

THOMPSON

INLAND WETLANDS COMMISSION

TUESDAY, October 17, 2023

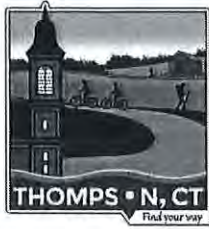
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C) a)

Action on Minutes of Previous Meeting

Minutes of September 12, 2023



**TOWN OF
THOMPSON**
Inland Wetlands Commission
815 Riverside Drive, P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

RECEIVED
TOWN OF THOMPSON, CT.

2023 SEP 14 P 5:39

Paul Seng
TOWN CLERK

MEETING MINUTES: Tuesday, September 12, 2023, 7:00PM

Via ZOOM Online Meeting Portal

- A) The meeting was called to order by Chairman George O'Neil who announced the protocols for conducting the online meeting.

Members and staff present: George O'Neil (Chairman), Charlie Obert (Vice Chairman), Diane Chapin (Treasurer) Fran Morano (Commissioner) at 7:09 PM, Marla Butts (Wetlands Agent), Amy St. Onge, Ex-Officio Member, Gloria Harvey (Recording Secretary), and Dan Malo (Conservation Agent)

Members of the public: Janet Blanchette of J&D Civil Engineering, David Held of Provost and Rivera, Valerie Clark, and others

- B) Appointment of Alternates

- C) Action on Minutes of Previous Meetings

- a) The Minutes of August 8, 2023 were unanimously accepted as presented.

- D) Citizens Comments on Agenda Items

- E) Applications

- a) Old Applications

1. **WAA23016**, Jason Jezierski, 61 Old Turnpike, (Assessor's map 3, block 82, lot 11), construct new single-family home with septic, driveway and underground utilities in 100-foot upland review area, stamped received 7/19/23, issued 8/16/23, legal notice published 9/1/23, appeal period ends 9/16/23. Marla and Dan Malo walked the site. This location was the only place where he could build. Wetlands Agent Approval issued. No action is required by the Commission.

- b) New Applications

1. **WAA23018**, Gary Rawson, 0 Logee Rd, (Assessor's map 141, block 17, lot 181R), construct new single-family home, stamped received 8/14/23. No action is required by the Commission. All construction activities are located outside of the 100-year flood plain. Waiting for NDDH approval. Under review and on hold.
2. **WAA23019**, Michael & Barbara Roach, 13 Center Street, (Assessor's map 116, block X, lot N-0), construct 12' x 14' detached garage in 100-foot upland review area for Little Pond, stamped received 8/14/23, issued 8/22/23, legal notice to be published 9/1/23, appeal period ends 9/16/23. Proposed driveway going in existing lot area and access doors will face the hardtop driveway. No additional erosion and sediment controls are asked for on this application. No action is required by the Commission. Wetland Agent Approval issued.

3. **WAA23020**, Maximillian Candidus, 0 Sand Dam Road, (Assessor's map 135, block 22, lot 17), new single-family home in upland review area, stamped received 8/20/23, under review. Locust map and site plan reviewed. Borders the Airline Trail. NEDH approval received for septic. Report from Margaret Washburn received. Wetlands have all been delineated. No work in wetlands proposed. Dan Malo has drafted a Wetlands Agent Approval which Marla is reviewing.
4. **WAA23021**, Matthew Saad, 33 Becola Road, (Assessor's map 116, block 24, lot 26), concrete block retaining wall and associated backfill in 100-foot upland review area, stamped received 9/1/23, legal notice to be published 9/8/23, end of appeal period 9/23/23. Applicant requested a concrete block retaining wall to prevent erosion. Additional conditions added requiring stabilizing the area before construction, and no earth moving work shall occur closer than 1-foot from the high-water line for Little Pond except for the installation of erosion and sediment control. No action is required by the Commission.
5. **WAA23022**, Town of Thompson, 255 Buckley Hill Road, (Assessor's map 83, block 49, lot 6), construct Town's new salt storage facility portions of which are located in 100-foot upland review area for Stoud Brook and associated wetlands, stamped received 9/6/23, under review. Marla reported the Town's existing salt storage facility has non-compliance issues regarding salt storage in the shed. Marla stated downstream from this site are several public water supply wells on Sunset Brook, and that it is critical the Town get control of salt migration on the property. Marla supports the Town getting approval for this application.

Janet Blanchette, J&D Civil Engineering, representing the Town of Thompson, stated the existing salt storage facility is very small and cannot contain the salt and sand the town needs for winter storms. The proposal is to knock down the old salt storage shed and build a significantly larger new facility where the salt and sand will be completely under cover and off the ground, making it environmentally friendly. The land is flat and there will be no site grading except for a gentle slope in front of the building. This will be a tall structure with runoff from the 4' to 50' high roof which will be connected to a gutter system. Roof runoff is clean and does not require sediment treatment. It will be piped to an infiltration basin parallel to the wetlands on land that is well drained. Vegetation in the area is very thick and will prevent erosion if the basin overflows.

In response to Commissioner Obert's question, Janet Blanchette replied that the construction would not be done before winter. Amy St Onge, First Selectmen, stated the Town hopes to send it out for bid in late Fall and early Winter for the Spring/Summer construction season. Also, to Marla's concern for the environment to remain stable or have some kind of slope stabilization because of the longness or steepness of the slope, Janet Blanchette stated the slope will have a complete erosion control blanket. Marla also stated a watercourse that originates from Buckley Hill Road and travels down and disappears before it gets to the town's property in warm weather but not in cold weather leaving the town's property wet. She suggested to the Public Works Director to consider creating a pond area or berm to block that flow and pipe it underground to Stoud Brook so there would be no hydration of soil and would keep the Public Works property dry. A Wetland Agents Approval will be issued.

c) Applications Received After Agenda was Published

1. **DEC23023**, Town of Thompson, Jezierski Lane, (Assessor's map 116, block X, no lot), installation of wing wall, road repair and cleaning of cross culvert, stamped received 9/11/23. This is a formal request for non-regulated use brought by the Public Works Department. Jezierski Lane is being eroded due to soil erosion causing the road pavement to break up. The Public Works Department is proposing to install a precast concrete block wing wall, backfilled with gravel and stone so that storm water runoff from the road is discharged over the stone and gravel. (continued)

Work will take one workday, after which the pavement will be repaired, and the cross culvert will be cleaned of sediment during low flow using measures that will cause minimal impact. Chairman O'Neil commented he believes this is a prudent action on the part of the Commission based on the information and documentation presented, and he approves advancing this process. Marla requested a ruling by the Commission. Commissioner Obert made a motion to approve. Commissioner Chapin seconded the motion. The motion was unanimously **APPROVED**.

2. **IWA23024**, Eastwood Thompson 49 LLC, 962 Riverside Drive, to construct a ballasted PV solar array on 4.98 acres of land, land disturbance will be required for all proposed construction, 1742 square feet of manmade wetlands will be filled for construction of PV solar array. The Commission received this plan this evening. David Held, professional engineer and land surveyor with Provost and Rivera, represents the applicant. The property is 54 acres in size and approximately 5 acres will be cleared. The applicant owns 962 Riverside Drive and intends to rehab the existing building on the site and use the solar array to provide power.

Impacted wetlands are man-made excavated depressions with limited function or value. Mr. Held stated they will be filled in for the construction of the PV array and the applicant is proposing to install perimeter E&S controls to contain this. No significant ground disturbance for installation of the array is proposed. Access road was also discussed. Commissioner Obert questioned filling in the 1742' of wetlands and David Held explained that a ballasted system will be installed which will be filled with soil or concrete and this weight anchors the solar panels in place. Marla requested additional details be added to the plan including the amount of land disturbance, erosion and sediment controls to be used, and detail on anchors. She suggested a site walk before the next IWC meeting.

F) Permit Extensions / Changes

G) Violations & Pending Enforcement Actions

- a) **Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021 – Marla reported that Mr. Baer stopped by the office and she reminded him that she submitted a memo to the Building Office asking them to withhold the issuance of a Certificate of Approval until the Wetlands Commission receives an as built drawing of the site acceptable to them. Problems with site include the septic system, which is not installed, and the retaining walls and house have not been finished. No activity has taken place for over a month. Commissioner Chapin expressed concern regarding buyer awareness of the existing problems with this property and the listing agent's awareness of these issues.
- b) **Notice of Permit Violation VIOL23013**, Wojciech Sudyka, 1574 Riverside Drive, (Assessor's map 55, block 65, lot 14), grading work exceeded scope of work authorized by Permit IWA 21028, issued 5/22/23. Marla reported she has not received any report from the Dudley Conservation Commission, however she did get a report from Daniel Blanchette that there was a complaint that the cross culvert on Route 12 was blocked and overtopped in a recent rain storm. She sent an email to Don Miller, DOT District 2 Drainage Engineer and informed him that the cross culvert that the Department of Transportation owns should be looked at and cleaned. No response has been received from the Department of Transportation. Marla reported on the storage of materials in the Upland Review Area and that the basin that was built is functioning. Dan Malo will follow up.

- c) **Permit WAA22033**, Spicer Gas, Inc. 299 (formerly 0) Reardon Road, (Assessor's map 65, block 101, lot 6), letter sent on failing erosion and sediment controls and need for stormwater basin construction schedule. Marla reported that work was not completed to plan. She contacted Daniel Blanchette, J&D Engineering, and asked him to instruct his client to make some adjustments at the site. She advised him of her concern regarding the construction of stormwater basin, and her intent to recommend to the Commission that they require an as built drawing within 30 days following the completion of the basin's construction to verify it was built according to design. Janet Blanchette, representing J&D Engineering, reported that Daniel Blanchette went out to the site today with the contractor and owner and sent a memo to the Commission and Marla which she read into the record. A copy of the memo can be obtained from the IWC office. Marla took the memo under advisement and will discuss a final course of action with Dan Malo.

H) Other Business

- a) Status of Thompson Flood Damage Prevention Ordinance

Approved at Special Town Meeting 8/30/23. The amendments have not been posted in the Code of Ordinance yet. Dan Malo will check with the Town Clerk when the revised new language will be posted.

- b) Status of Anticipated Staff Changes and vote to authorize Dan Malo as duly authorized Wetlands Agent in Marla absence. The status of her contract is still in negotiations.

Marla has not yet reached an agreement with the Selectman's Office regarding her termination as Thompson's Wetlands Agent and to work as consultant on IWC regulation revisions. She was advised that the administration is unwilling to include completing the pre-1990 records disposal work, but she has assured Dan Malo that she will help him on this even if it is on a voluntary basis. She advised the Commission they should appoint Dan to act in her absence given her upcoming annual vacation. Commissioner Obert made a motion to delegate to Dan Malo the authority to act as an Inland Wetlands agent for the Thompson Inland Wetlands Commission and perform actions in accordance with its regulations, including Sections 11 and 14 of those regulations. Commissioner Chapin seconded the motion. Dan Malo confirmed that he is willing to be an IWC agent. The motion was unanimously **APPROVED**.

- c) Recommendation on use of Roundup for Roadside Maintenance

Marla provided the Commissioners with the memo she sent to the Board of Selectmen regarding Roundup. She also spoke to the Public Works Director who said he hopes to have a list of sites next year where this product is used. A copy can be obtained from the IWC office. Commissioner Obert commented that any alternative will be costly or labor intensive. Commissioner Chapin thanked Marla for her efforts and research in this matter.

I) Citizen's Comments

Valerie Clark, Alm Road, thanked Marla for her work on the Roundup recommendations and stated that burning the weeds is a great idea as she is opposed to using Roundup. She also said she is going to miss Marla and is very happy that Dan Malo is aboard. She thanked them both.

J) Reports

- a) Budget & Expenditures

Commissioner Chapin reported available budget from July 1, 2023 to August 31, 2023 is \$24,282.13 and the IWC has expended 13.2% of its budget.

b) Wetlands Agent Report

A copy of the Wetlands Agent Report can be obtained in the IWC office.

K) Correspondence - None

L) Signing of Mylars - None

M) Comments by Commissioners

Marla commented about how good it was to work with all the Commissioners and how she can tell they all care about their town. She said her contract gives her the ability to provide the Commission with a revised updated draft of their regulations by January 2, 2024, which will give her the authority to come into the town hall to do that and make her available to answer any questions Dan and the Commissioners may have.

Commissioner Morano thanked Marla for the work she was able to do in the time she was with the town.

Commissioner Chapin expressed her thanks for the confidence she has in Marla for her leadership and advice she provided in steering her and the town in the right direction.

Commissioner O'Neil thanked Marla for all her hard work in the 12 years she worked for the town and her guidance and technical advice in helping the Commission in making informed decisions. He also thanked her for her excellent executive skills.

N) Adjournment

Commissioner Chapin made a motion to adjourn the meeting. The motion was seconded by Commissioner Obert. The motion was unanimously **APPROVED**. The meeting was adjourned at 8:30 PM.

To see/hear the entire meeting via ZOOM, copy and paste the following link into your search bar:

https://us02web.zoom.us/rec/share/J94xPeaE56Qjft35rFtLofJlykeetPmiyv0-oCMTL_UJmJ6kl1v8u9E-fYUmvGbm.acCX-JUxB6Pfx0

Passcode: gWfyV^L6

Disclaimer: These minutes have not yet been approved by the Inland Wetlands Commission. Please refer to the next meeting's minutes for approval of, and/or amendments to these minutes.

Respectfully submitted, Gloria Harvey, Recording Secretary,

Gloria Harvey

Agenda Item D)

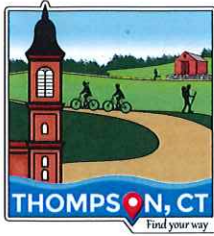
Citizens Comments on Agenda Items

Agenda Item E) a) Old Applications

1. **WAA23018**, Gary Rawson, 0 Logee Road, (Assessor's map 141, block 17, lot 181R), construct new single-family home, stamped received 8/14/23. Under review.

Agenda Item E) a) Old Applications

2. **WAA23020**, Maximilian Candidus, 0 Sand Dam Road, (Assessor's map 135, block 22, lot 17), New house within 100-foot upland review area, stamped received 8/30/23, approved 9/13/23, legal notice published 9/22/23, end of appeal period 10/6/23.



**TOWN OF
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Inland Wetlands Commission

815 Riverside Drive
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Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA23020

APPROVAL GRANTED TO:

Maximilian Candidus
18 Hilltop Place
New London, NH 03257

DATE OF APPROVAL: September 13, 2023

EXPIRATION DATE: September 13, 2028

LOCATION OF AUTHORIZED ACTIVITY: Sand Dam Road, Assessor's Map 135, Block 22, Lot 17

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with construction of new house within the 100 foot upland review area as shown in Wetlands Agent Approval Application WAA23020 stamped received by the Thompson Wetlands Office August 30, 2023 and as shown in drawing(s) entitled "Site Development Plan, prepared for Max Candidus, Sand Dam Road - Thompson, CT map 135 block 22 lot 17" prepared by J&D Civil Engineers, LLC dated 06/13/23, revised 8/17/23 stamped received August 30, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

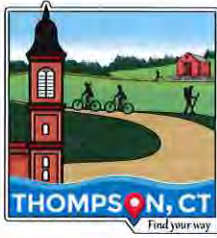
APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: Marla Butts

Marla Butts

Dated: Sept 13, 2023



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Inland Wetlands Commission

815 Riverside Drive
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North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

YOU HAVE A WETLAND AGENT APPROVAL: Approval # WAA23020

You are expected to comply with the following:

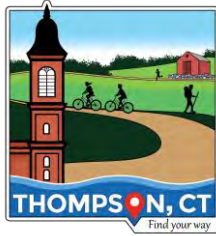
1. State law requires that a notice of the Commission's decision be published at the applicant's expense in a newspaper having a general circulation in the Town of Thompson. Such notice must be published within fifteen (15) days of the decision. The Wetland Agent will forward the necessary legal notice to the newspaper. This fee is included in the application fee, and will not be collected after the approval process.
2. YOU MUST NOTIFY THE COMMISSION ONE WEEK PRIOR TO THE START OF YOUR SITE WORK. A notification card is enclosed for your convenience.
3. You may initiate your activity within five (5) years of the date the permit was issued. Your activity must be completed within 2 years of the start date. If the activities will not be completed and the site stabilized by that time, you will need to request an extension of the expected completion date.
4. Erosion and sediment controls (such as haybales or silt fence) **MUST** be in place as they appear on your approved site plan **PRIOR** to any site work which involves earth disturbance. Additionally, you must maintain all erosion controls during your construction activities until your site is stabilized.
5. You must adhere to all of the specific conditions of your approval.
6. If you have any revisions to your site plan, you must have those revisions approved by the Commission before you can implement them on your site.
7. You must limit your site disturbance. Any disturbance outside of that which is prescribed on your approved site plan may have negative impacts on wetland areas.
8. You must notify the Commission one week prior to your completion date. A notification card is enclosed for your convenience.
9. Note: If the work associated with this permit involves the disturbance of one or more acres of land, either individually or collectively as part of a larger common plan, then you are advised to contact the Connecticut Department of Energy and Environmental Protection on your need to obtain coverage under DEEP's General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities. For more information go to <http://www.ct.gov/deep/site/default.asp> and search for "construction stormwater GP" or call 860-424-3025.

If you have any questions or need assistance regarding your approved activities, please contact the Wetland Agent at 860-923-1852. We thank you for your cooperation.

(over for Approval)

Agenda Item E) a) Old Applications

3. **WAA23022**, Town of Thompson, 255 Buckley Hill Road, (Assessor's map 83, block 49, lot 6), Salt storage facility within 100-foot upland review area for Stoud Brook and associated wetlands, stamped received 9/6/23, approved 10/10/23, legal notice to be published 10/20/23, end of appeal period 11/4/23.



**TOWN OF
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WETLAND AGENT APPROVAL WAA23022

APPROVAL GRANTED TO:

Town of Thompson
PO Box 899
North Grosvenordale, CT 06255

DATE OF APPROVAL: October 10, 2023

EXPIRATION DATE: October 10, 2028

LOCATION OF AUTHORIZED ACTIVITY: 255 Buckley Hill Road, Assessor's Map 83, Block 49, Lot 6

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with Construction of salt storage facility w/in Upland Review Area as shown in Wetlands Agent Approval Application WAA23022 stamped received by the Thompson Wetlands Office September 6, 2023 and as shown in drawing(s) Town of Thompson - Salt Storage Facility - 255 Buckley Hill Road prepared by J&D Civil Engineers, LLC, dated September 5, 2023 dated received September 6, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent, Dan Malo:

Dated: 10/10/2023

Agenda Item E) a) Old Applications

4. **IWA23024**, Eastwood Thompson 49 LLC, 0 Riverside Drive, (Assessor's map 61, block 88, lot 16), construction of ballasted PV solar array, stamped received 9/11/23.

Original

for commission use:	rev 1/11
application # <u>JWA23024</u>	
date received _____	

PERMIT APPLICATION
TO CONDUCT A REGULATED ACTIVITY

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee.....Applicants will be billed for professional review as needed,
see regulations booklet Section 18.5

For: **Conceptual Approval of Subdivisions use "Subdivision Review Application"**

Please complete the following application information.

Received

SEP 11 2023

Thompson Wetlands Office

Date 9/11/2023

1) Name of Applicant Eastwood Thompson 49 LLC

Home Address 35 Oakland Street, Manchester, CT 06042

Home Tele & Hrs _____ Business Tele & Hrs 230-257-5661 (daytime hours)

Business Address 35 Oakland Street, Manchester, CT 06042

2) Applicant's interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location SBC 3515, along 962 Riverside Drive frontage

Street or Road Location NW of 962 Riverside Drive

Tax Assessor's Map # 61

Block # 88

Lot # that appears on site plan 16

Deed Info : Volume # 1017

Page # 189

5) The property to be affected by the proposed activity contains:

Soil Types _____

Wetland Soils ☒ (Swamp ☒ Marsh ☒ Bog _____ Vernal Pool _____)

Watercourses ☒ (Lake or Pond _____ Stream or River ☒ Intermittent Stream _____)

Floodplain - Yes / No Yes (no floodplain in vicinity of proposed activities)

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity Construction of a ballasted PV solar array.

4.98 acres of land disturbance will be required for all proposed construction. 1,742 SF of man made

wetland will be filled for construction of the PV solar array.

If the above activity involves deposition or removal of material, what is the quantity? 100 CY +/-

b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation with base flood elevations.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☒ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) Installation of perimeter E&S controls. Directly impacted wetlands are man made excavated depressions with limited function/value.

d. Have any alternatives been considered? No

If yes, explain why this proposal was chosen _____

7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? No

If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? No If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

see attached list

11) Estimated start date fall 2023

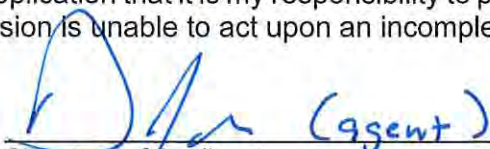
Estimated date of completion (all disturbed areas are stabilized) spring 2024

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested. I understand that the commission is unable to act upon an incomplete application.


Signature of Applicant

9/11/23
Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

Eastwood Thompson 49 LLC

18 Wells Hill Rd

Easton CT 06612

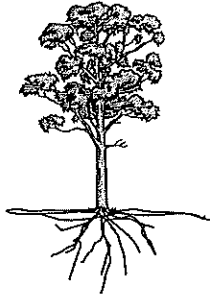
To Whom it May Concern,

As managing manager of Eastwood Thompson 49 LLC and 962 Riverside Drive, LLC, this letter shall serve as permission for Provost & Rovero, Inc. to act as my agent and sign applications on my behalf for submissions to the Thompson Inland Wetlands and Watercourses Commission and the Thompson Planning and Zoning Commission for properties owned by these two entities. If there are any questions related to this, I can be contacted at mlicamele@rfnc.com or 203-257-5661.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Licamele", with a stylized, overlapping flourish at the end.

Michael Licamele



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-376-6842 ~ Fax 860-376-6821

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments
Wetland Delineations and Permitting ~ E&S/Site Monitoring
Wetland function and value assessments

5/5/15

Provost & Rovero
57 East Main St.
P.O. Box 191
Plainfield, CT. 06374

Attn: Mr. David Held

Re: 962 Riverside Drive wetland delineation

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourses on the above referenced property located at 962 Riverside Drive in Thompson, CT.

These wetlands and watercourses have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Section 22A-38.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and the poorly drained (wetland) soils and/or watercourses.

