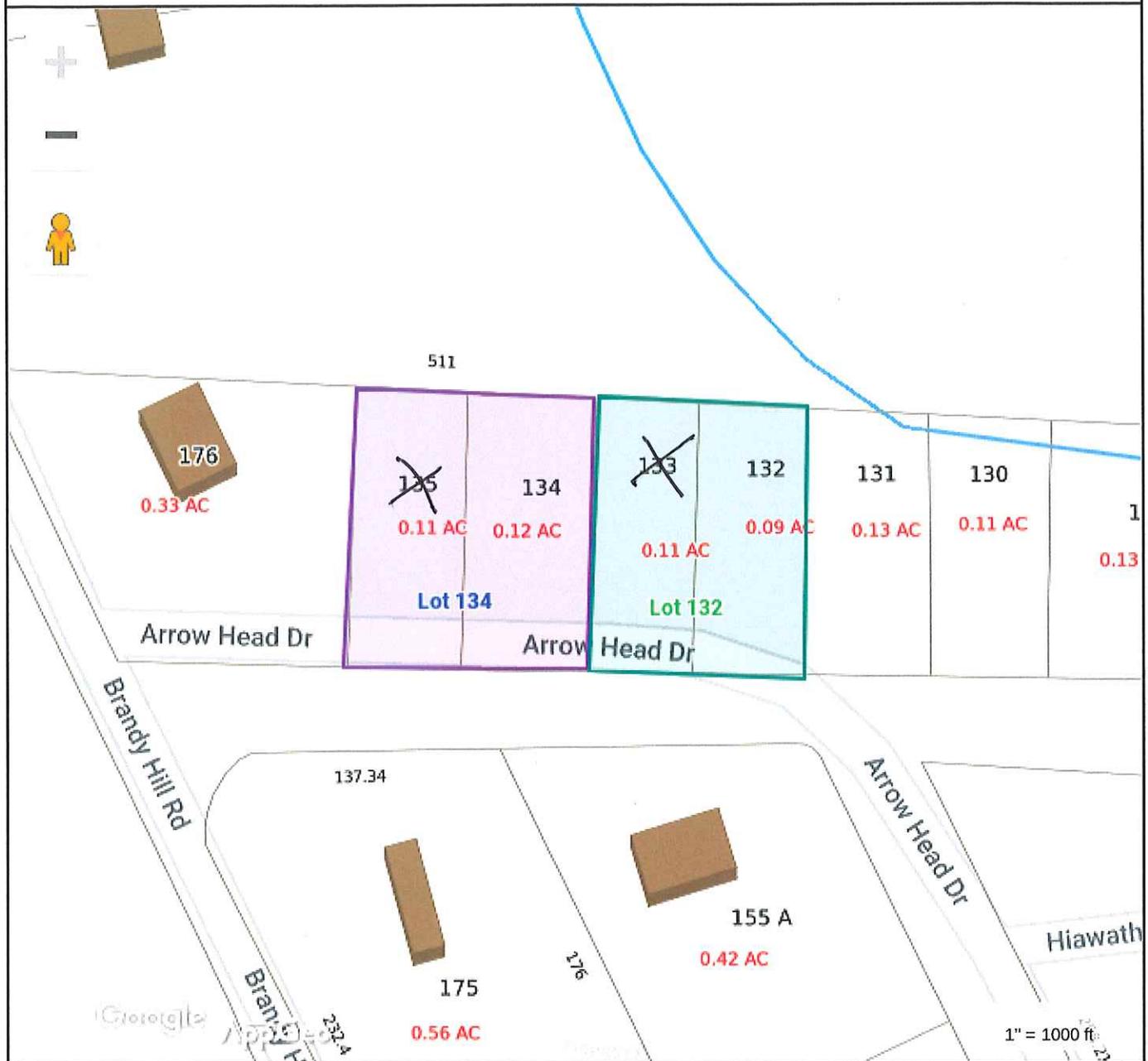
Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Karen Quail 10/12/23  
Signature of Applicant Date

\_\_\_\_\_  
Consent of Landowner if other than applicant Date

**Please attach a written consent by the owner if applicant is not the property owner.**

### Locus Map Proposed Lot 132 & 134



**Property Information**

Property ID 3807  
 Location 221 GAWRON RD  
 Owner GAWRON STEPHEN J JR



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022  
 Data updated Daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