Flag numbers WF-1 thru WF-34 and WF -1B thru WF-72B delineate the high water mark of the stream, pond and palustrine forested wetlands in the south western portion of the property. Flag numbers WF-1A thru WF-3A delineate wetland soils formed in an excavated hole adjacent to the stream.

Flag numbers WF-1C thru WF-33C and WF-1D thru WF-7D delineate a palustrine forested wetland and intermittent watercourse found along the western and northern property boundaries.

Flag numbers WF-1E thru WF-12E delineate a palustrine forested wetland on the northern property boundary.

Flag numbers WF-1F thru WF-4F, WF-1G thru WF-6G, WF-1H thru WF-8H and WF-1I thru WF-6I delineate wetland soils in excavated depressions found adjacent to an old dump area which was historically disturbed.

Flag numbers WF-1J thru WF-32J delineate a palustrine forested wetland adjacent to another previously disturbed dump area in the central portion of the property.

Flag numbers WF-1K thru WF-18K delineate a forested wetland and wetland soils which have formed in an excavated drainage trench adjacent to a gravel access road off of Riverside Drive on the northeast portion of the property

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,



Joseph R. Theroux
Certified Soil Scientist
Member SSSSNE, NSCSS.

**Statewide Inland Wetlands & Watercourses Activity Reporting Form**

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street - 3rd Floor, Hartford, CT 06106

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

- DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
- ACTION TAKEN (enter one code letter): _____
- WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (type name): Thompson
Does this project cross municipal boundaries (check one)? Yes _____ No x
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
- LOCATION (see directions for website information): USGS Quad Map Name: Purnam or Quad Number: 28
Subregional Drainage Basin Number: 3300
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Eastwood Thompson 49 LLC
- NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): Riverside Drive & Floral Avenue
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent x
Description: construction of PV solar array
- ACTIVITY PURPOSE CODE (enter one code letter): D
- ACTIVITY TYPE CODE(S) (enter up to four code numbers): 1, 2, 12, 14
- WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 0.04 acres Open Water Body: _____ acres Stream: _____ linear feet
- UPLAND AREA ALTERED (type in acres as indicated): 4.94 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

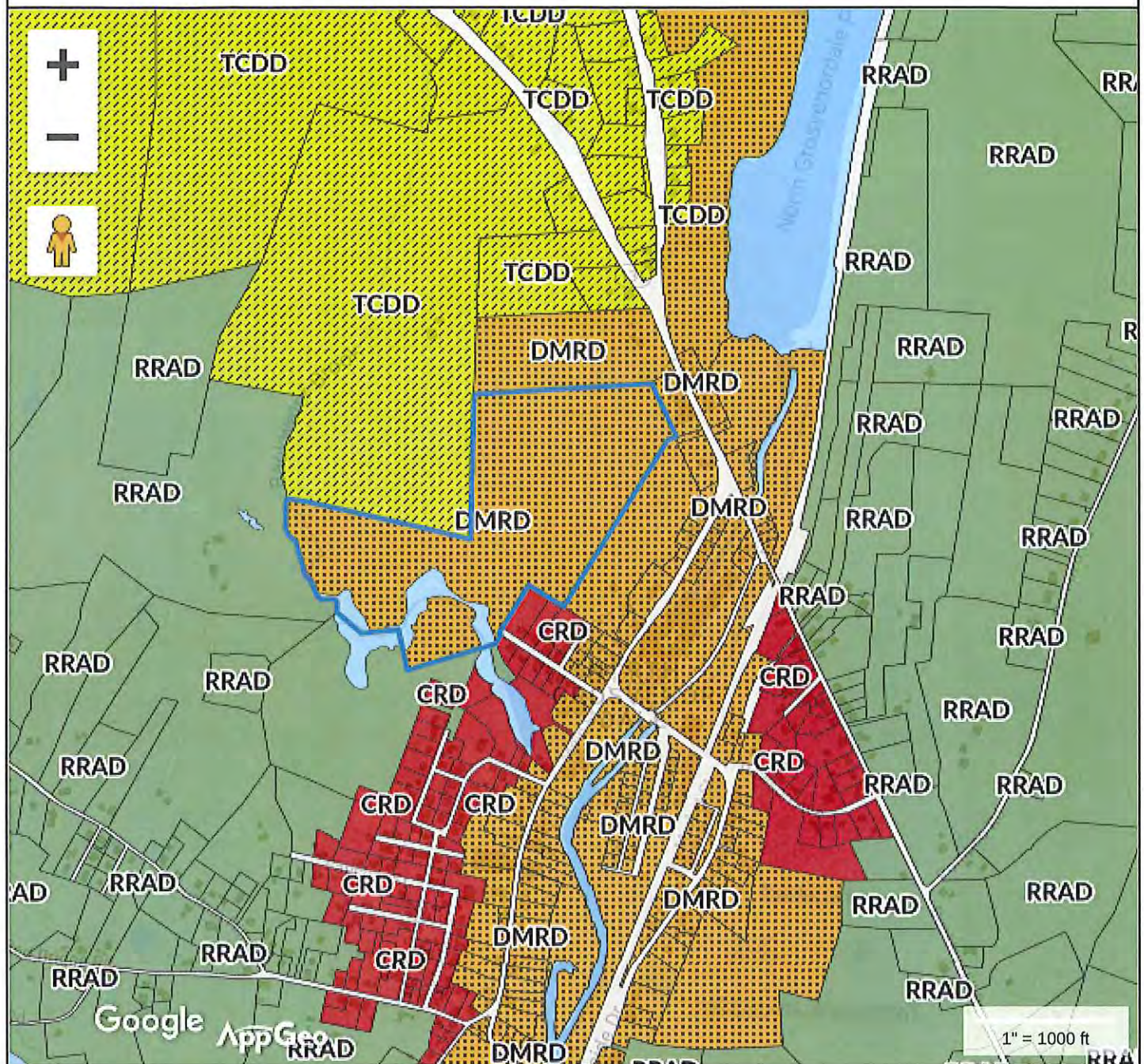
PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

Eastwood Thompson 49 LLC - Proposed Solar Array



Property Information

Property ID 1374
Location 0 RIVERSIDE DR
Owner EASTWOOD THOMPSON 49 LLC

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated December 1, 2022
Data updated Daily

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

CHRZANOWSKI RONALD P EST OF
49 MOUNTAIN HILL RD
N GROSVENORDALE, CT 06255

KAPITULIK MELISSA
48 QUINEBAUG RD
N GROSVENORDALE, CT 06255

929 RIVERSIDE DR LLC
P O BOX 925
N GROSVENORDALE, CT 06255-0925

BEMAKAJA FAMILY TRUST
18 LANES END
SUTTON, MA 01590

1020 RIVERSIDE DRIVE LLC
369 LOWELL DAVIS RD
N GROSVENORDALE, CT 06255

BROSIOUS DAVID T
976 RIVERSIDE DR
N GROSVENORDALE, CT 06255

MOSKOWITZ STEVEN M
P O BOX 273
N GROSVENORDALE, CT 06255

DEJESUS DANIEL J
PO BOX 381
N GROSVENORDALE, CT 06255

GORCZYNSKI NICHOLAS M
22 FLORAL AVE
N GROSVENORDALE, CT 06255 USA

LANGELIER JOHN J
PO BOX 306
N GROSVENORDALE, CT 06255 USA

WARD ANDREW P
P O BOX 494
FABYAN, CT 06255

ANDRYC TRACY A
P O BOX 852
N GROSVENORDALE, CT 06255-0852

PROPOSED P.V. SOLAR ARRAY

RIVERSIDE DRIVE (ROUTE 12), FLORAL AVENUE & SWEDE VILLAGE ROAD
THOMPSON, CONNECTICUT

PROPERTY OWNERS:

962 RIVERSIDE THOMPSON, LLC
18 WELLS HILL ROAD
EASTON, CT 06612

EASTWOOD THOMPSON 49 LLC
35 OAKLAND STREET
MANCHESTER, CT 06042

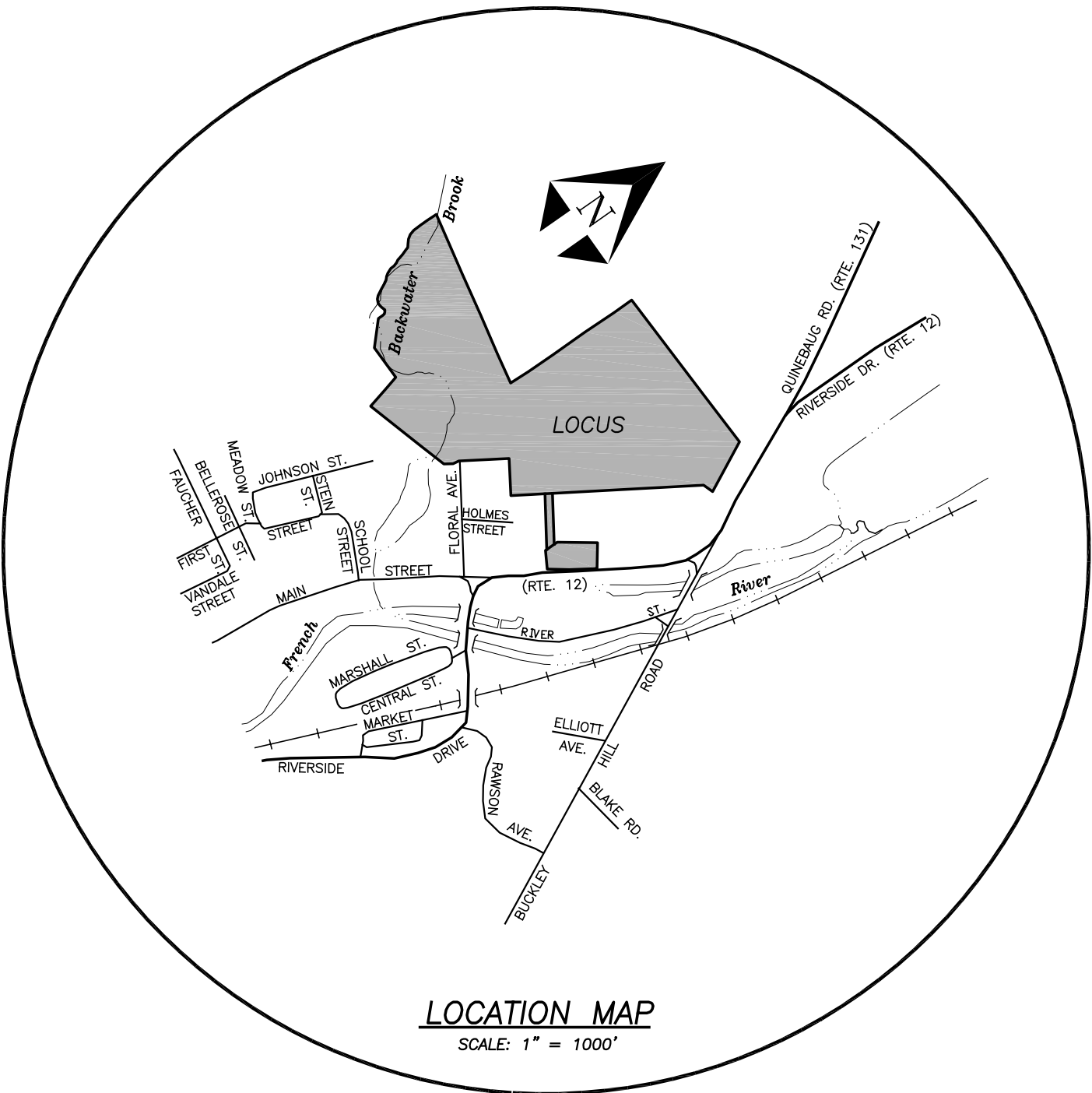
APPLICANT:

EASTWOOD THOMPSON 49 LLC
35 OAKLAND STREET
MANCHESTER, CT 06042

ZONING REQUIREMENTS – DOWNTOWN MILL REHABILITATION ZONE		
	Required	Provided
Lot Area	4,500 SF	2,363,998 SF
Frontage	50'	42.88'*
Front Setback	10'	618'
Rear & Side Setback	10'	187'
Building Height	3 stories	8'
Impervious Coverage	75%	2.1%**
* Existing non-conforming frontage.		
**Based on surface area of solar panels, not actual impervious ground coverage.		

LEGEND

	EXISTING TREE
	EXISTING BUSH
	HYDRANT
	EXISTING SIGN
	WATER GATE
	MANHOLE
	UTILITY POLE
	WETLAND FLAG
	STONE WALL
	EXISTING PHONE/DATA LINE
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING TREE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED CHAIN LINK FENCE
	PROPOSED SILT FENCE/HAYBALES
	PROPOSED CONTOUR
	PROPOSED LIMIT OF CLEARING/DISTURBANCE
	BUILDING SETBACK LINE



PREPARED BY:

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION
9/12/2023	ARRAY LAYOUT & RACKING

SEPTEMBER 7, 2023

INDEX TO DRAWINGS

TITLE	SHEET No.
COVER SHEET	1 OF 7
PROPERTY SURVEY	2 OF 7
OVERALL SITE PLAN	3 OF 7
SITE PLAN No. 1	4 OF 7
SITE PLAN No. 2	5 OF 7
SITE PLAN No. 3	6 OF 7
DETAIL SHEET No. 1	7 OF 7

STATEMENT OF USE

The proposed project consists of the construction of a P.V. solar array to generate electrical power sufficient to serve the redeveloped structure at 962 Riverside Drive and sell excess renewable power to the electrical grid. Redevelopment and adaptive reuse of the structure was previously approved by the Town of Thompson. A special permit will be required for installation of the P.V. array. The projection of the modules at ground level encompasses approximately 41,000 square feet so the project is considered a Large Scale Ground Mounted Installation per Article 5A, Section 5.D of the Thompson Zoning Regulations.

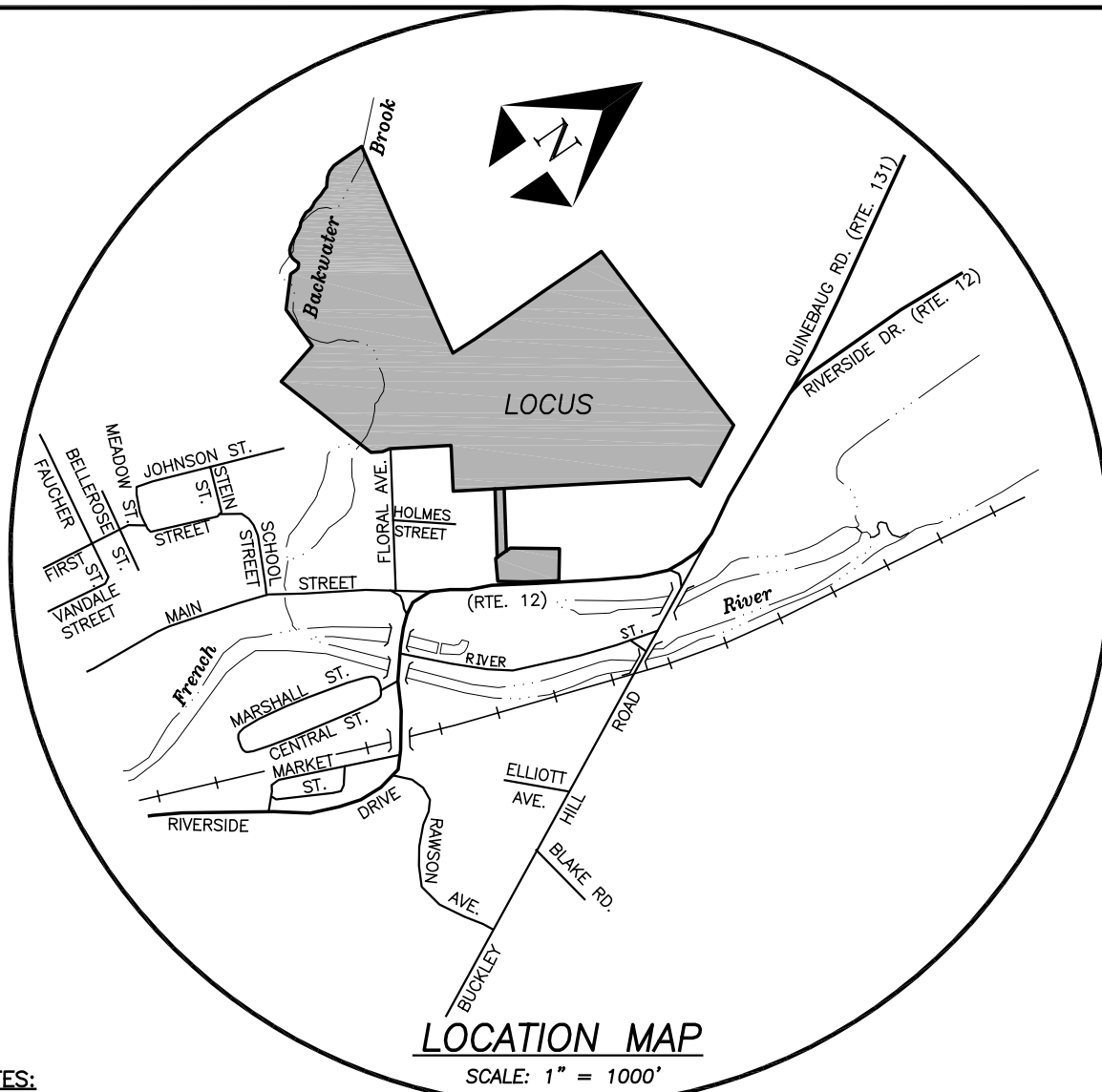
The solar array will be installed with a ballasted fixed tilt racking system. The maximum height of the array will be approximately 3' above ground level.

The total area of land disturbance and/or clearing required for completion of the project is 4.98 acres.

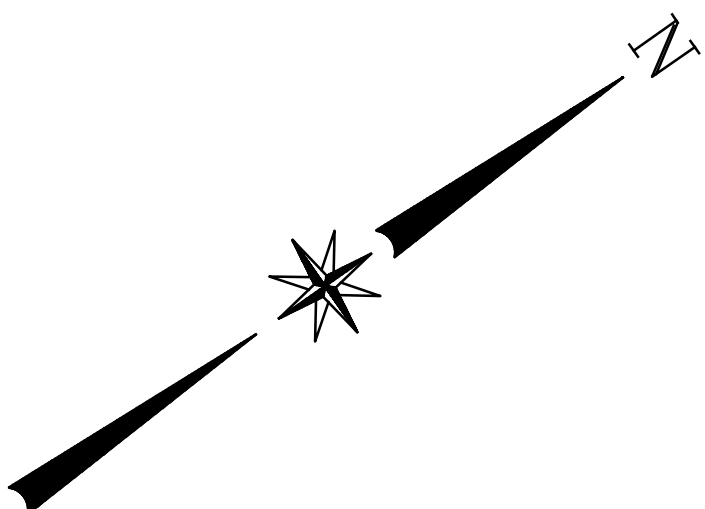
SPECIAL PERMIT APPROVAL BY THE
THOMPSON, CONNECTICUT
PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

ENGINEER _____ DATE _____

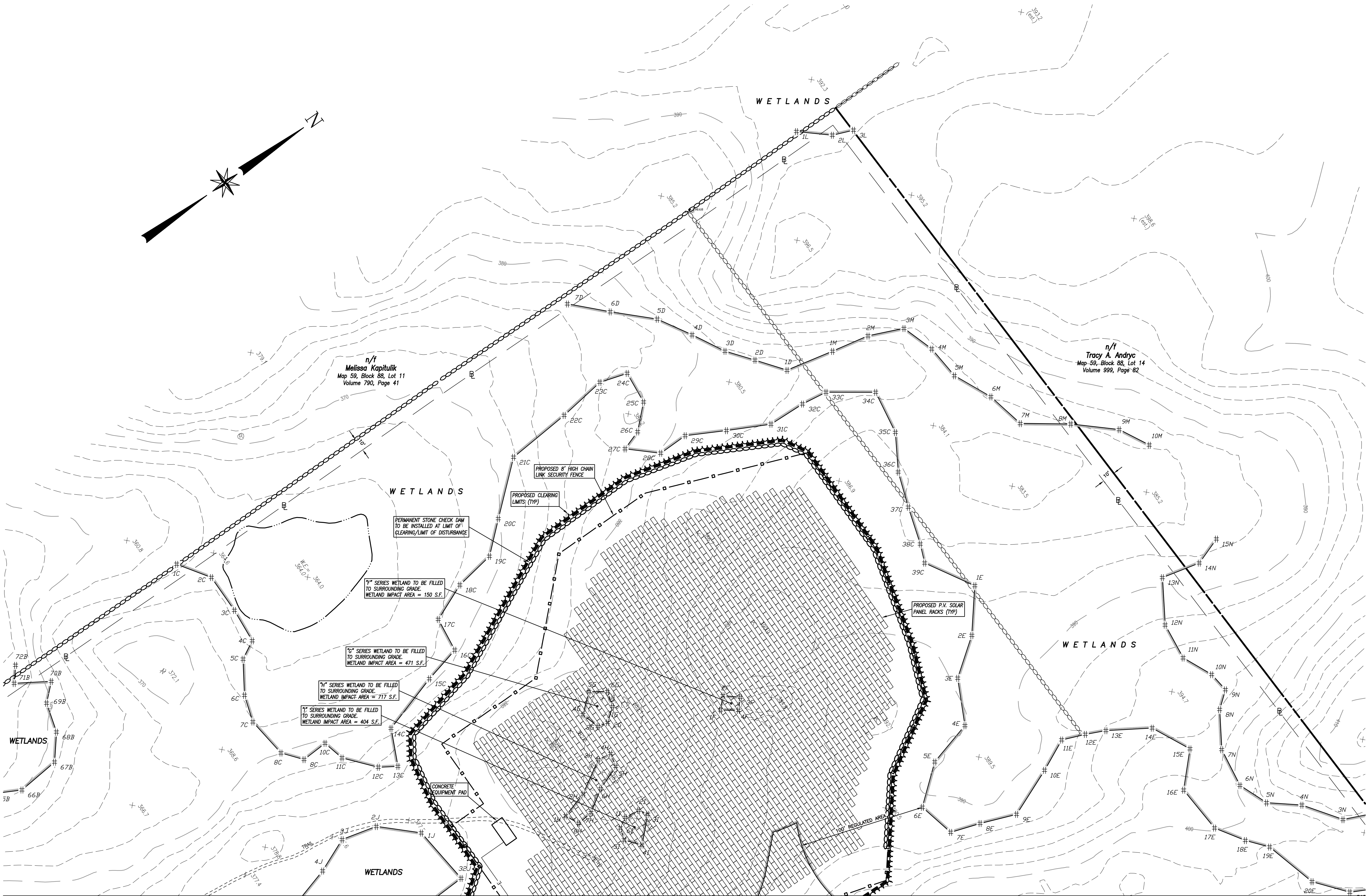


7. "Subdivision of Dwellings and Lands of the - Grosvenor-Dale Company - North Grosvenordale, Thompson, Connecticut - Scale: 1" = 80' - Dated: March, 1938 - Waterman Engineering Company"



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MATCHLINE — SEE SITE PLAN No. 2

LEGEND

	EXISTING TREE
	EXISTING BUSH
	HYDRANT
	EXISTING SIGN
	WATER GATE
	MANHOLE
	UTILITY POLE
	WETLAND FLAG
	STONE WALL
	EXISTING PHONE/DATA LINE
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING TREE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED CHAIN LINK FENCE
	PROPOSED SILT FENCE/HAYBALES
	PROPOSED CONTOUR
	PROPOSED LIMIT OF CLEARING/DISTURBANCE
	BUILDING SETBACK LINE

SURVEY NOTES:

1. This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996, amended October 26, 2018;

This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.

- This survey conforms to a Class "C" horizontal accuracy.
- Topographic features conform to a Class "T-3" accuracy.
- Survey Type: General Location Survey.

2. Zone: Downtown Mill Rehabilitation District.

3. Owner of record: Lot 16
Eastwood Thompson 49 LLC

Lot 24
962 Riverside Thompson, LLC

4. The intent of this survey is to show a proposed PV solar array to provide electrical power for the adaptive reuse of an existing mixed use building at 962 Riverside Drive with excess power being sold into the electrical grid.

5. Elevations based on NGVD 1929. Contours taken from aerial photogrammetry. Contour interval = 2'.

6. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.

7. The proposed area of development is not located within a 100 year flood zone as shown on "Flood Insurance Rate Map — Town of Thompson, Connecticut — Windham County — Community Panel Number 090117 0004B — Effective Date: November 1, 1984.

SITE PLAN No. 1

PREPARED FOR

**EASTWOOD THOMPSON 49 LLC &
962 RIVERSIDE THOMPSON, LLC**

RIVERSIDE DRIVE (ROUTE 12), FLORAL AVENUE & SWEDE VILLAGE ROAD
THOMPSON, CONNECTICUT

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www.prorovinc.com

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON,

DAVID J. HELD, L.S. LIC. NO. 24267 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

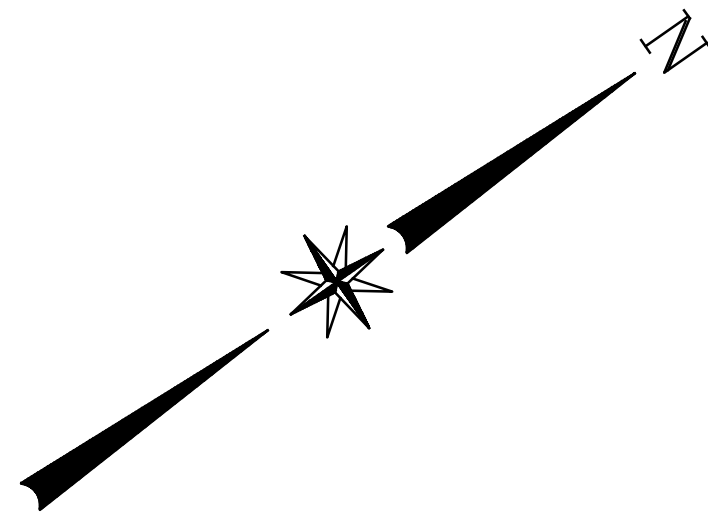
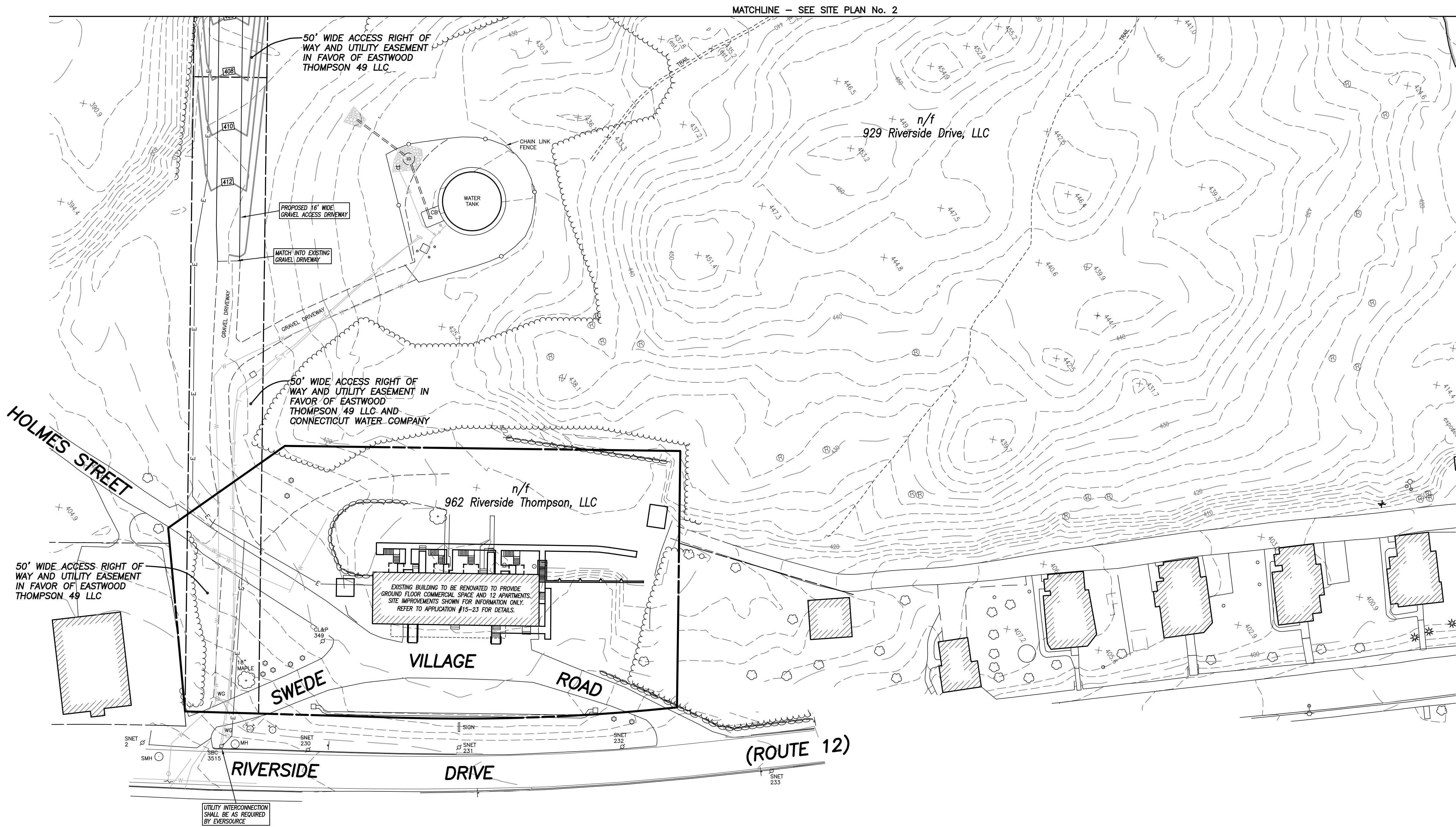
ENGINEER	DATE
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40 20 0 40
GRAPHIC SCALE IN FEET

REVISIONS	
DATE	DESCRIPTION
9/12/2023	ARRAY LAYOUT & RACKING

DATE: 9/7/2023	DRAWN: DJH
SCALE: 1" = 40'	DESIGN: DJH
SHEET: 4 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 213098

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LEGEND

	EXISTING TREE
	EXISTING BUSH
	HYDRANT
	EXISTING SIGN
	WATER GATE
	MANHOLE
	UTILITY POLE
	WETLAND FLAG
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Eastwood Thompson 49 LLC
Lot 24
962 Riverside Thompson, LLC

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6. The locations of existing utilities are based on surface evidence and other sources of information. Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455.

7. The proposed area of development is not located within a 100 year flood zone as shown on "Flood Insurance Rate Map - Town of Thompson, Connecticut - Windham County - Community Panel Number 090117 0004B - Effective Date: November 1, 1984.

SITE PLAN No. 3

PREPARED FOR

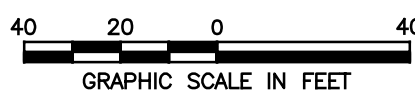
EASTWOOD THOMPSON 49 LLC &
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RIVERSIDE DRIVE (ROUTE 12), FLORAL AVENUE & SWEDE VILLAGE ROAD
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REVISIONS	
DATE	DESCRIPTION
9/12/2023	ARRAY LAYOUT & RACKING

DATE: 9/7/2023	DRAWN: DJH
SCALE: 1" = 40'	DESIGN: DJH
SHEET: 6 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 213098

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

DAVID J. HELD, L.S. LIC. NO. 24267 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

ENGINEER	DATE
----------	------

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Connecticut, N.R.C.S.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3–4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10–10–10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseeding.

MULCHING

Temporary seedlings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%–100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10–10–10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 – October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific

area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during any particular phase. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.
- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.

- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.

- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.

- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.

- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.

- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.

- Grade and landscape around buildings and septic systems to divert water away from them.

CONSTRUCTION SEQUENCE:

1. Prior to the start of any construction, contact CALL BEFORE YOU DIG at 1–800–922–4455 to verify the location of all underground utilities.
2. Begin construction of the solar array by clearing the proposed access driveway and array site. Cut wood may be either removed from the site or chipped and stockpiled on site for temporary site stabilization and E&S control.
3. Install perimeter erosion and sediment control measures (silt fence, staked haybales) as called for on site plans.
4. Install the gravel access driveway between the water tank access and the solar array site. Stripped topsoil should be stockpiled on site for final site stabilization or transported to a suitable off site storage area. Soil stockpiles should be protected with a perimeter erosion control barrier.
5. Grub stumps in the solar array area and remove from the site or chip for use in temporary site stabilization and E&S control.
6. Install the permanent stone check dam at the limits of clearing/limits of disturbance around the solar array as shown on site plans.
7. Remove surface boulders in the area of the solar array which will interfere with installation of the ballasted racking system and long term maintenance. Boulders should be utilized for traffic protection along the access driveway or stockpiled along the limit of clearing. Excessive amounts of boulders may also be removed from the site if desired.
8. Install the perimeter security fence to protect the work area during the installation of the solar array. The gate at the site entrance point should also be installed at this time.
9. Install crushed stone leveling pads, ballast tubs and ballast inside of tubs beginning at the northerly side of the array and proceeding south.
10. Install P.V. modules and electrical equipment at the solar array.
11. Install electrical conduits between the array site and Riverside Drive.
12. The solar array area and other disturbed areas shall be planted with a suitable low maintenance seed mix as soon as weather conditions will allow for establishment of permanent vegetative cover. (See recommended seeding dates in Permanent Vegetative Cover.)
13. Install electrical lines between the solar array and the building at 962 Riverside Drive and the point of interconnection on Riverside Drive.
14. When the temporary erosion and sediment controls are no longer required they shall be removed and be properly disposed of.

DECOMMISSIONING OF PROJECT:

1. At the end of the useful life of the project, the solar array and associated equipment shall be removed. Equipment to be removed shall include solar modules, racking and ballast system, inverters, transformers, perimeter security fencing and underground conductors. Underground conduits shall be abandoned in place.
2. Any land areas disturbed during the decommissioning process shall be stabilized with permanent vegetation.
3. Decommissioning shall take place no more than 182 days after the system use is discontinued unless otherwise agreed to by the Thompson Planning and Zoning Commission.

PowerRack®
RACKING SOLUTION

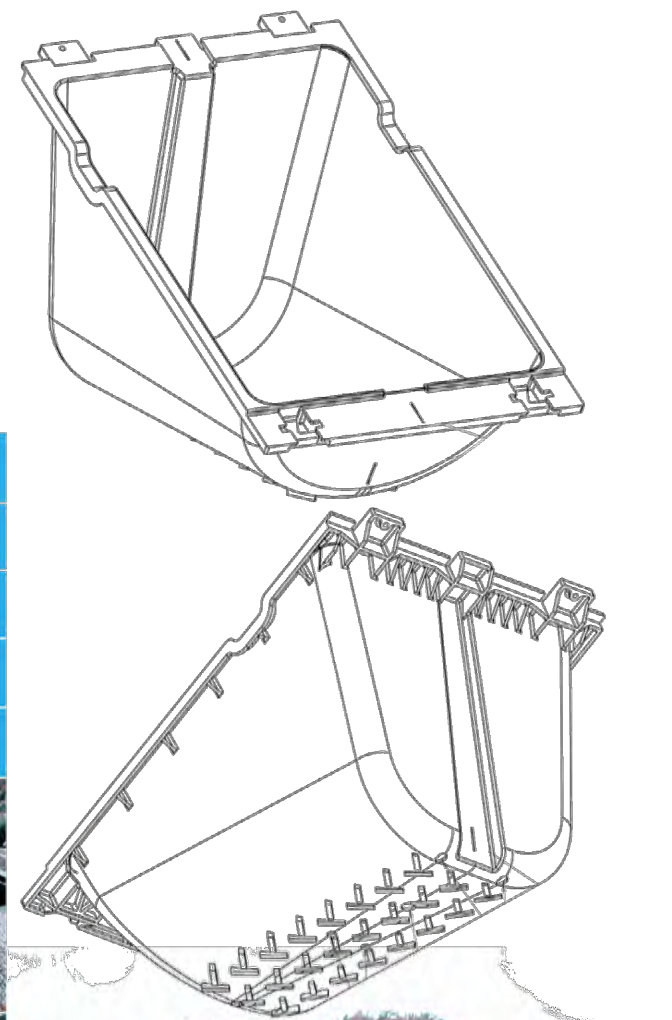
PowerField Energy's PowerRack PV solar ground mount system is a revolutionary solution for low-cost low-impact versatile applications. This ballasted system requires no ground penetration and no tools, dramatically reducing costs and enhancing project flexibility.

Length	37"/935mm
Width	26"/650mm
Height	26"/650mm
Weight (empty)	15lbs/6.9kg
Tilt Angle	25°



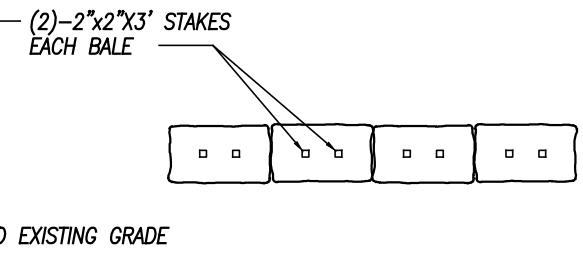
For additional guidance:
Call us at 888-788-8007
or email info@powerfieldenergy.com
www.powerfieldenergy.com/faqs

powerfield



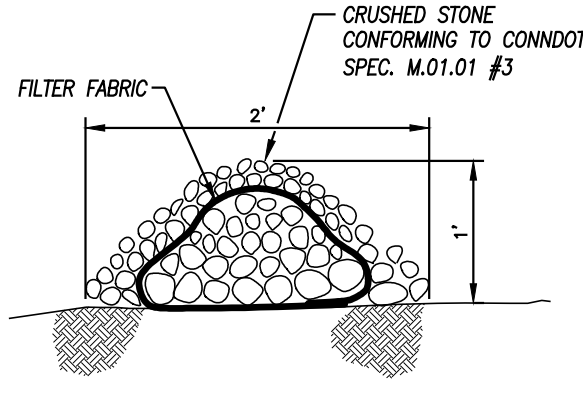
POWERFIELD BALLASTED RACKING SYSTEM

NOT TO SCALE



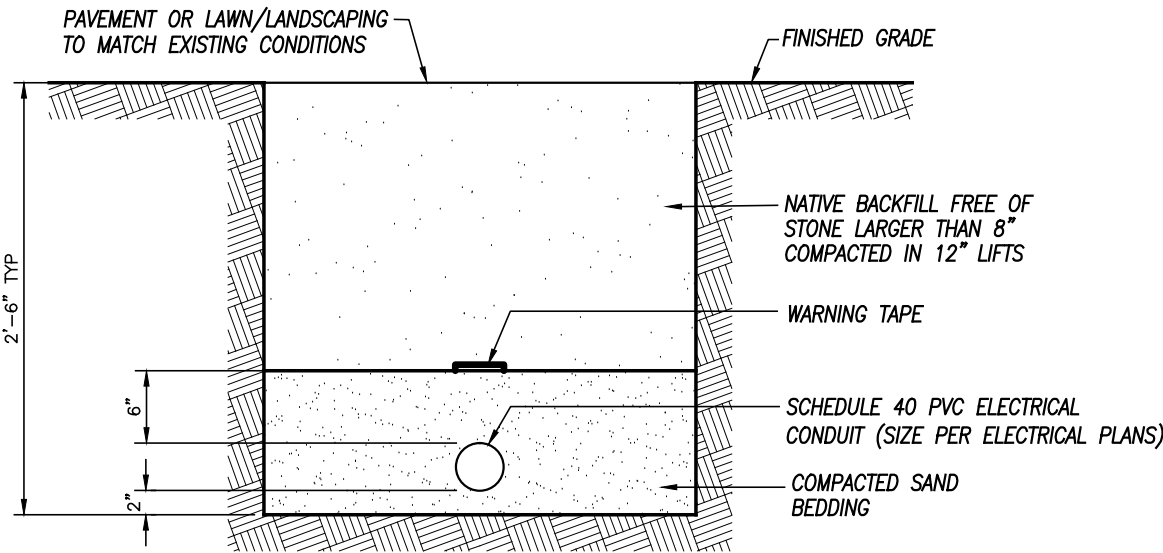
HAYBALE BARRIER

NOT TO SCALE



STONE CHECK DAM

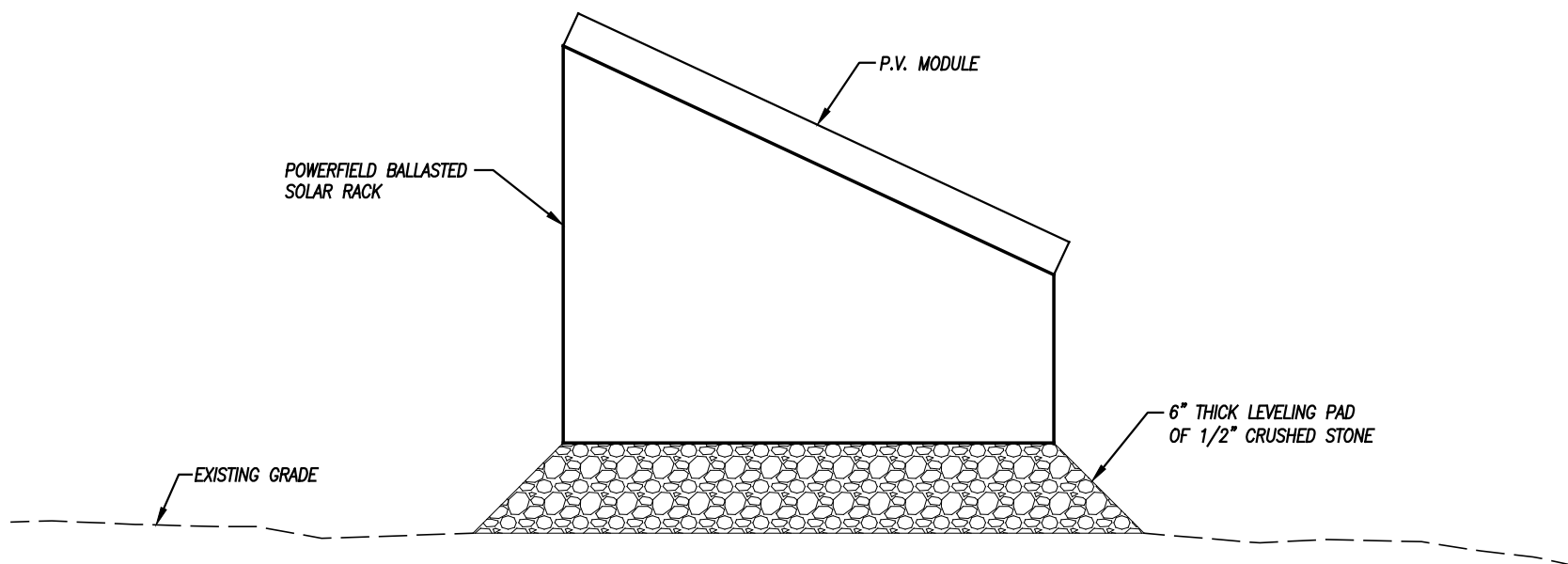
NOT TO SCALE



NOTE: MULTIPLE CONDUITS MAY BE INSTALLED PARALLEL IN THE SAME TRENCH. SEE ELECTRICAL PLANS FOR THE NUMBER OF CONDUITS IN EACH TRENCH.

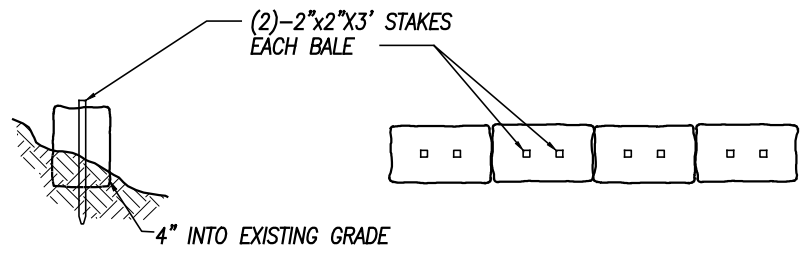
ELECTRICAL CONDUIT IN TRENCH

NOT TO SCALE



BALLASTED P.V. RACK INSTALLATION

SCALE: 1" = 1'



GRAVEL DRIVE DETAIL

NOT TO SCALE

DETAIL SHEET No. 1

PREPARED FOR

EASTWOOD THOMPSON 49 LLC &
962 RIVERSIDE THOMPSON, LLC

RIVERSIDE DRIVE (ROUTE 12), FLORAL AVENUE & SWEDE VILLAGE ROAD
THOMPSON, CONNECTICUT

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

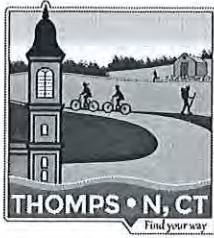
57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION
9/12/2023	ARRAY LAYOUT & RACKING
DATE: 9/7/2023	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 7 OF 7	CHK BY: ---
DWG. No: Client File	JOB No: 213098

ENGINEER	DATE

Agenda Item E) b) New Applications

1. **WAA23025**, Kevin Calabro, 117 New Road, (Assessor's map 116, block 24, lot 26), Irrigation system to establish lawn within 100-foot upland review area, stamped received 9/18/23, approved 10/2/23, legal notice published 10/13/23, end of appeal period 10/27/23.