## ABUTTERS OF LOT 132

Site Address	Owner Name	Owner Address	City	State	Zip	Country
0 ARROW HEAD DR	GLACE AVOIRS LLC	32 GREENE LN	THOMPSON	CT	06277	
0 ARROW HEAD DR	QUAIEL KAREN M	10TH FOURTH AVENUE	DUDLEY	MA	01571	USA
7 ARROW HEAD DR	CHOINIÈRE GAY KATHERINE	7 HIAWATHA DR	THOMPSON	CT	06277	USA
321 BRANDY HILL RD	LEVESQUE ALLAN E	321 BRANDY HILL RD	THOMPSON	CT	06277	
0 BRANDY HILL RD	LEVEILLE TIMOTHY S	301 BRANDY HILL ROAD	THOMPSON	CT	06277	

# WASHBURN WETLAND CONSULTING LLC

19 Wolf Den Road • Pomfret Center, Connecticut 06259-2022

Telephone (860) 428-8424 • washburnwetland@gmail.com

Daniel Blanchette  
J & D Civil Engineers  
401 Ravenelle Road  
North Grosvenordale, CT 06255

June 9, 2023

Dear Daniel,

Today, at your request, I conducted a site investigation on Lots 133, 134 and 135 on Arrow Head Drive in Thompson, CT. The owners of the properties are Karen Quaiel and Jane Kuhar. The purpose of the site investigation was to delineate the wetlands on the subject properties.

The subject properties are located on an area of nearly level to steeply sloping soils formed in glacial outwash. References used in the soil identification process included *Soil Survey of Windham County Connecticut* (USDA Soil Conservation Service, December 1981), the U.S.G.S. topographic map for the subject property, a Site Development Plan you provided, and GIS maps. The wetlands were delineated using consecutively numbered lengths of orange surveyors' ribbon. There is one series of wetland flags (WF), numbered WF1 – WF8. Please refer to the attached site sketch for further details. (Please note: WF6 reads "WF6 end". Please disregard the "end" and locate all eight flags.)

The wetlands in the area of the delineation consist of a wooded shrub swamp.

According to Map 9 of the *Soil Survey*, in the area of the wetlands delineation, the upland soils consist of Hinckley gravelly sandy loam, while the wetlands soils consist of Carlisle muck. The site investigation confirmed the mapping in the *Soil Survey*.

It has been a pleasure working for you on this site. Please feel free to call me if I may be of further assistance.

Sincerely,

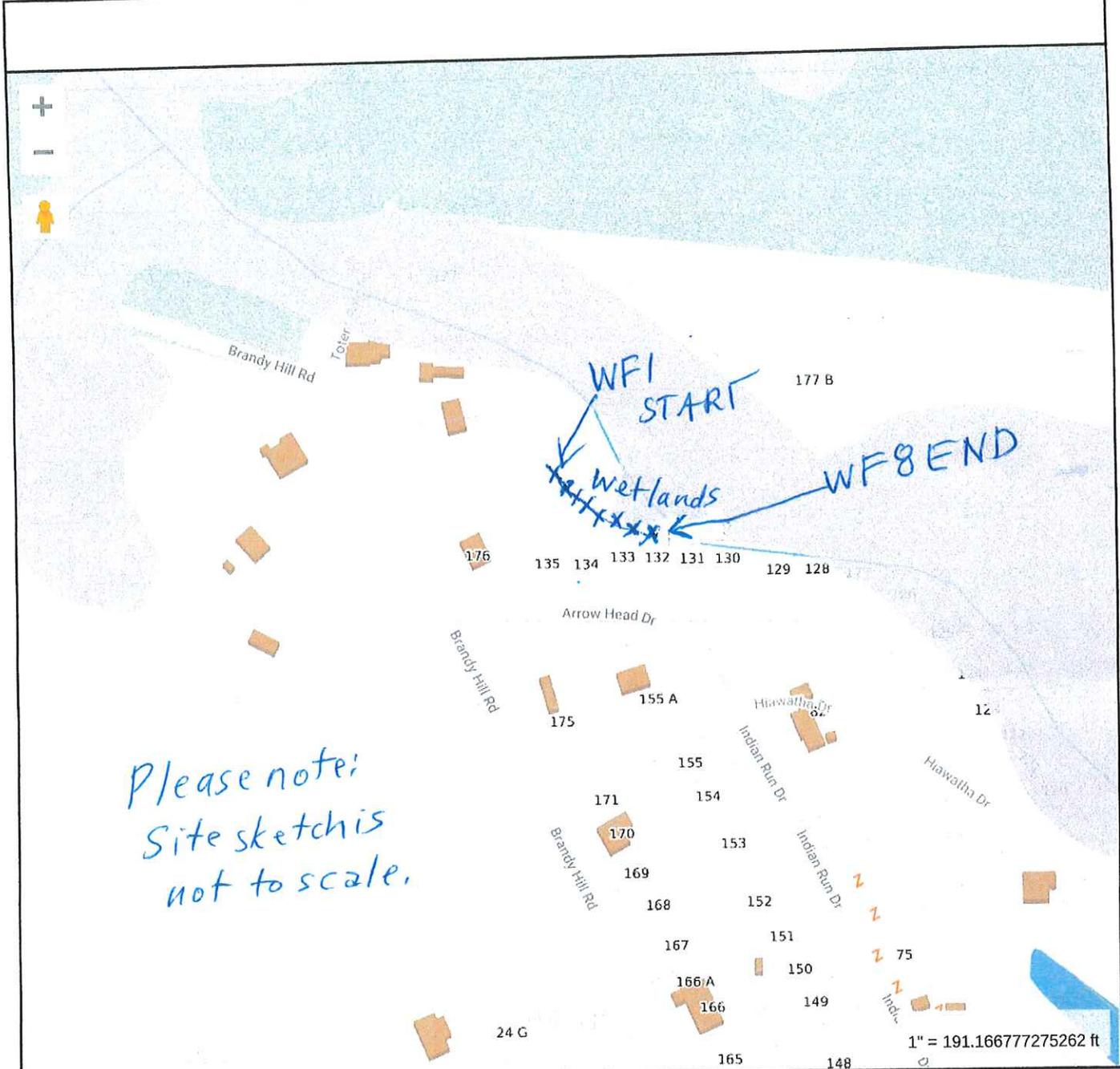


Margaret Washburn, M.S.  
Registered Professional Soil Scientist

Received

OCT 30 2023

Thompson Wetlands Office



**Property Information**  
 Property ID 4322  
 Location 28 INDIAN RUN DR  
 Owner LIBERTY LISA L



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.  
 Geometry updated December 1, 2022  
 Data updated December 1, 2022

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

**Received**  
**OCT 30 2023**  
 Thompson Wetlands Office

## Agenda Item E)

c) Applications received after Agenda was published:

None

Agenda Item F)  
Permit Extensions / Changes

None

## Agenda Item G)

### a) Violations & Pending Enforcement Actions

1. **VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on 2/9/21.

## Agenda Item G)

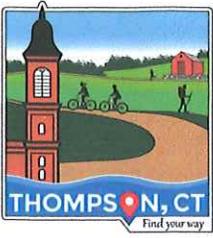
### a) Violations & Pending Enforcement Actions

2. **VIOL23013**, Wojiech, Sudyka, 1574 Riverside Drive, (map 55, block 65, lot 14), grading work exceeded scope of work authorized by Permit IWA 21028, issued 5/22/23.

## Agenda Item G)

### a) Violations & Pending Enforcement Actions

3. **VIO23035**, James Quaiel, 0 Hill Road aka 6 Hill Road, (map 109, block 34, lot 32), fill and earthmoving within upland review area without permit. Violation issued 11/1/23.



**TOWN OF  
THOMPSON**  
**Inland Wetlands Commission**

815 Riverside Drive  
P.O. Box 899  
North Grosvenordale, CT 06255  
Phone: 860-923-1852, Ext. 1  
Email: [wetlands@thompsonct.org](mailto:wetlands@thompsonct.org)  
Web: <https://www.thompsonct.org>

**NOTICE OF VIOLATION**

November 1<sup>st</sup>, 2023

James Quaiel  
95 Charlton Road  
Dudley, MA 01571

RE: **Violation VIOL23035**  
0 Hill Road, aka 6 Hill Road  
Assessor's Map 109, Block 34, Lot 32

Dear Mr. Quaiel,

On August 10, 2023, the Inland Wetlands Office received complaints of a flooded basement at an abutting property (8 Hill Road), presumed to result from a backup of flow from adjacent wetlands. On August 23, 2023, an inspection of the wetlands at 8 Hill Road was conducted with Wetlands Agent Marla Butts. Recently placed stone fill was observed in the accessway for 6 Hill Road which may be obstructing drainage from the wetlands. This placement of fill occurred within 100 feet of the wetlands delineated in 1999 (see excerpt, enclosed).