**TOWN OF
THOMPSON
Inland Wetlands Commission**

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA23025

APPROVAL GRANTED TO:

Kevin Calabro
117 New Road
Thompson, CT 06277

DATE OF APPROVAL: October 2, 2023

EXPIRATION DATE: October 2, 2028

LOCATION OF AUTHORIZED ACTIVITY: 117 New Road, Assessor's Map 154, Block 3, Lot 2H

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with In-ground irrigation as shown in Wetlands Agent Approval Application WAA23025 stamped received by the Thompson Wetlands Office September 18, 2023 and as shown in markup of Killingly Engineering Associates plan dated 03/10/23 dated received September 18, 2023.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent:


Dan Malo

Dated:

10-2-23



**TOWN OF
THOMPSON
Inland Wetlands Commission**

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

YOU HAVE A WETLAND AGENT APPROVAL: Approval # WAA23025

You are expected to comply with the following:

1. State law requires that a notice of the Commission's decision be published at the applicant's expense in a newspaper having a general circulation in the Town of Thompson. Such notice must be published within fifteen (15) days of the decision. The Wetland Agent will forward the necessary legal notice to the newspaper. This fee is included in the application fee, and will not be collected after the approval process.
2. YOU MUST NOTIFY THE COMMISSION ONE WEEK PRIOR TO THE START OF YOUR SITE WORK. A notification card is enclosed for your convenience.
3. You may initiate your activity within five (5) years of the date the permit was issued. Your activity must be completed within 2 years of the start date. If the activities will not be completed and the site stabilized by that time, you will need to request an extension of the expected completion date.
4. Erosion and sediment controls (such as haybales or silt fence) **MUST** be in place as they appear on your approved site plan **PRIOR** to any site work which involves earth disturbance. Additionally, you must maintain all erosion controls during your construction activities until your site is stabilized.
5. You must adhere to all of the specific conditions of your approval.
6. If you have any revisions to your site plan, you must have those revisions approved by the Commission before you can implement them on your site.
7. You must limit your site disturbance. Any disturbance outside of that which is prescribed on your approved site plan may have negative impacts on wetland areas.
8. You must notify the Commission one week prior to your completion date. A notification card is enclosed for your convenience.
9. Note: If the work associated with this permit involves the disturbance of one or more acres of land, either individually or collectively as part of a larger common plan, then you are advised to contact the Connecticut Department of Energy and Environmental Protection on your need to obtain coverage under DEEP's General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities. For more information go to <http://www.ct.gov/deep/site/default.asp> and search for "construction stormwater GP" or call 860-424-3025.

If you have any questions or need assistance regarding your approved activities, please contact the Wetland Agent at 860-923-1852. We thank you for your cooperation.

(over for Approval)

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>WAA 23025</u>
DATE RECEIVED	_____

Application
for
Wetland Agent Approval
to conduct a regulated activity

Thompson Wetlands Office

SEP 18 2023

Received

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Received

SEP 18 2023

Thompson Wetlands Office

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Date 9/18/23

1) Name of Applicant KEVIN CALABRO

Home Address 117 NEW Rd. THOMPSON CT

Home Tele & Hrs _____ Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location _____

Street or Road Location 117 NEW Rd THOMPSON CT

Tax Assessor's Map # _____

Block # _____

Lot # that appears on site plan _____

Deed Information : Volume # _____

Page # _____

5) The property to be affected by the proposed activity contains:

Soil Types _____

Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)

Watercourses _____ (Lake or Pond _____ Stream or River _____ Intermittent Stream _____)

Floodplain - Yes / No

6) Description of the Activity for which Approval is requested IRRIGATION SYSTEM
FOR LAWN FOR MAINTENANCE + ENJOYMENT

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? _____. If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? _____ If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

11) Estimated start date ASAP

Estimated date of completion (all disturbed areas are stabilized) _____

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.



Signature of Applicant

9/18/23

Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

To whom it may concern:

I Kevin Calabro of 117 New Road Thompson Ct need to install a lawn irrigation system. The irrigation system is needed to establish a lawn for maintenance and enjoyment of my home.

The irrigation system is a very basic system consisting of 3/4" plastic piping and standard swivel pop up Heads.

Received

SEP 18 2023

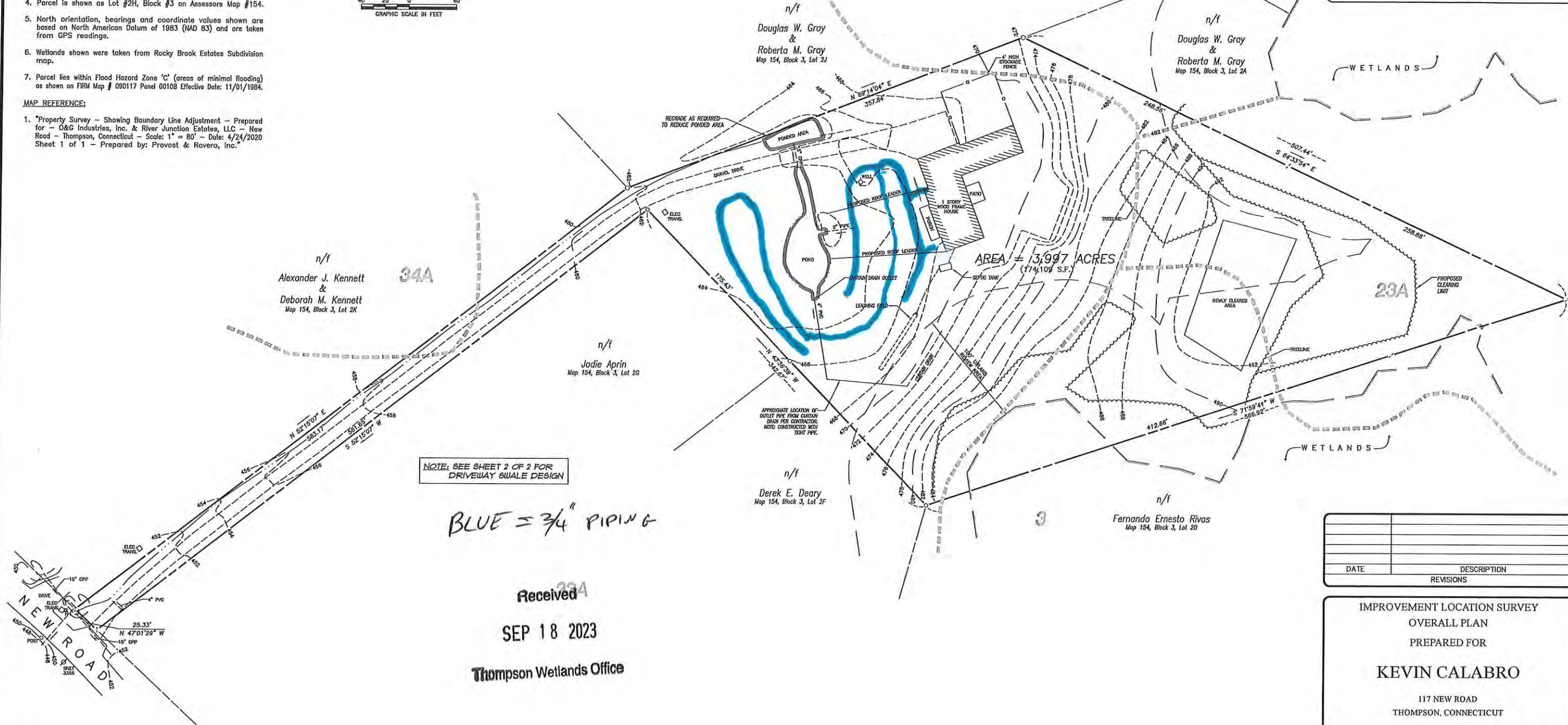
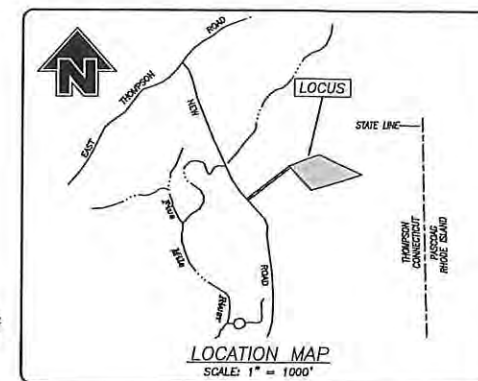
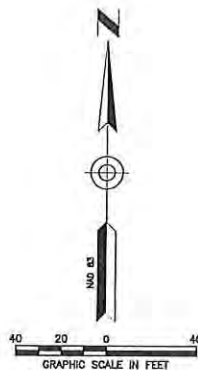
Thompson Wetlands Office

NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
 - Survey Type: Improvement Location Survey.
 - Boundary Determination Category: Resurvey.
- Zone = RA-80.
- Owner of record: Kevin Calabro
117 New Road
Thompson, CT 06277
- Parcel is shown as Lot #2H, Block #3 on Assessors Map #154.
- North orientation, bearings and coordinate values shown are based on North American Datum of 1983 (NAD 83) and are taken from GPS readings.
- Wetlands shown were taken from Rocky Brook Estates Subdivision map.
- Parcel lies within Flood Hazard Zone 'C' (areas of minimal flooding) as shown on FIRM Map # 090117 Panel 0010B Effective Date: 11/01/1984.

MAP REFERENCE:

- "Property Survey - Showing Boundary Line Adjustment - Prepared for - O&G Industries, Inc. & River Junction Estates, LLC - New Road - Thompson, Connecticut - Scale: 1" = 80' - Date: 4/24/2020 Sheet 1 of 1 - Prepared by: Provost & Rovero, Inc."



NOTE: SEE SHEET 2 OF 2 FOR DRIVEWAY SWALE DESIGN

BLUE = 3/4" PIPING

Received

SEP 18 2023

Thompson Wetlands Office

LEGEND

- IRON PIN FOUND
- ⊕ UTILITY POLE
- ⊕ ELEC HANDHOLE
- ⊕ INLAND WETLANDS FLAG

**BEFORE YOU DIG
CALL BEFORE YOU DIG**
AT LEAST TWO FULL BUSINESS DAYS
BEFORE DIGGING OR DISTURBING EARTH
DIAL 811 OR 1-800-922-4455

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN _____ DATE _____

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE _____

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

DATE	DESCRIPTION
	REVISIONS

IMPROVEMENT LOCATION SURVEY
OVERALL PLAN
PREPARED FOR

KEVIN CALABRO

117 NEW ROAD
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 3/10/2023	DRAWN: RGS
SCALE: 1" = 40'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
FIG. No: CJENT FILE	JOB No: 20112

Agenda Item E) b) New Applications

2. **DEC23026**, Little Pond Improvement Association, Inc, Sand Dam Road, (Assessor's map 116, block 24, lot 26), Annual clearing of debris from 5 Mile River riverbed and culverts between Little Pond and East Thompson Road, stamped received 9/18/23.



Town of Thompson
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

For Commission Use Only
Application #: DEC 23026

Received

SEP 19 2023

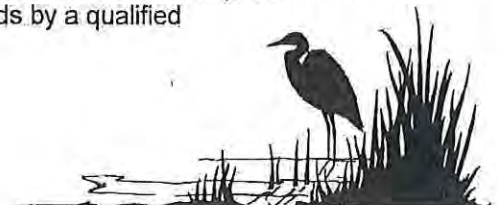
Thompson Wetlands Office

APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

Part I Request for Use Permitted as of Right or Non-Regulation Use (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
 - a. ☐ Grazing, farming, nurseries, gardening and harvesting of crops.
 - b. ☐ Farm pond three (3) acres or less essential to the farming operation.
 - c. ☐ Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
 - d. ☐ Boat anchorage or mooring.
 - e. ☐ Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
 - f. ☐ Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
 - g. ☒ Maintenance of drainage pipes on residential ^{and non-profit trust and farm} property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
 - a. ☒ Conservation of soil, vegetation, water, fish or wildlife.
 - b. ☐ Outdoor recreation
 - c. ☐ Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
 - a. ☐ The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
 - b. ☒ The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
 - c. ☐ The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)



For Commission Use Only Application #: _____

Part II Contact Information

1) Applicant Contact Information	
a) Applicant Name:	<u>LITTLE Pond Improvement Assoc Inc</u>
b) Mailing Address:	<u>523 - PO Box THOMPSON CT 06277</u>
(include town state zip)	
c) Daytime Phone #:	<u>8609334777</u>
d) Evening Phone #:	
e) Cell Phone # (optional):	<u>same</u>
f) Email Address (optional):	<u>lpiapresident@yahoo.com</u>
2) Applicant's Interest in Property (check one only)	
<input type="checkbox"/> property owner	<input type="checkbox"/> lessee <input type="checkbox"/> easement holder
3) Owner Contact Information (required if applicant is not property owner)	
a) Name:	<u>Wyndham Land Trust</u> <u>Andy Rzeznikiewicz</u>
b) Mailing Address:	<u>PO Box 302</u>
(include town state zip)	<u>Promtmet CT 06259</u>
c) Daytime Phone #:	<u>860 963 2090</u>
d) Evening Phone #:	
e) Cell Phone # (optional):	
f) Email Address (optional):	

Part III Site Information

1) Property Involved (following information obtained from tax assessor and town clerk's records):			
Street Address	Assessor's Reference		
	Map	Block	Lot
<u>Sand Dam Rd Jerry's Swamp</u>	<u>133</u>	<u>1</u>	<u>35</u>
2) Attach an 8 1/2 inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable - see https://thompsonct.mapgeo.io)			
3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered			
a) Wetlands: _____ (in square feet)			
b) Open Water Body: _____ (in square feet)			
c) Stream: <u>2000</u> (in linear feet)			
4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf - check one) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (If Yes, then upland review area = 200 ft.)			
5) Upland Review Area altered: _____ (in square feet)			
For 6 & 7 below see http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf			
6) U.S.G.S. Topographic Quadrangle (check all involved)		7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):	
<input checked="" type="checkbox"/> #13 Webster MA		French River	<input type="checkbox"/> 3300 <input type="checkbox"/> 3301
<input type="checkbox"/> #14 Oxford MA		Quinebaug River	<input type="checkbox"/> 3700 <input type="checkbox"/> 3708
<input type="checkbox"/> #28 Putnam		Five Mile River	<input checked="" type="checkbox"/> 3400 <input type="checkbox"/> 3401 <input type="checkbox"/> 3402
<input type="checkbox"/> #29 Thompson			

Part IV Description of Activity Proposed

1. Detailed project description and purpose: _____

To clear debris from 5 mile river bed and culverts between Little Pond and East Thompson Rd. Debris to be cast aside to decay naturally. Wetlands and landowners have given permission in the past (verbally). We are requesting permission to do routine cleaning that does not alter any water course. With each cleaning landowners will be asked for permission.

2. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

Part V Application Permissions & Certifications

1) Owner's Permission¹

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposes of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

Andy Reznickiewicz
(Signature of property owner)

8-31-2023
Date

Andy Reznickiewicz Board Member

For all persons excluding individuals print name and title of signatory above

2) Applicant's Certification¹

I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

John W. Hansen
(Signature of applicant)

8-31-2023
Date

John W. Hansen LPIA President

For all persons excluding individuals print name and title of signatory above

*** For Commission Use Only ***	
Agency Response:	
IWC Chair Signature:	Date:

¹ If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.

Annual
clearing of
Debris

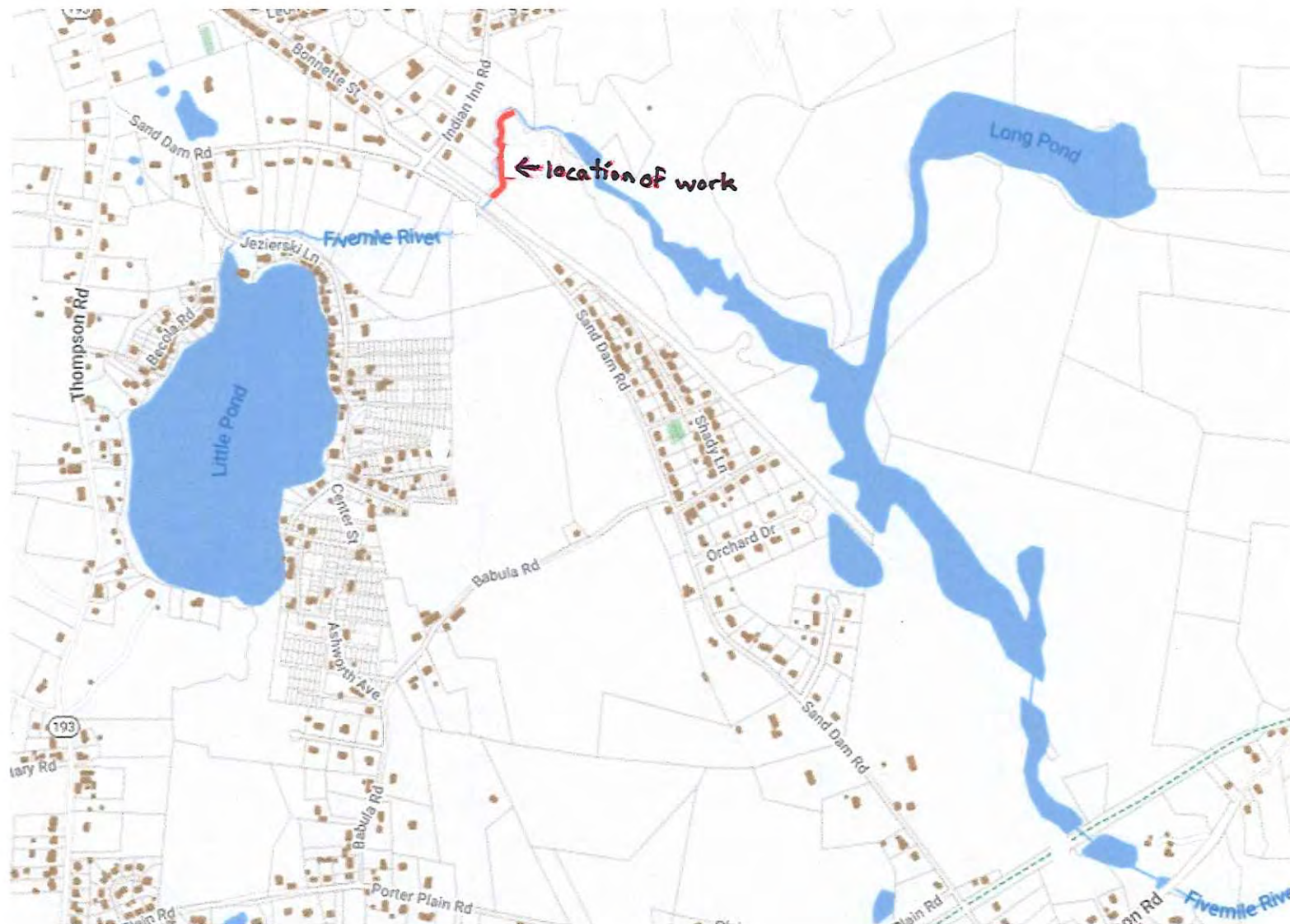
From

Jerry's
Swamp
Channel

Received

SEP 19 2023

Thompson Wetlands Office



Agenda Item E) b) New Applications

3. **SUB23027**, John Camelio, 597 East Thompson Road (Assessor's map 154, block 5, lot 10), (3) Lot Subdivision within 100-foot upland review area, stamped received 10/4/23.

for commission use:	rev 1/11
application #	<u>Sub 23027</u>
date received	<u>10/31/23</u>

SUBDIVISION REVIEW APPLICATION

Received

OCT 03 2023

Thompson Wetlands Office

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

RECEIVED
TOWN OF THOMPSON
2023 OCT -3 A 1
TOWN CLERK

Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all subdivision review applications be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions. Any changes made to a subdivision plan that affects wetlands or watercourses as a result of Planning & Zoning approval must be resubmitted to the Wetlands Commission for review and approval, or the conceptual approval will be considered null and void and a new subdivision review application with all fees will need to be submitted.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)

- Conceptual Approval of Subdivision up to Two (2) Lots \$50 + \$60
- Conceptual Approval of Subdivision of Three (3) Lots or more..... \$250 Base Fee – PLUS
\$250 per lot + \$60 State Fee
- Complex Application Fee.....Applicants will be billed for professional review as needed,
see regulations booklet Section 18.5

Please complete the following application information.

If you need assistance contact the wetland Agent (business office 860- 923-1852)

Date September 29, 2023

1) Name of Applicant John Camelio

Home Address 597 East Thompson Rd, Thompson CT, 06277

Home Tele & Hrs (781) 589 - 6188 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CLP 3148, northeast side of East Thompson Rd

Street or Road Location 597 East Thompson Rd

Tax Assessor's Map # 154

Block # 5

Lot # that appears on site plan 10, 10C, 10D

Deed Info : Volume # 995

Page # 238

5) The property to be subdivided contains:

Soil Types Merrimac, Rippowam sandy loam and Hinckley loamy sand

Wetland Soils ☒ (Swamp ☐ Marsh ☐ Bog ☐ Vernal Pool ☐)

Watercourses ☒ (Lake or Pond ☐ Stream or River ☒ Intermittent Stream ☐)

Floodplain - ☒ Yes / ☐ No

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity Proposed 3 lot subdivision with work within the
upland review area.

If the above activity involves deposition or removal of material, what is the quantity? _____

the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands Commission (TIWC). Documentation of such notice shall be provided to the TIWC.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.
- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.
- 10) Names and Addresses of Abutters:

See attached list.

11) Estimated start date Spring 2024


Estimated date of completion (all disturbed areas are stabilized) 2025

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.
I understand that the commission is unable to act upon an incomplete application.



Signature of Applicant

Date
10-3-22

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.




597 E Thompson Rd, Thompson, CT 06277 to
Thompson Town Hall, 815 Riverside Dr, North Grosvenor Dale, CT 06255

Drive 7.2 miles, 12 min

Direction from property to Thompson Town Hall

597 E Thompson Rd
Thompson, CT 06277

- ↑ 1. Head southwest on E Thompson Rd
2.8 mi
 - ↶ 2. Turn left onto CT-193 S
1.6 mi
 - ↷ 3. Turn right onto CT-200 W/Thompson Hill Rd
1.9 mi
 - ↷ 4. Turn right onto CT-12 N/Riverside Dr
1.0 mi
-  Destination will be on the right

Thompson Town Hall
815 Riverside Dr, North Grosvenor Dale, CT 06255

597 EAST THOMPSON RD- ABUTTERS

Site Address	Owner Name	Owner Address	City	State	Zip
580 EAST THOMPSON RD	KUSZEWSKI JOSEPH R	580 EAST THOMPSON RD	THOMPSON	CT	06277
614 EAST THOMPSON RD	ELLIOTT DAVID E	614 EAST THOMPSON RD	THOMPSON	CT	06277
565 EAST THOMPSON RD	SEALE MICHELLE A	565 EAST THOMPSON RD	THOMPSON	CT	06277
0 EAST THOMPSON RD	SAVOLIS MARIA R + MARK W REV TRUSTS	551 EAST THOMPSON RD	THOMPSON	CT	06277
591 EAST THOMPSON RD	ROBBINS MICHAEL J +	591 EAST THOMPSON RD	THOMPSON	CT	06277
611 EAST THOMPSON RD	FAFARD KYLE H	611 EAST THOMPSON RD	THOMPSON	CT	06277
601 EAST THOMPSON RD	FAFARD CHRIS M + EDELLEN B	601 EAST THOMPSON RD	THOMPSON	CT	06277
631 EAST THOMPSON RD	DENNIS KAREN	631 EAST THOMPSON RD APT A	THOMPSON	CT	06277
635 EAST THOMPSON RD	DURAND RAYMOND J + SUZANNE C	635 EAST THOMPSON RD	THOMPSON	CT	06277
637 EAST THOMPSON RD	JOSEY SCOTT	637 EAST THOMPSON RD	THOMPSON	CT	06277
144 NEW RD	NEUNDORF ROBERT C	144 NEW RD	THOMPSON	CT	06277
134 NEW RD	PEDERSEN KRISTINE A	134 NEW RD	THOMPSON	CT	06277
64 NEW RD	LEE GREGORY S + MAUREEN E	64 NEW RD	THOMPSON	CT	06277
0 NEW RD	NEUNDORF DEBRA L	144 NEW RD	THOMPSON	CT	06277
0 NEW RD	AUGER GEORGE L + BERNICE	5940 30TH AVE SOUTH APT 304	GULFPORT	FL	33707
124 NEW RD	SAMANTHAS CONSTRUCTION INC	62 ELM ST	SOUTHBRIDGE	MA	01550
594 EAST THOMPSON RD	BARLOW MARIE C	594 EAST THOMPSON RD	THOMPSON	CT	06277
128 NEW RD	H C ROSE CONTRACTORS INC	3748 FLAT RIVER RD	COVENTRY	RI	02816
608 EAST THOMPSON RD	COSMA JENNY L	608 EAST THOMPSON RD	THOMPSON	CT	06277
125 NEW RD	COSTA JOSHUA J + MARIE P	125 NEW RD	THOMPSON	CT	06277
118 NEW RD	GRAY SHAUN D	118 NEW RD	THOMPSON	CT	06277

Stormwater Management Low Impact Development And Erosion Control Narrative

Prepared For

Camelio and Bombard Subdivision

597 East Thompson Road –Thompson, CT

October 2, 2023

Prepared by:

**J & D Civil
Engineers, LLC**

401 Ravenelle Road
N. Grosvenordale, CT 06255

Project Description and Existing Site Description

A three-lot subdivision is proposed on a 29.7 acre property on the south east side of East Thompson Road. Lot 10 is already developed with a house. Two new houses will be constructed on proposed Lots 10C, and 10D. Lot 10C will be 3 acres in size and Lot 10D will be 19 acres in size. The Five Mile River runs through the property and a considerable amount of the property is within the recently adopted limits of FEMA flood zone A. A gravel removal operation was conducted on the property so the land is relatively flat. During the gravel operation haul roads were installed on the property.

Stormwater Management

The site is almost 30 acres in size and the two new proposed lots will only add 0.12 acres of impervious area so the percentage of impervious area for the property after development of all three lots is only 0.56%. In addition, the land is relatively flat and the underlying soils are well drained. Therefore, the lots do not require any drainage structures such as catchbasins, culverts, or swales. Runoff will not be channelized or concentrated. All the stormwater runoff will be in the form of sheet flow. Roof gutters will outlet to the land surface for infiltration and will not be directed to any roads or watercourses. Runoff directions and patterns will not be altered. There will not be any measurable differences in stormwater flow after construction because of the reasons described above.

Low Impact Development (LID)

Low Impact Development design strategies have been incorporated into the project to the extent practicable. Much of the land that is proposed to be developed was previously disturbed during the gravel removal operation and does not contain mature forest. Another important example of LID design is the use of an existing pervious shared driveway as access to all three lots. In addition, Lot 10D will utilize another existing driveway left over from the previous gravel removal operation. The subdivision is minimizing grading, land disturbances and impervious area.

Erosion and Sediment Control

Due to the large size of the lots and the relatively flat terrain, controlling erosion can be handled well utilizing standard E & S procedures. The septic system design plans for the two new lots contain erosion control narratives and details for both silt fence and silt sock. These erosion control devices are shown on the plans on the downslope side of construction activities. The limits of disturbance have been indicated on the plans.



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments
Wetland Delineations and Permitting ~ E&S/Site Monitoring
Wetland function and value assessments

11/27/2020

Provost & Rovero, Inc.
57 East Main St.
P.O. Box 191
Plainfield, CT. 06374

Attn: Mr. David Held

Re: Wetland delineation, Rawson Property, East Thompson Rd. Thompson, CT.

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourse on the above referenced property.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and inland wetlands and watercourse.

These wetland soils have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Section 22A-38.

Flag numbers WF-1 thru WF-79 delineate a palustrine forested wetlands and the Five Mile River located in the eastern portion of the property.

Flag numbers WF-1A through Wf-17A delineate the palustrine forested wetlands and the Five Mile River located to the west of the existing access road into the property.

Flag numbers WF-1B through WF-10B delineate wetland soils found in an excavated depression adjacent to the western property boundary.

Within these wetlands, low chroma colors and shallow redoximorphic features were found within 20 inches of the soil surface, indicating that the soils are hydric.

The remainder of the property was investigated for the presence of inland wetlands and watercourses and none were found.

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

Joseph R. Theroux

Joseph R. Theroux
Certified Soil Scientist
Member SSSSNE, NSCSS, SSSA.

CAMELIO AND BOMBARD
3 LOT SUBDIVISION

MAP 154 BLOCK 5 LOT 10
597 EAST THOMPSON RD, THOMPSON, CT 06255

DATED: OCTOBER 2, 2023

OWNER AND APPLICANT:

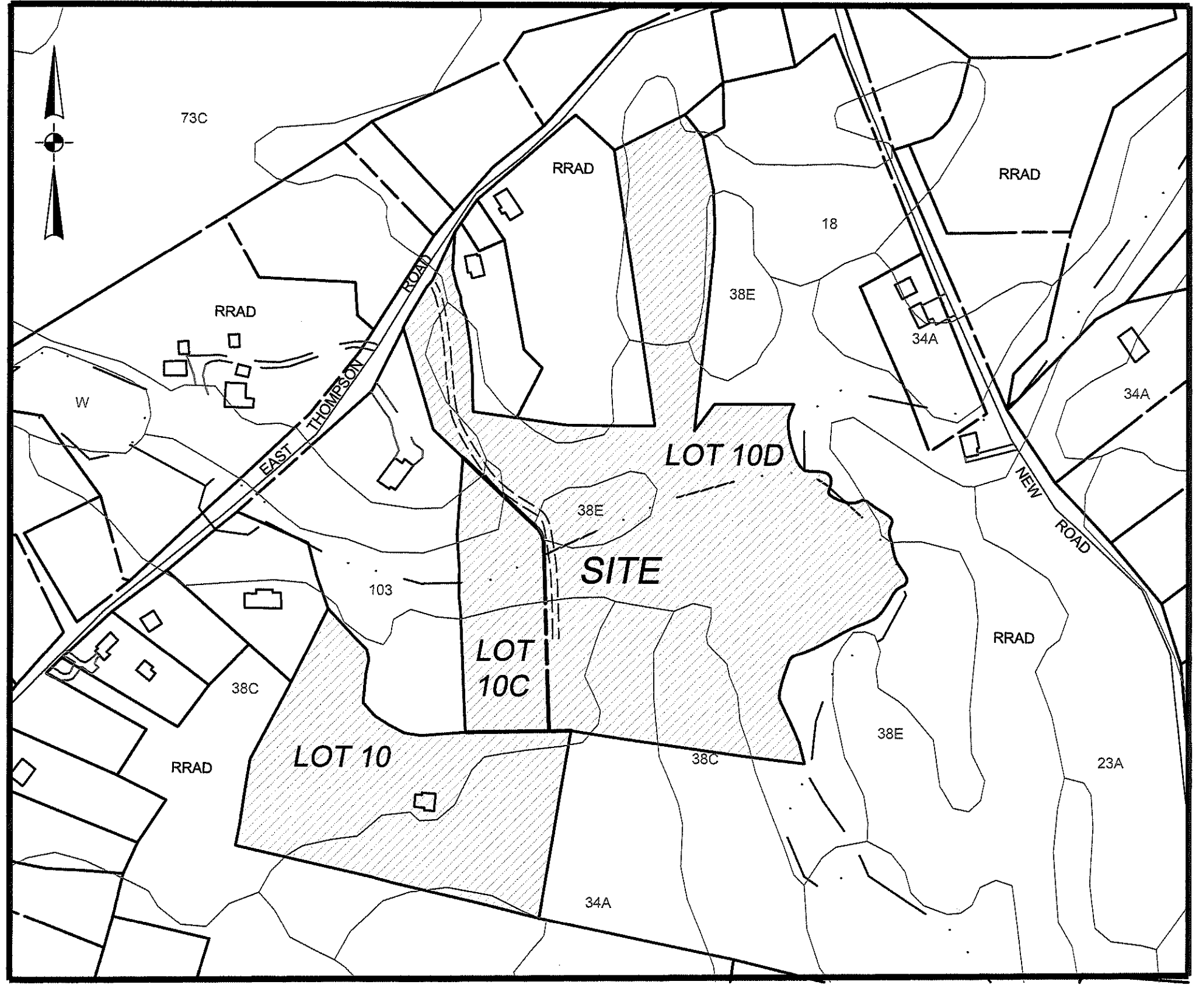
JOHN J. JR CAMELIO &
KIMBERLY J. BOMBARD
597 EAST THOMPSON RD
THOMPSON, CT 06255

INDEX OF DRAWINGS

- 1 COVER
- 2 SUBDIVISION PLAN
- 3 SITE DEVELOPMENT PLAN - NORTH
- 4 SITE DEVELOPMENT PLAN - SOUTH
- 5 E & S AND CONSTRUCTION DETAILS
- 6 SEPTIC SYSTEM PLAN LOT 10C
- 7 SEPTIC SYSTEM PLAN LOT 10D

SOIL TYPE LEGEND

- W WATER
- 18 CATDEN AND FREETOWN SOILS 0 TO 2 % SLOPES
- 23A SUDBURY SANDY LOAM, 0 TO 5% SLOPES
- 34A MERRIMAC FINE SANDY LOAM, 0 TO 3% SLOPES
- 38C HICKLEY LOAMY SAND, 3 TO 15% SLOPES
- 38E HICKLEY LOAMY SAND, 15 TO 45% SLOPES
- 73C CANTON-CHATFIELD COMPLEX, 0 TO 15% SLOPES, VERY ROCKY
- 103 RIPPOWAM FINE SANDY LOAM



ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT (RRAD)
USE: RESIDENTIAL

ITEM	REQUIRED	LOT 10	LOT 10C	LOT 10D
FRONTAGE	150'	827.49'	773.62'	237.78'
LOT COVERAGE	<50%	< 1%	1.6%	< 1%
FRONT SETBACK	40'	156'±	59'±	1082'±
SIDE SETBACK	20'	184'±	82'±	82'±
REAR SETBACK	20'	283'±	740'±	740'±
LOT SIZE	40,000 SF	348,703 SF	129,399 SF	816,008 SF
NET BUILDABLE AREA	15,000 SF ±	348,703 SF ±	65,387 SF ±	221,468 SF ±

LOCATION MAP
1" = 200'

Received
OCT 03 2023
Thompson Wetlands Office

APPROVED BY THE TOWN OF THOMPSON
PLANNING AND ZONING COMMISSION

CHAIRMAN SIGNATURE _____
DATE OF PZC APPROVAL _____
DATE OF EXPIRATION _____

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS COMMISSION

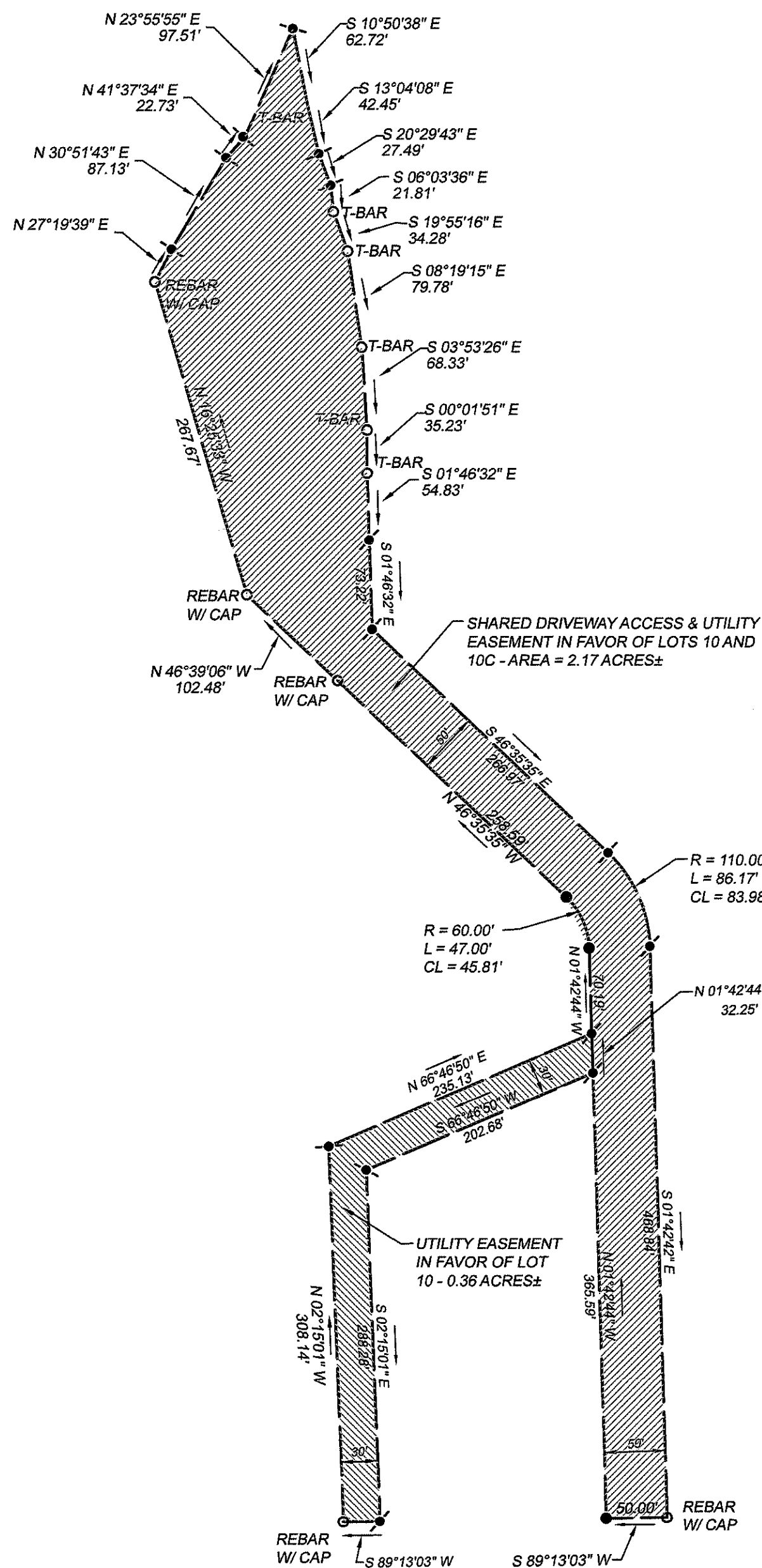
CHAIRMAN SIGNATURE _____
DATE OF IWC APPROVAL _____

TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK _____ DATE _____ TIME _____ MAP # _____

THE SUBDIVISION REGULATIONS OF THE THOMPSON PLANNING AND ZONING COMMISSION ARE PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY WAIVERS OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH WAIVERS OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

J & D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
THOMPSON, CT 06255
JDCIVILENGINEERS.COM
860-923-2920



EASEMENT DETAILS
1 = 100'

APPROVED
INLAND WETLANDS COMMISSION

CHAIRMAN DATE

APPROVED
PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

TOWN OF THOMPSON
RECEIVED FOR RECORDING

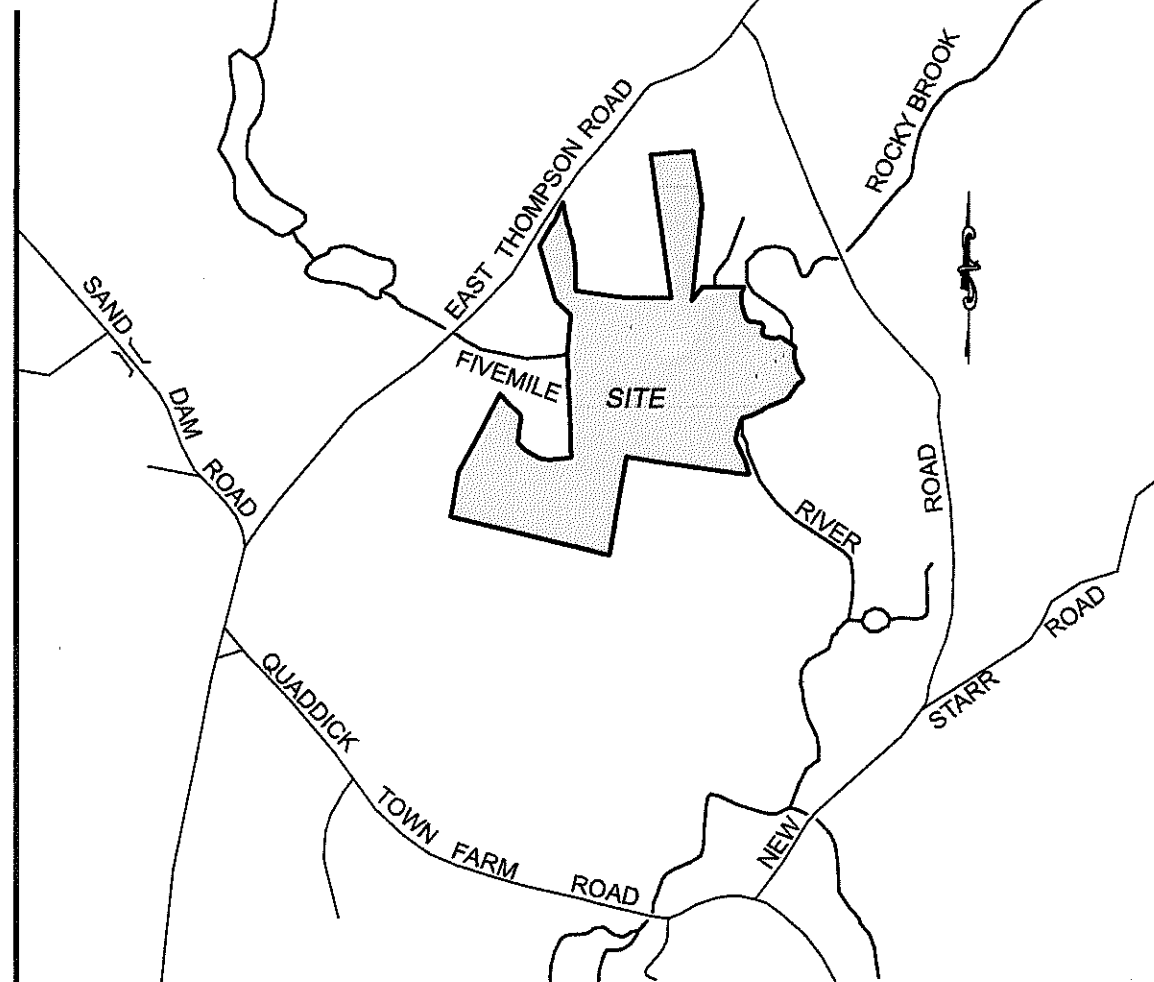
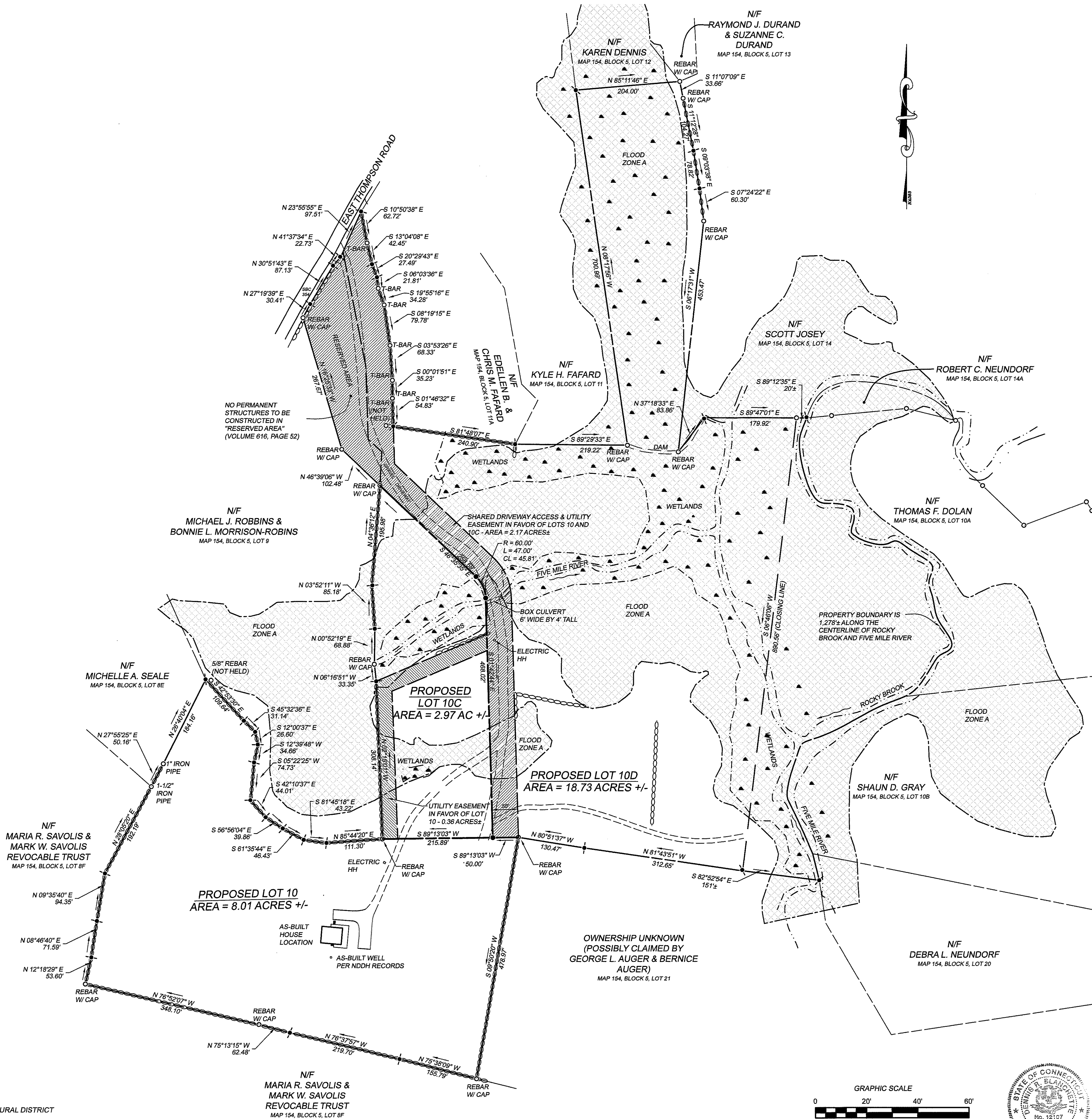
TOWN CLERK DATE TIME MAP #