The Inland Wetlands Commission has jurisdiction over earthmoving and fill activities conducted within a 100-foot Upland Review Area of wetlands soils or watercourses (including intermittent). No permit was issued for activity in wetlands or the Upland Review Area, and consequently, the activity occurred in violation of the Thompson Inland Wetlands and Watercourses Regulations.

*You are requested to attend the next regularly scheduled meeting of the Inland Wetlands Commission to discuss these activities on your property.*

This meeting will be held on November 14th, 2023 at 7:00 p.m. online via ZOOM. A link will be published in an Agenda on the town website least 24 hours prior to the start of this meeting. Please be prepared to provide an explanation why the regulated activities occurred without a valid wetlands permit. Failure to comply with this notice may result in further enforcement measures.

I appreciate your cooperation in this matter.

Sincerely,

Dan Malo  
Wetlands Agent  
Town of Thompson

**SENT BY CERTIFIED MAIL**

cc: Thompson Building Office  
Thompson Zoning Enforcement Officer



**TEST PIT RESULTS**

OBSERVED BY: DONOVAN MOE  
DATE: JANUARY 17, 2023  
FILE # 23000134

**PIT NO. 1**

0" - 14" (TOPSOIL WITH ROOTS)  
14" - 30" (MOIST BROWN SANDY LOAM WITH COBBLES)  
30" - 51" (MEDIUM SAND + GRAVEL/PEBBLES)  
51" - 66" (WET GRAY FINE SANDY LOAM)  
66" - 82" (GROUNDWATER)

MOTTLING: N/A  
GROUND WATER: 66"  
LEDGE: N/A  
ROOTS: 16"  
RESTRICTIVE: 30"

**PIT NO. 2**

0" - 10" (TOPSOIL WITH ROOTS)  
10" - 24" (MOIST BROWN SANDY LOAM)  
24" - 72" (GRAY MOTTLED FINE SANDY LOAM, WET)  
72" - 77" (GROUNDWATER)

MOTTLING: 24"  
GROUND WATER: 72"  
SEEPAGE: 44"  
LEDGE: N/A  
ROOTS: 10"  
RESTRICTIVE: 24"