PROPERTY OWNER
JOHN J. JR. CAMELIO
&
KIMBERLY J. BOMBARD

REFERENCE DEED
2021 LAND RECORDS
VOL. 995 PG. 238

ASSESSORS REFERENCE
MAP 154 BLOCK 5 LOT 10

ZONING INFORMATION:
ZONE: RURAL RESIDENTIAL AGRICULTURAL DISTRICT
MINIMUM LOT AREA: 40,000 S.F.
MINIMUM FRONTAGE: 150'
MINIMUM FRONT YARD: 40'
MINIMUM SIDE YARD: 20'
MINIMUM REAR YARD: 20'



LOCATION MAP
1" = 1000'

SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: PROPERTY SURVEY

BOUNDARY DETERMINATION CATEGORY:

HORIZONTAL ACCURACY: A-2

DATUMS: HORIZONTAL - NAD83, VERTICAL - NAVD88

PURPOSE: SUBDIVISION

2. REFERENCE PLANS:

(A) "PROPERTY SURVEY PREPARED FOR RIVER JUNCTION ESTATES LLC, EAST THOMPSON ROAD THOMPSON, CT." PLAN PREPARED BY PROVOST AND ROVERO, DATE: 5-17-2021, ON FILE IN THE TOWN CLERK'S OFFICE AS MAP #1800

(B) "PROPERTY SURVEY PREPARED FOR SCOTT JOSEY, 637 EAST THOMPSON ROAD, THOMPSON, CT." PREPARED BY J & D CIVIL ENGINEERS LLC, DATE 2-16-18.

3. WETLANDS INDICATED ON THE PLAN WERE DELINEATED BY JOSEPH THEROUX IN NOVEMBER 2020.

4. PROPERTY INCLUDES LAND AREAS WITHIN A 100 YEAR FLOOD ZONE PER FIRM MAP 09015C0068F DATED: 9/7/23

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 10/2/23 12107
DENNIS R. BLANCHETTE DATE LICENSE #

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2023 J&D CIVIL ENGINEERS, LLC

LEGEND

- IRON ROD OR DRILL HOLE TO BE SET
- ANGLE POINT
- EXISTING IRON ROD DRILL HOLE
- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- EDGE OF EASEMENT
- STONE WALL
- UTILITIES
- WETLANDS
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

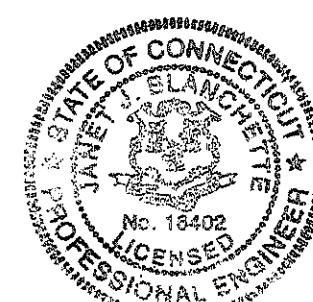
SUBDIVISION PLAN

PREPARED FOR

CAMELIO & BOMBARD

597 EAST THOMPSON ROAD - THOMPSON, CT
MAP 154 BLOCK 5 LOT 10

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: APS
CHECKED: JAB

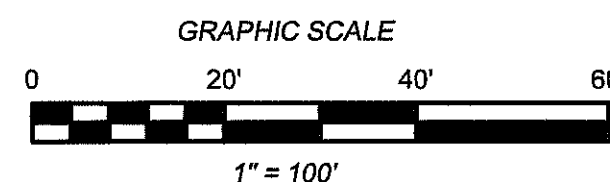
REVISIONS:

JOB NO: 22210

SCALE: 1" = 100'

DATE: OCTOBER 2, 2023

SHEET: 2





EAST THOMPSON ROAD

RESERVED AREA
SEE SHEET 2

EXISTING PAVED
APPRON

SHARED DRIVEWAY
ACCESS & UTILITY
EASEMENT. SEE
SHEET 2

USE 18' - 20' WIDE
EXISTING DRIVEWAY
FOR SHARED
DRIVEWAY

APPROX. LOCATION
EXIST. U/G UTILITIES

WIDEN DRIVEWAY TO
22' TO CREATE
VEHICLE BYPASS
AREA

EROSION
CONTROL
DEVICES

SHARED DRIVEWAY
ACCESS & UTILITY
EASEMENT

LOT 10D
AREA = 18.73 ACRES +/-

BOX CULVERT 6'
WIDE BY 4' TALL

WETLANDS

FLOOD ZONE A

DAM

WETLANDS

FIVE MILE RIVER

FLOOD ZONE A

FIVE MILE RIVER

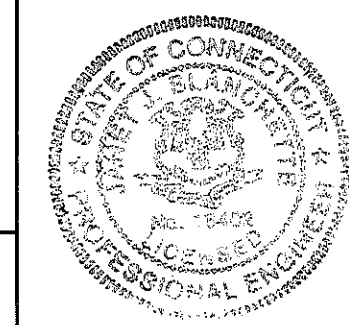
ROCKY BROOK

LEGEND

- BUILDING SETBACK LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- CLEARING LIMITS
- GUARDRAIL
- LIMIT OF DISTURBANCE
- FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

SITE DEVELOPMENT PLAN - NORTH
PREPARED FOR
CAMELIO & BOMBARD
597 EAST THOMPSON RD - THOMPSON, CT
MAP 154 BLOCK 5 LOT 10

J&D CIVIL
ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22210
SCALE: 1" = 40'

DATE: OCTOBER 2, 2023
SHEET: 3

TOWN OF THOMPSON
RECEIVED FOR RECORDING

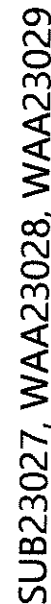
TOWN CLERK DATE TIME MAP #

NDDH FILE # 21000260

Received
OCT 03 2023

Thompson Wetlands Office

SUB23027, WAA23028, WAA23029



received

Thompson Wellands Office

NDDH FILE # 21000260

SITE DEVELOPMENT PLAN - SOUTH

PREPARED FOR

CAMELIO & BOMBARD

ST THOMPSON RD - THOM
MAP 154 BLOCK 5 LOT 10

J&D CIVIL ENGINEERS, LLC

**401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920**

DESIGNED: JJB
CHECKED: DRB

REVISIONS:**JOB NO: 22210**

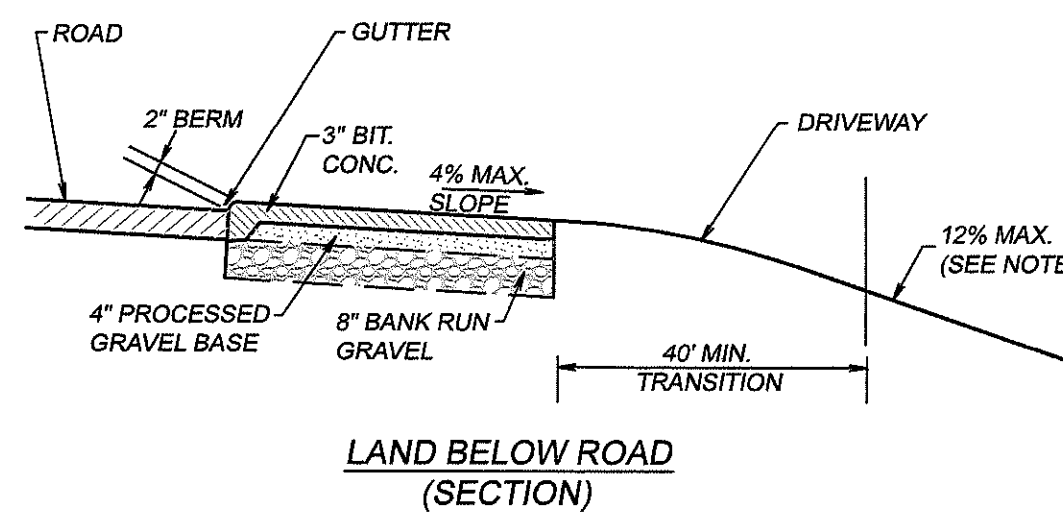
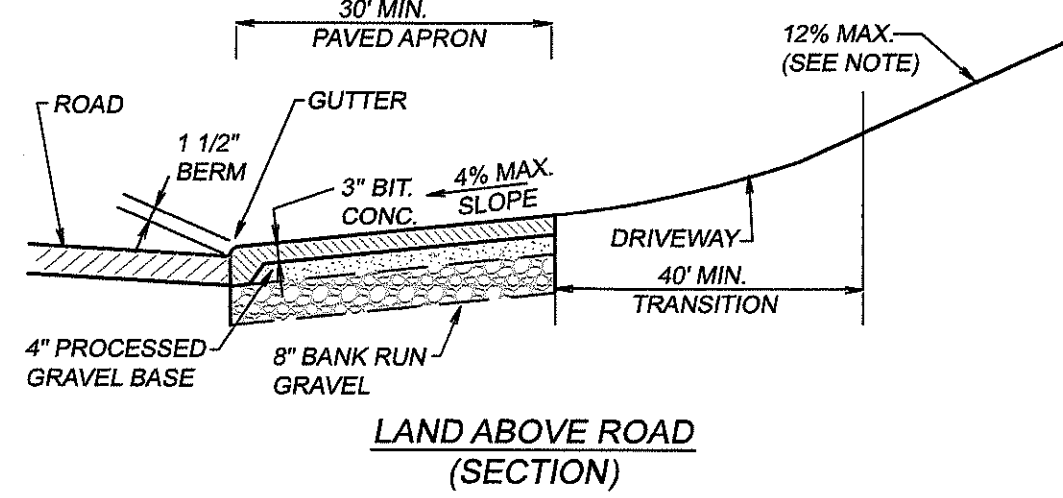
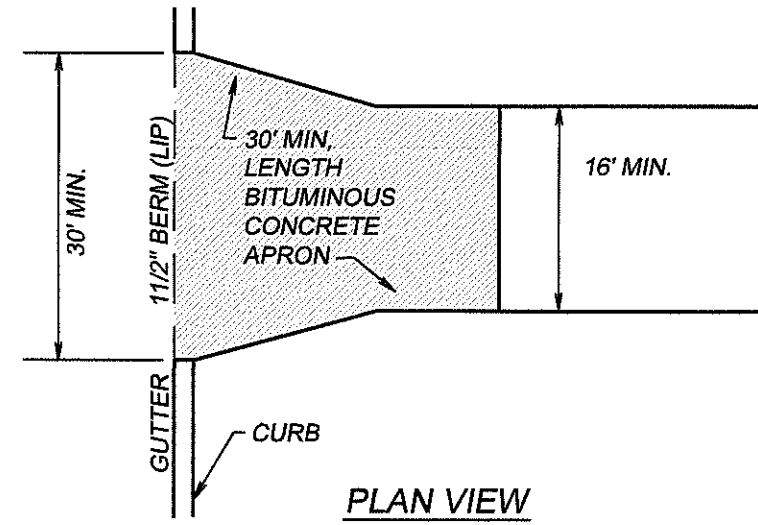
DATE: OCTOBER 2, 2023

SCALE: 1" = 40'

SHEET: 4

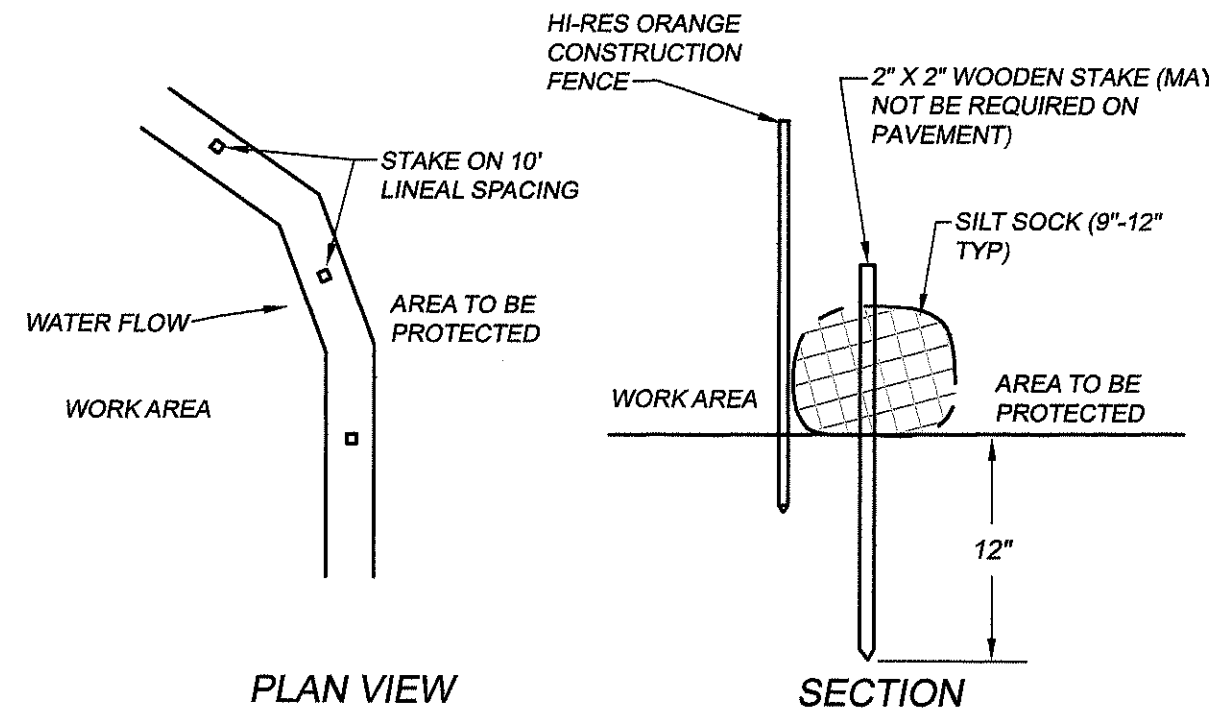
TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK	DATE	TIME	MAP #
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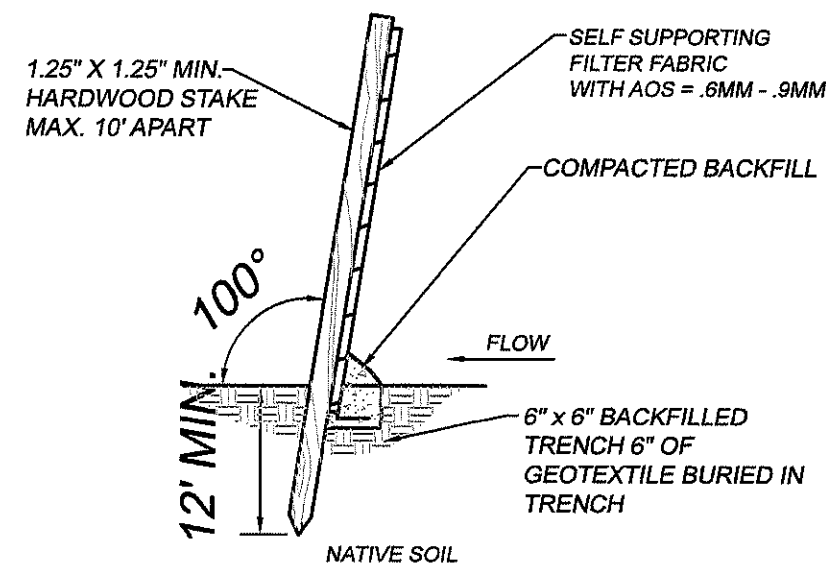
NOTE:
SHARED DRIVEWAYS IN EXCESS OF 10% GRADE
SHALL BE PAVED WITH 3\"/>

SHARED DRIVEWAY DETAIL
NOT TO SCALE

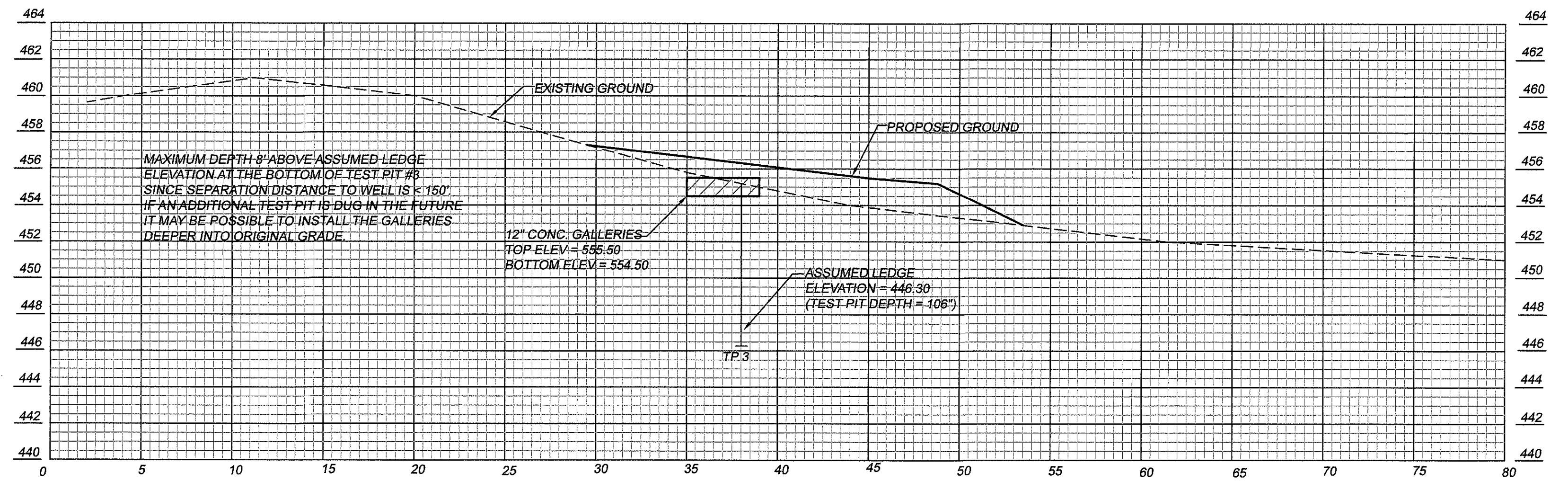


- NOTES
1. SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL
 2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 3. SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
 4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

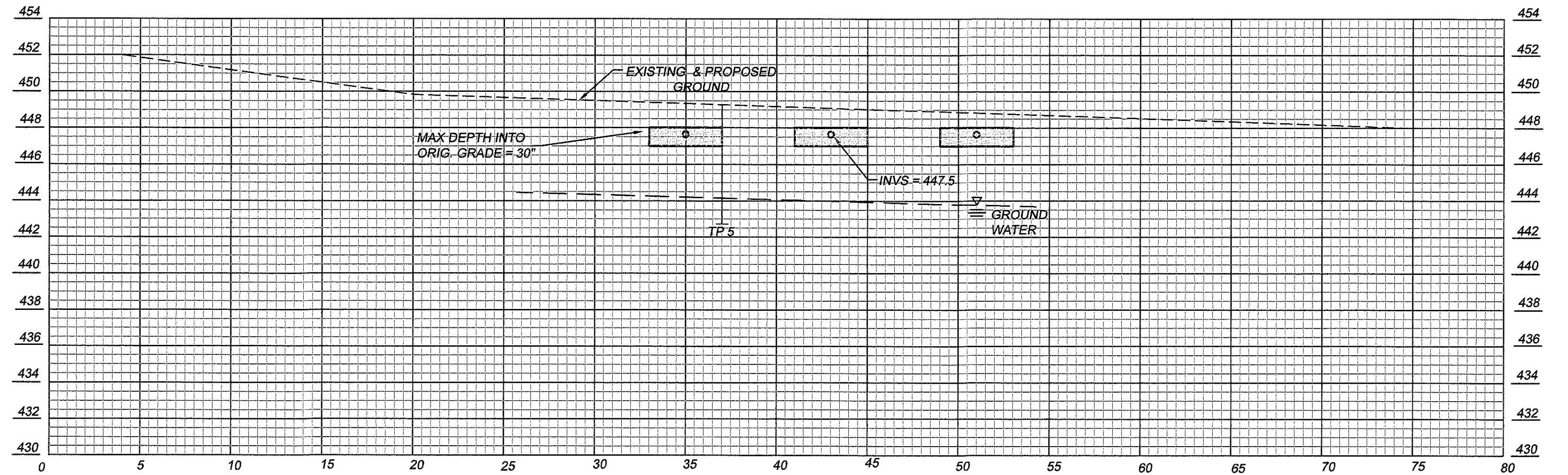
SILT SOCK DETAIL
NOT TO SCALE



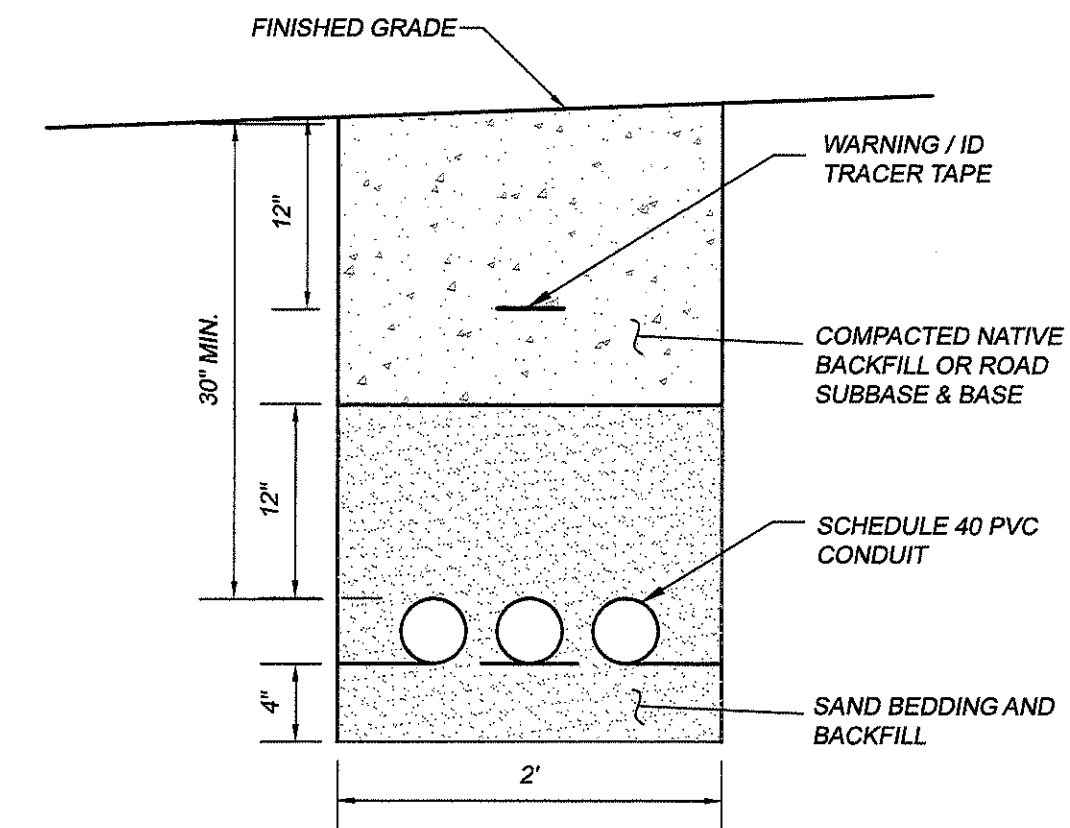
SILT FENCE INSTALLATION
NOT TO SCALE



LEACHING FIELD CROSS SECTION A-A (LOT 10C)
1" = 5'



LEACHING FIELD CROSS SECTION B-B (LOT 10D)
1" = 5'



- 1) NUMBER AND SIZE OF CONDUITS SHALL BE AS REQUIRED BY OWNER & UTILITY COMPANY
2) CONSTRUCTION METHODS, MATERIALS & DIMENSIONS SHALL CONFORM TO THE SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES

TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

Received
OCT 03 2023
Thompson Wellands Office

E & S AND CONSTRUCTION DETAILS
PREPARED FOR
CAMELIO & BOMBARD
597 EAST THOMPSON ROAD - THOMPSON, CT
MAP 154 BLOCK 5 LOT 10

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22210
SCALE: AS NOTED

DATE: OCTOBER 2, 2023
SHEET: 5



TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK DATE TIME MAP #

NDH FILE # 21000260

SUB23027, WAA23028, WAA23029

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 9, 2023

PIT NO. 2

0" - 7" (TOPSOIL, ROOTS)
7" - 38" (GRAVELLY SANDY LOAM, ROOTS)
38" - 109" (BONEY SAND & GRAVEL)
109" - 113" (GROUNDWATER)

MOTTLING: N/A
GROUND WATER: 109"
LEDGE: N/A
ROOTS: 38"
RESTRICTIVE: N/A

PIT NO. 3

0" - 7" (ORGANICS, TOPSOIL ROOTS)
7" - 28" (GRAVELLY SANDY LOAM, ROOTS)
28" - 106" (BONEY COARSE SANDS & GRAVEL)

MOTTLING: N/A
GROUND WATER: N/A
LEDGE: N/A
ROOTS: 42"
RESTRICTIVE: N/A

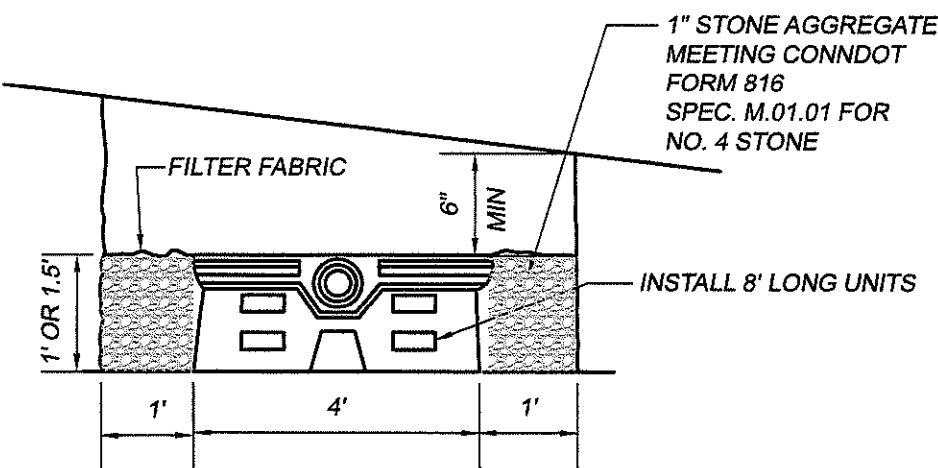
PERC TEST RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 9, 2023

HOLE A NEAR TP 2 & 3

TIME	READING
9:54	5.50"
9:55	8.00"
9:56	9.75"
9:57	11.50"
9:58	DRY

DEPTH: 15'45"
RATE: 0.5 MIN/IN



CONCRETE FLOW DIFFUSOR
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION
PURPOSE: SITE DEVELOPMENT PLAN

HORIZONTAL ACCURACY: 8 OR D
TOPOGRAPHIC ACCURACY: T-2
HORIZONTAL DATUM: NAD 83
VERTICAL DATUM: NAVD 88

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.
THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.

2. REFERENCE PLANS:
(A) "SUBDIVISION PLAN PREPARED FOR CAMELIO AND BOMBARD, 597 EAST THOMPSON RD, THOMPSON, CT" BY J&D CIVIL ENGINEERS LLC, DATED OCTOBER 2, 2023, SCALED 1" = 100'

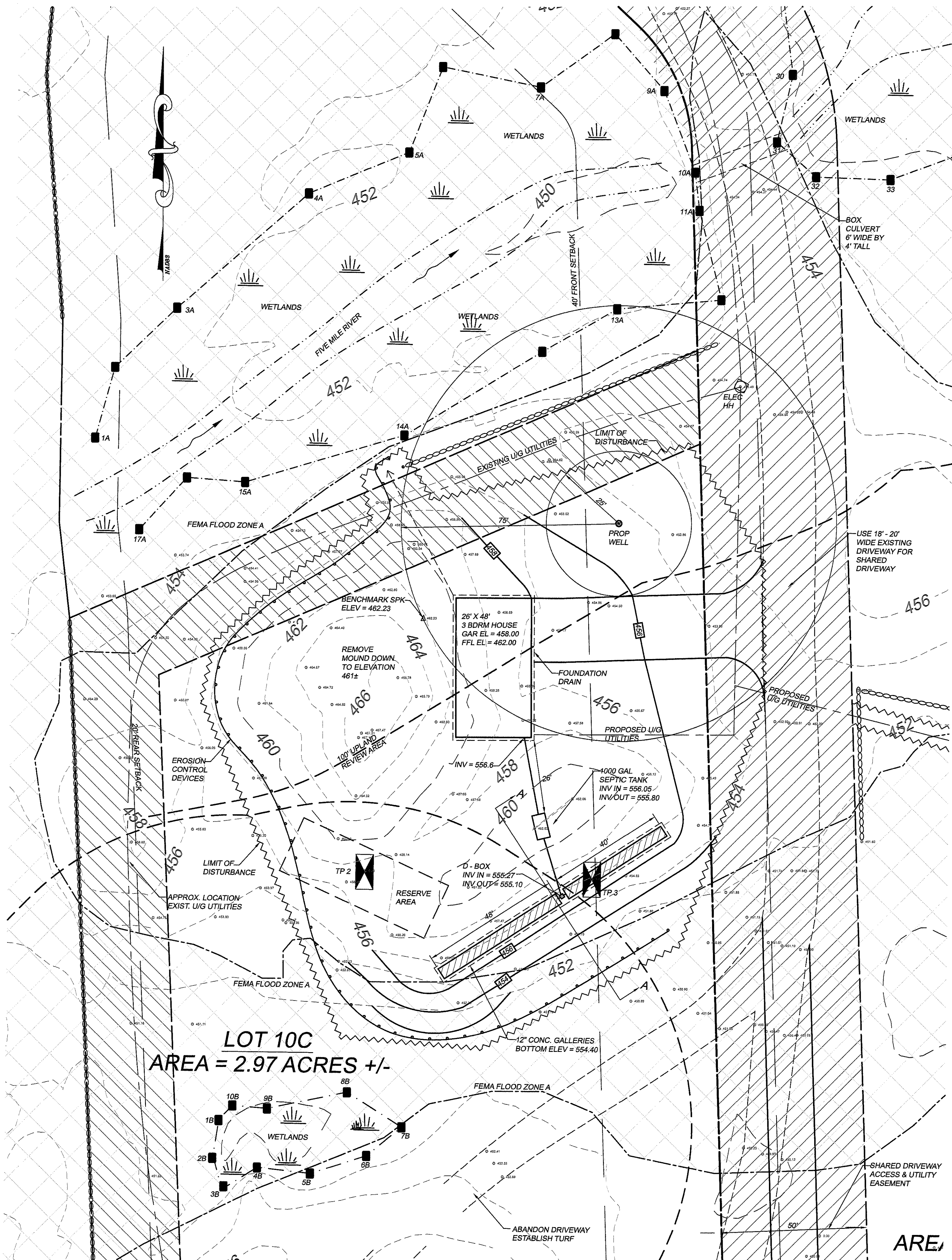
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE 12107
DATE 10/3/23 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2023 J&D CIVIL ENGINEERS, LLC

TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK DATE TIME MAP #



SEPTIC SYSTEM DESIGN CRITERIA

NUMBER OF BEDROOMS: 3

SEPTIC TANK: 1000 GALLON

PERC RATE: 0.5 MINS/INCH

MOTTLING: N/A; LEDGE: N/A; WATER: N/A; RL: N/A

LEACHING AREA REQUIRED: 495 SQUARE FEET

LEACHING AREA PROVIDED: 88' OF 12" HIGH PRECAST CONCRETE GALLEYS (FLOW DIFFUSORS) @ 5.9 SF PER LF = 519 SQUARE FEET

MLSS NOT APPLICABLE

LSS PROVIDED = 90'

MAXIMUM DEPTH INTO ORIGINAL GRADE IS 8' ABOVE ASSUMED LEDGE ELEVATION AT THE BOTTOM OF TEST PIT #3 SINCE SEPARATION DISTANCE TO WELL IS < 150'. IF AN ADDITIONAL TEST PIT IS DUG IN THE FUTURE IT MAY BE POSSIBLE TO INSTALL THE GALLEYS DEEPER INTO ORIGINAL GRADE.

SPECIFICATIONS
SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE.

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2865 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

CONCRETE GALERIES: INSTALL 12" HIGH PRECAST UNITS

POLYKOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS. BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%
GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

LEGEND

	BUILDING SETBACK LINE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EDGE OF WETLANDS
	WETLAND BUFFER/UPLAND REVIEW AREA
	EROSION CONTROL DEVICES
	TEST PIT
	LEACHING TRENCH
	STONE WALL
	UTILITIES
	LIMIT OF DISTURBANCE
	FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

SEPTIC SYSTEM PLAN - LOT 10C

PREPARED FOR

CAMELIO & BOMBARD

597 EAST THOMPSON RD - THOMPSON, CT

MAP 154 BLOCK 5 LOT 10C

J&D CIVIL ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22210

SCALE: 1" = 20'

DATE: OCTOBER 2, 2023

SHEET: 6

NDDH FILE # 21000260

SUB23027, WAA23028, WAA23029
Thompson Wetlands Office
received
10/3/2023

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 9, 2023

PIT NO. 4

0" - 8" (TOPSOIL, ROOTS)
8" - 21" (GRAVELLY FINE SANDY LOAM, ROOTS)
21" - 62" (BONEY MEDIUM TO COARSE SAND & GRAVEL)
62" - 73" (WET BONEY COARSE SAND AND GRAVEL)
73" - 105" (GROUNDWATER)

MOTTLING: N/A
GROUND WATER: 73"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: 62"

PIT NO. 5

0" - 9" (ORGANICS, TOPSOIL, LARGE ROOTS)
9" - 35" (BONEY FINE SANDY LOAM)
35" - 64" (BONEY MEDIUM TO COARSE SANDS & GRAVEL)
64" - 78" (GROUNDWATER)

MOTTLING: N/A
GROUND WATER: 64"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: 64"

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 9, 2023

PIT NO. 8 - UNSUITABLE

0" - 22" (FILL MATERIAL)
22" - 24" (TOPSOIL)
24" - 29" (MOIST GREY GRAVELLY LOAMY MEDIUM SAND)
29" - 50" (VERY BONEY WET SAND AND GRAVEL)
50" - 68" (GROUNDWATER)

MOTTLING: N/A
GROUND WATER: 50" ACT 28"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: 24" ACT 2"

PIT NO. 9 - UNSUITABLE

0" - 29" (FILL MATERIAL)
29" - 35" (MOTTLED SILTY LOAMY FINE SAND)
35" - 76" (VERY BONEY SAND AND GRAVEL)
76" - 87" (GROUNDWATER)

MOTTLING: 29" ACT 0"
GROUND WATER: 76" ACT 47"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: 64"

NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION
PURPOSE: SITE DEVELOPMENT PLAN

HORIZONTAL ACCURACY: B OR D
TOPOGRAPHIC ACCURACY: T-2
HORIZONTAL DATUM: NAD 83
VERTICAL DATUM: NAVD 88

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.
THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.

2. REFERENCE PLANS:
(A) "SUBDIVISION PLAN PREPARED FOR CAMELIO AND BOMBARD, 597 EAST THOMPSON RD, THOMPSON, CT" BY J&D CIVIL ENGINEERS LLC, DATED OCTOBER 2, 2023, SCALED 1" = 100'

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 12/2/23 12107
DENNIS R. BLANCHETTE / DATE LICENSE
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2023 J&D CIVIL ENGINEERS, LLC

PERC TEST RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 9, 2023

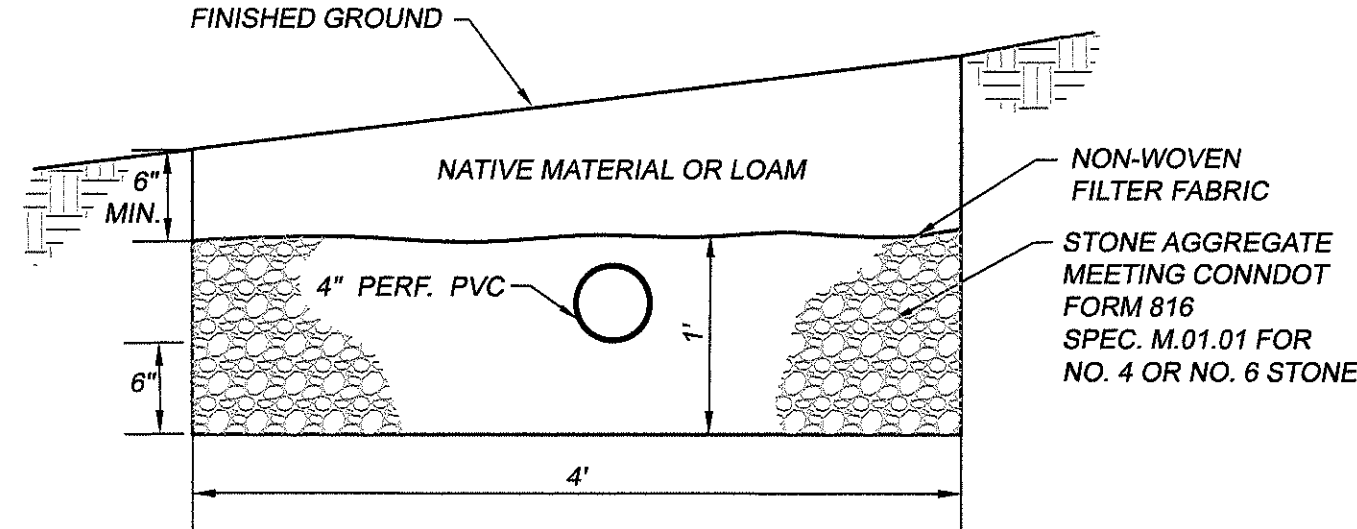
HOLE A NEAR TP 4 & 5

TIME	READING
10:31	9.50"
10:32	10.00"
10:33	10.50"
10:35	11.00"
10:40	12.50"
10:50	14.75"

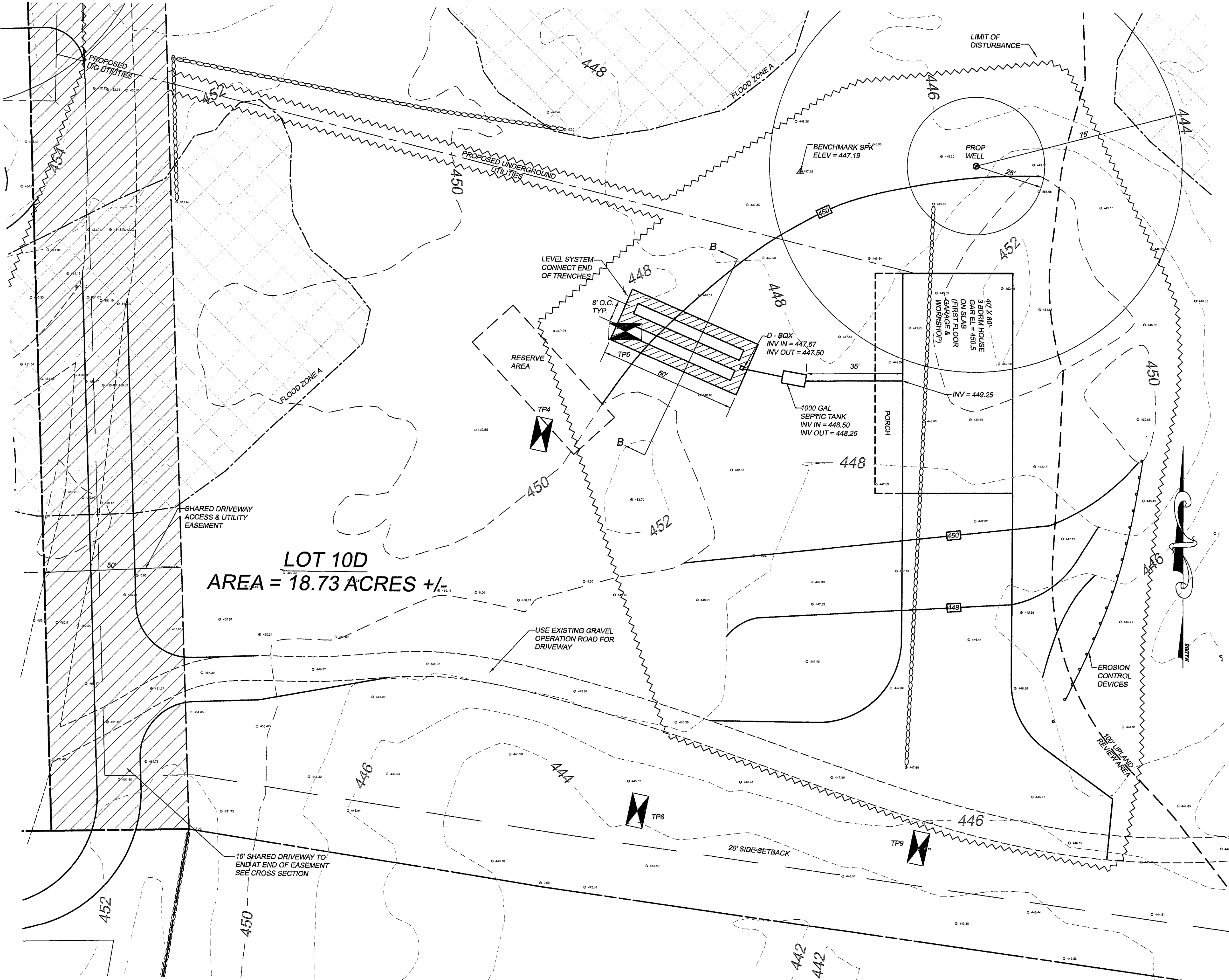
DEPTH: 12"/28"
RATE: 4.4 MIN/IN

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.



LEACHING TRENCH DETAIL
N.T.S.