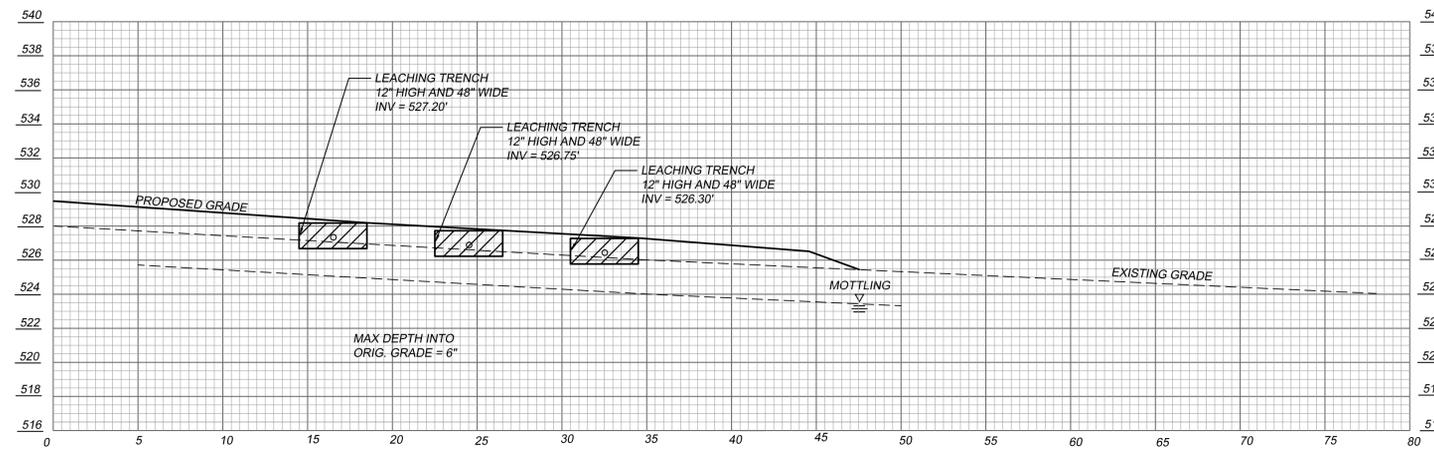
**PERC. TEST RESULTS**

OBSERVED BY: DONOVAN MOE  
DATE: JANUARY 17, 2023

**HOLE A - NEAR TP 1**

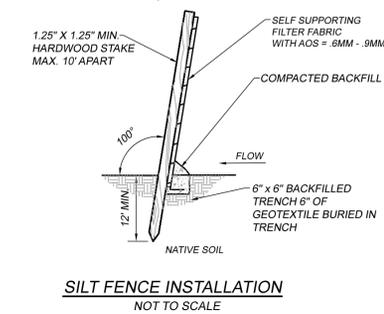
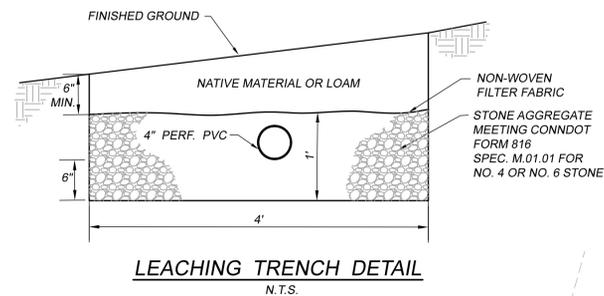
TIME	READING
10:26	4.00"
10:36	5.00"
10:46	6.00"
10:56	6.75"
10:56	7.25"
11:16	7.75"
11:26	8.50"

DEPTH: 18"  
RATE: 13.33 MIN/IN



**LEACHING FIELD CROSS SECTION A-A**

1" = 5'



**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN OCTOBER 2022, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN:

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/23 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2023 J&D CIVIL ENGINEERS, LLC

**SEPTIC SYSTEM DESIGN CRITERIA**

NUMBER OF BEDROOMS: 5

SEPTIC TANK: 1500 GALLON

PERC RATE: 13.3 MINS/INCH

MOTTLING: 24"; LEDGE: N/A; WATER: 66"; RESTRICTIVE: 24"; SLOPE: 5.1%

LEACHING AREA REQUIRED: 900 SQUARE FEET

LEACHING AREA PROVIDED: (3) 100' LONG TRENCHES AT 3 SF/LF = 900 SQUARE FEET

MLSS (PRIMARY) = 85" (HF=34, FF=2.0, PF=1.25)

LSS PROVIDED = 100"

**SPECIFICATIONS**

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION PIPE: 4" PVC PERFORATED, LAID LEVEL (MAX SLOPE 2" PER 100')

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS. BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

\* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

SELECT FILL MATERIAL SHALL EXTEND A MINIMUM OF 5' BEYOND THE LOWEST TRENCH BEFORE TAPERING OFF.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.

2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.

3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.

4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

**LEGEND**

	BUILDING SETBACK LINE
	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	STONEWALL
	UTILITIES
	TREELINE
	EROSION CONTROL DEVICES
	TEST PIT
	LEACHING TRENCH

**SITE DEVELOPMENT PLAN**

PREPARED FOR

**JAMES QUAIEL**

0 HILL ROAD - THOMPSON, CT

MAP 109 BLOCK 34 LOT 32

**J&D CIVIL ENGINEERS, LLC**  
401 RAVENELLE ROAD  
N. GROSVENORDALE, CT 06255  
860-923-2920

DESIGNED: **DDB**  
CHECKED: **DRB**

REVISIONS:  
2023-11-06 TRACE WETLANDS

JOB NO: **22241**

DATE: **MARCH 10, 2023**

SCALE: **1" = 30'**

SHEET: **1 OF 1**

## Agenda Item H) Other Business

Agenda Item I)  
Citizens Comments on Agenda Items

## Agenda Item J) Reports

- a) Budget & Expenditures
- b) Wetlands Agent Report

Agenda Item K) Correspondence

Agenda Item J) Signing of Mylars

Agenda Item M) Comments by Commissioners

Agenda Item N) Adjournment