SEPTIC SYSTEM DESIGN CRITERIA

NUMBER OF BEDROOMS: 3

SEPTIC TANK: 1000 GALLON

PERC RATE: 4.4 MINS/INCH

MOTTLING: N/A; LEDGE: N/A; WATER: N/A; RL: 62" - 64"; SLOPE: 1.0 - 2.0%

LEACHING AREA REQUIRED: 495 SQUARE FEET

LEACHING AREA PROVIDED: 166' OF TRENCHES, 48" WIDE, = 498 SQUARE FEET

MLSS NOT APPLICABLE

LSS PROVIDED = 50'

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

THE BUILDING, SEPTIC SYSTEM, AND WELL SHALL BE ACCURATELY STAKED IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL PRECAST STRUCTURES SUCH AS SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE SET LEVEL ON SIX INCHES OF COMPACTED GRAVEL BASE

SEPTIC TANK: TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2865 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION PIPE: 4" PVC PERFORATED, LAID LEVEL (MAX SLOPE 2" PER 100')

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS. BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50*
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

SELECT FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

LEGEND

	BUILDING SETBACK LINE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EDGE OF WETLANDS
	WETLAND BUFFER/UPLAND REVIEW AREA
	EROSION CONTROL DEVICES
	TEST PIT
	LEACHING TRENCH
	STONEWALL
	UTILITIES
	LIMIT OF DISTURBANCE
	FEMA FLOOD ZONE "A" EFFECTIVE 9-2023

SEPTIC SYSTEM PLAN - LOT 10D

PREPARED FOR

CAMELIO & BOMBARD

597 EAST THOMPSON RD - THOMPSON, CT

MAP 154 BLOCK 5 LOT 10D

J&D CIVIL ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 22210

SCALE: 1" = 20'

DATE: OCTOBER 2, 2023

SHEET: 7

TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK DATE TIME MAP #

NDDH FILE # 21000260

Received
OCT 03 2023
Thompson Wetlands Office
SUB23027, WAA23028, WAA23029

Agenda Item E) b) New Applications

4. **WAA23028**, John Camelio, 597 East Thompson Road
(Assessor's map 154, block 5, lot 10C), New house within 100-foot upland review area, stamped received 10/4/23. Review pending.

For Wetland Agent:	rev 01/11
APPLICATION #WAA	<u>WAA23028</u>
DATE RECEIVED	<u>10/3/23</u>

Application
for
Wetland Agent Approval
to conduct a regulated activity
LOT 10D

Received
OCT 03 2023
Thompson Wetlands Office

Town of Thompson
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Received
10/3/23
11:20
THOMPSON CT

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Date September 29, 2023

1) Name of Applicant John Camelio

Home Address 597 East Thompson Rd, Thompson CT 06277

Home Tele & Hrs (781) 589 - 6188 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CLP 3148, northeast side of East Thompson Rd

Street or Road Location 597 East Thompson Rd

Tax Assessor's Map # 154

Block # 5

Lot # that appears on site plan 10D

Deed Information : Volume # 995

Page # 238

5) The property to be affected by the proposed activity contains:

Soil Types Merrimac, Rippowam sandy loam and Hinckley loamy sand

Wetland Soils ☒ (Swamp ☐ Marsh ☐ Bog ☐ Vernal Pool ☐)

Watercourses ☒ (Lake or Pond ☐ Stream or River ☒ Intermittent Stream ☐)

Floodplain - ☒ Yes / ☐ No

6) Description of the Activity for which Approval is requested Construction of a single family home

with proposed grading within the 100' upland review area.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature. (SEE SOIL SCIENTIST LETTER)
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- N/A ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- N/A ☐ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- N/A ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- N/A ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods. (IN COVER LETTER)

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list

11) Estimated start date Spring 2024


Estimated date of completion (all disturbed areas are stabilized) 2025

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.



Signature of Applicant

10-3-23

Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

597 EAST THOMPSON RD- ABUTTERS

Site Address	Owner Name	Owner Address	City	State	Zip
580 EAST THOMPSON RD	KUSZEWSKI JOSEPH R	580 EAST THOMPSON RD	THOMPSON	CT	06277
614 EAST THOMPSON RD	ELLIOTT DAVID E	614 EAST THOMPSON RD	THOMPSON	CT	06277
565 EAST THOMPSON RD	SEALE MICHELLE A	565 EAST THOMPSON RD	THOMPSON	CT	06277
0 EAST THOMPSON RD	SAVOLIS MARIA R + MARK W REV TRUSTS	551 EAST THOMPSON RD	THOMPSON	CT	06277
591 EAST THOMPSON RD	ROBBINS MICHAEL J +	591 EAST THOMPSON RD	THOMPSON	CT	06277
611 EAST THOMPSON RD	FAFARD KYLE H	611 EAST THOMPSON RD	THOMPSON	CT	06277
601 EAST THOMPSON RD	FAFARD CHRIS M + EDELLEN B	601 EAST THOMPSON RD	THOMPSON	CT	06277
631 EAST THOMPSON RD	DENNIS KAREN	631 EAST THOMPSON RD APT A	THOMPSON	CT	06277
635 EAST THOMPSON RD	DURAND RAYMOND J + SUZANNE C	635 EAST THOMPSON RD	THOMPSON	CT	06277
637 EAST THOMPSON RD	JOSEY SCOTT	637 EAST THOMPSON RD	THOMPSON	CT	06277
144 NEW RD	NEUNDORF ROBERT C	144 NEW RD	THOMPSON	CT	06277
134 NEW RD	PEDERSEN KRISTINE A	134 NEW RD	THOMPSON	CT	06277
64 NEW RD	LEE GREGORY S + MAUREEN E	64 NEW RD	THOMPSON	CT	06277
0 NEW RD	NEUNDORF DEBRA L	144 NEW RD	THOMPSON	CT	06277
0 NEW RD	AUGER GEORGE L + BERNICE	5940 30TH AVE SOUTH APT 304	GULFPORT	FL	33707
124 NEW RD	SAMANTHAS CONSTRUCTION INC	62 ELM ST	SOUTHBRIDGE	MA	01550
594 EAST THOMPSON RD	BARLOW MARIE C	594 EAST THOMPSON RD	THOMPSON	CT	06277
128 NEW RD	H C ROSE CONTRACTORS INC	3748 FLAT RIVER RD	COVENTRY	RI	02816
608 EAST THOMPSON RD	COSMA JENNY L	608 EAST THOMPSON RD	THOMPSON	CT	06277
125 NEW RD	COSTA JOSHUA J + MARIE P	125 NEW RD	THOMPSON	CT	06277
118 NEW RD	GRAY SHAUN D	118 NEW RD	THOMPSON	CT	06277




597 E Thompson Rd, Thompson, CT 06277 to
Thompson Town Hall, 815 Riverside Dr, North Grosvenor Dale, CT 06255

Drive 7.2 miles, 12 min

Direction from property to Thompson Town Hall

597 E Thompson Rd
Thompson, CT 06277

- ↑ 1. Head southwest on E Thompson Rd
2.8 mi
 - ↩ 2. Turn left onto CT-193 S
1.6 mi
 - ↪ 3. Turn right onto CT-200 W/Thompson Hill Rd
1.9 mi
 - ↪ 4. Turn right onto CT-12 N/Riverside Dr
1.0 mi
-  Destination will be on the right

Thompson Town Hall
815 Riverside Dr, North Grosvenor Dale, CT 06255



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments
Wetland Delineations and Permitting ~ E&S/Site Monitoring
Wetland function and value assessments

11/27/2020

Provost & Rovero, Inc.
57 East Main St.
P.O. Box 191
Plainfield, CT. 06374

Attn: Mr. David Held

Re: Wetland delineation, Rawson Property, East Thompson Rd. Thompson, CT.

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourse on the above referenced property.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and inland wetlands and watercourse.

These wetland soils have been delineated in accordance with the standards of the National Cooperative Soil Survey and the definitions of wetlands as found in the Connecticut Statutes, Chapter 440, Section 22A-38.

Flag numbers WF-1 thru WF-79 delineate a palustrine forested wetlands and the Five Mile River located in the eastern portion of the property.

Flag numbers WF-1A through Wf-17A delineate the palustrine forested wetlands and the Five Mile River located to the west of the existing access road into the property.

Flag numbers WF-1B through WF-10B delineate wetland soils found in an excavated depression adjacent to the western property boundary.

Within these wetlands, low chroma colors and shallow redoximorphic features were found within 20 inches of the soil surface, indicating that the soils are hydric.

The remainder of the property was investigated for the presence of inland wetlands and watercourses and none were found.

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

Joseph R. Theroux

Joseph R. Theroux
Certified Soil Scientist
Member SSSSNE, NSCSS, SSSA.

Agenda Item E) b) New Applications

5. **WAA23029**, John Camelio, 597 East Thompson Road
(Assessor's map 154, block 5, lot 10D), New house within 100-foot upland review area, stamped received 10/4/23. Review pending.

For Wetland Agent: rev 01/11
APPLICATION #WAA WAA 23029
DATE RECEIVED 10/3/23

Application
for
Wetland Agent Approval
to conduct a regulated activity
LOT 10C

Received
OCT 03 2023
Thompson Wetlands Office

Town of Thompson
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

RECEIVED
TOWN OF THOMPSON, CT.
2023 OCT -3 11:22
TOWN CLERK
Janice Webb

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
*Pole Number *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Date September 29, 2023

1) Name of Applicant John Camelio

Home Address 597 East Thompson Rd, Thompson CT 06277

Home Tele & Hrs (781) 589 - 6188 Business Tele & Hrs _____

Business Address _____

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CLP 3148, northeast side of East Thompson Rd

Street or Road Location 597 East Thompson Rd

Tax Assessor's Map # 154

Block # 5

Lot # that appears on site plan 10C

Deed Information : Volume # 995

Page # 238

5) The property to be affected by the proposed activity contains:

Soil Types Merrimac, Rippowam sandy loam and Hinckley loamy sand

Wetland Soils ☒ (Swamp ☐ Marsh ☐ Bog ☐ Vernal Pool ☐)

Watercourses ☒ (Lake or Pond ☐ Stream or River ☒ Intermittent Stream ☐)

Floodplain - ☒ Yes / ☐ No

6) Description of the Activity for which Approval is requested Construction of a single family home

with proposed work withing the 100' upland review area.

9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

See attached list

11) Estimated start date Spring 2024


Estimated date of completion (all disturbed areas are stabilized) 2025

12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.



Signature of Applicant

10-3-23

Date

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.




597 E Thompson Rd, Thompson, CT 06277 to

Drive 7.2 miles, 12 min

Thompson Town Hall, 815 Riverside Dr, North Grosvenor Dale, CT 06255

Direction from property to Thompson Town Hall

597 E Thompson Rd
Thompson, CT 06277

- ↑ 1. Head southwest on E Thompson Rd
2.8 mi
 - ↩ 2. Turn left onto CT-193 S
1.6 mi
 - ↘ 3. Turn right onto CT-200 W/Thompson Hill Rd
1.9 mi
 - ↘ 4. Turn right onto CT-12 N/Riverside Dr
1.0 mi
-  Destination will be on the right

Thompson Town Hall
815 Riverside Dr, North Grosvenor Dale, CT 06255

597 EAST THOMPSON RD- ABUTTERS

Site Address	Owner Name	Owner Address	City	State	Zip
580 EAST THOMPSON RD	KUSZEWSKI JOSEPH R	580 EAST THOMPSON RD	THOMPSON	CT	06277
614 EAST THOMPSON RD	ELLIOTT DAVID E	614 EAST THOMPSON RD	THOMPSON	CT	06277
565 EAST THOMPSON RD	SEALE MICHELLE A	565 EAST THOMPSON RD	THOMPSON	CT	06277
0 EAST THOMPSON RD	SAVOLIS MARIA R + MARK W REV TRUSTS	551 EAST THOMPSON RD	THOMPSON	CT	06277
591 EAST THOMPSON RD	ROBBINS MICHAEL J +	591 EAST THOMPSON RD	THOMPSON	CT	06277
611 EAST THOMPSON RD	FAFARD KYLE H	611 EAST THOMPSON RD	THOMPSON	CT	06277
601 EAST THOMPSON RD	FAFARD CHRIS M + EDELLEN B	601 EAST THOMPSON RD	THOMPSON	CT	06277
631 EAST THOMPSON RD	DENNIS KAREN	631 EAST THOMPSON RD APT A	THOMPSON	CT	06277
635 EAST THOMPSON RD	DURAND RAYMOND J + SUZANNE C	635 EAST THOMPSON RD	THOMPSON	CT	06277
637 EAST THOMPSON RD	JOSEY SCOTT	637 EAST THOMPSON RD	THOMPSON	CT	06277
144 NEW RD	NEUNDORF ROBERT C	144 NEW RD	THOMPSON	CT	06277
134 NEW RD	PEDERSEN KRISTINE A	134 NEW RD	THOMPSON	CT	06277
64 NEW RD	LEE GREGORY S + MAUREEN E	64 NEW RD	THOMPSON	CT	06277
0 NEW RD	NEUNDORF DEBRA L	144 NEW RD	THOMPSON	CT	06277
0 NEW RD	AUGER GEORGE L + BERNICE	5940 30TH AVE SOUTH APT 304	GULFPORT	FL	33707
124 NEW RD	SAMANTHAS CONSTRUCTION INC	62 ELM ST	SOUTHBRIDGE	MA	01550
594 EAST THOMPSON RD	BARLOW MARIE C	594 EAST THOMPSON RD	THOMPSON	CT	06277
128 NEW RD	H C ROSE CONTRACTORS INC	3748 FLAT RIVER RD	COVENTRY	RI	02816
608 EAST THOMPSON RD	COSMA JENNY L	608 EAST THOMPSON RD	THOMPSON	CT	06277
125 NEW RD	COSTA JOSHUA J + MARIE P	125 NEW RD	THOMPSON	CT	06277
118 NEW RD	GRAY SHAUN D	118 NEW RD	THOMPSON	CT	06277



Joseph R. Theroux

~ Certified Forester/ Soil Scientist ~

Phone 860-428-7992~ Fax 860-376-6842

P.O. Box 32, Voluntown, CT. 06384

Forestry Services ~ Environmental Impact Assessments
Wetland Delineations and Permitting ~ E&S/Site Monitoring
Wetland function and value assessments

11/27/2020

Provost & Rovero, Inc.
57 East Main St.
P.O. Box 191
Plainfield, CT. 06374

Attn: Mr. David Held

Re: Wetland delineation, Rawson Property, East Thompson Rd. Thompson, CT.

Dear Mr. Held,

At your request I have delineated the inland wetlands and watercourse on the above referenced property.

Fluorescent pink flags with a corresponding location number delineate the boundary between the upland soils and inland wetlands and watercourse.

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Flag numbers WF-1 thru WF-79 delineate a palustrine forested wetlands and the Five Mile River located in the eastern portion of the property.

Flag numbers WF-1A through Wf-17A delineate the palustrine forested wetlands and the Five Mile River located to the west of the existing access road into the property.

Flag numbers WF-1B through WF-10B delineate wetland soils found in an excavated depression adjacent to the western property boundary.

Within these wetlands, low chroma colors and shallow redoximorphic features were found within 20 inches of the soil surface, indicating that the soils are hydric.

The remainder of the property was investigated for the presence of inland wetlands and watercourses and none were found.

If you have any questions concerning the delineation or this report, please feel free to contact me.

Thank you,

Joseph R. Theroux

Joseph R. Theroux
Certified Soil Scientist
Member SSSSNE, NSCSS, SSSA.

Agenda Item E) b) New Applications

6. **WAA23030**, Joseph & Diane Przybylek, 76 Jezierski Lane
(Assessor's map 116, block X, lot J-Z), Retaining wall & stairs
within 100-foot upland review area, stamped received 10/3/23.
Under Review.

OCT 03 2023

Thompson Wetlands Office

For Wetland Agent:	rev 01/11
APPLICATION #WAA	WAA 23030
DATE RECEIVED	10/3/23

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

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Please provide the following information:

- Directions to the property from the Thompson Town Hall
 - Location of Utility Pole nearest your property
- *Pole Number *Location of property in reference to Pole

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FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.

If you need assistance contact the Wetland Agent (office 860- 923-1852)

Fax 860-923-9897

www.thompsonct.org/wetlands

Date October 2, 2023

1) Name of Applicant Joseph & Diane Przybylek
Home Address 76 Jezierski Lane Thompson, CT 06277
Home Tele & Hrs (508) 847-8379-Diane Business Tele & Hrs —
Business Address —

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) —
Home Address —
Business Address —
Home Tele & Hrs — Business Tele & Hrs —

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CLIP 2032
Street or Road Location 76 Jezierski Lane
Tax Assessor's Map # 116
Block # X
Lot # that appears on site plan J12
Deed Information : Volume # —
Page # —

Received

OCT 03 2023

Thompson Wetlands Office

5) The property to be affected by the proposed activity contains:

Soil Types Gravel
Wetland Soils — (Swamp — Marsh — Bog — Vernal Pool —)
Watercourses Little Pond Lake (Lake or Pond —) Stream or River — Intermittent Stream —
Floodplain - Yes (No)

6) Description of the Activity for which Approval is requested Retaining walls (2) and stairs beside house. See attached description.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a) Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b) Location of perc tests and soil test holes.
(c) Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? NO If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

- 10) Names and Addresses of Abutters:

Diane Adams

80 Jezieriski Lane

- 11) Estimated start date Spring 2024

Estimated date of completion (all disturbed areas are stabilized) Spring 2024

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

Received

OCT 03 2023

Joseph J. Pydyk
Diane M. Przybylski
Signature of Applicant

10/2/2023
Date

Thompson Wetlands Office

Consent of Landowner if other than applicant

Date

Please attach a written consent by the owner if applicant is not the property owner.

Ms. Diane Przybylek
76 Jezierski Ln
Thompson, CT 06277



Walls and stairs Existing pressure treated stairs and stone to be removed.

New walls to be built next to foundation with return walls leading up staircase.

Stairs to be techo roka Riviera 4' wide. 2 Walls to be techo sema shale grey with cap.

Landings between stairs to be techo Eva Champlain grey.

Proper drainage to be installed behind walls.

All areas to be compacted properly.

All areas disturbed to be corrected Loam and handseed to back up stairs, and Walkway landings.

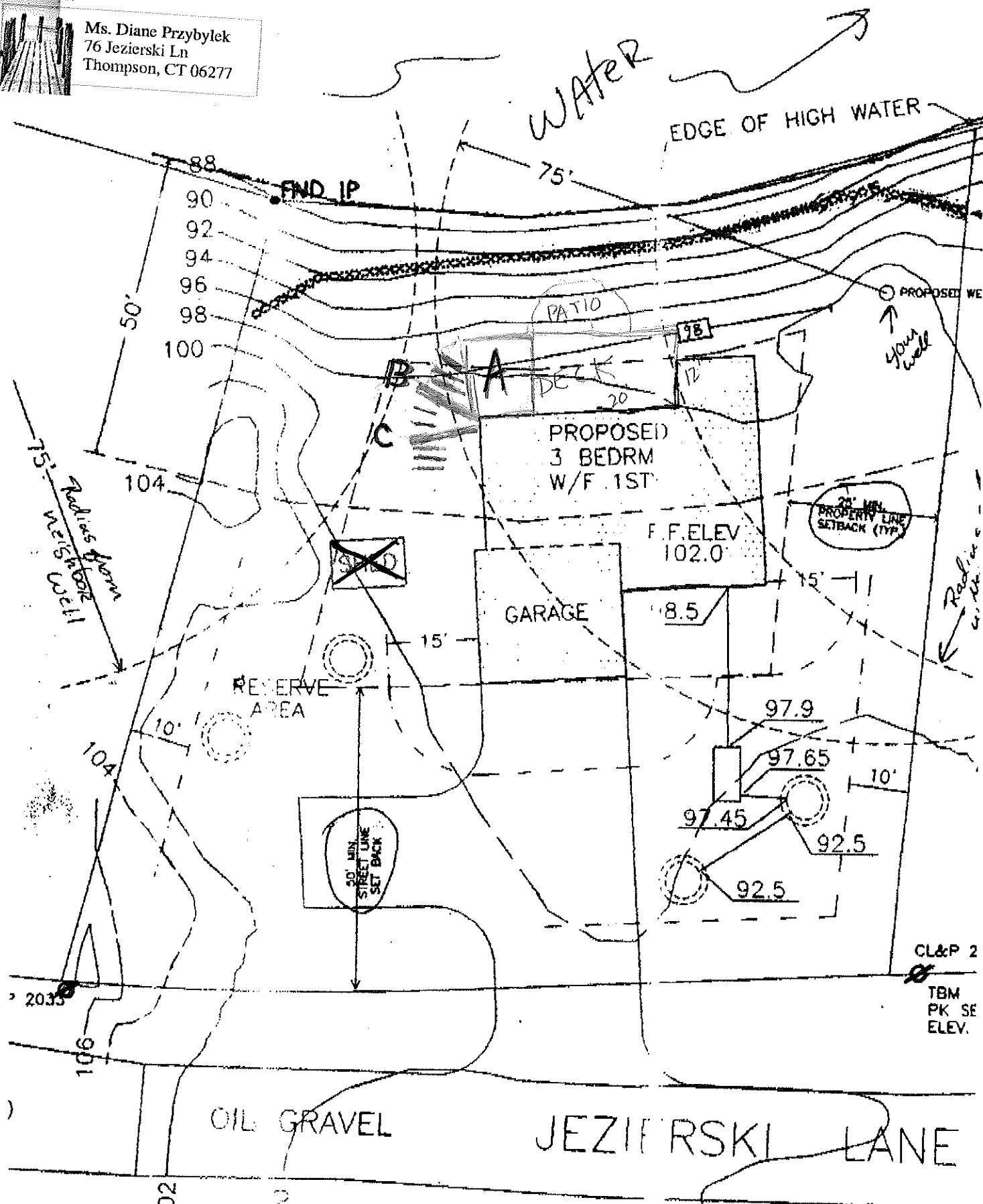
Silt fence and straw wattle to be installed for erosion control.

All permits required to be sourced by homeowner. All permits to be paid for by homeowner.

Received 11-24-97



Ms. Diane Przybylek
76 Jezierski Ln
Thompson, CT 06277



A - existing flower bed to be regraded approx 4-6" flatter.
will replant (Area approx 10' x 8')

B/C retaining walls to be built along side of foundation with
approx. 8 stairs 4 feet wide

Ms. Diane Przybylek
76 Jezierski Ln
Thompson, CT 06277



wall
wall
Starts

Levelled
Stairs

Erosion Control Area



Agenda Item E) b) New Applications

7. **WAA23031**, Rich Audet/RTA Builders LLC, 33 Totem Pole Drive (Assessor's map 141, block 17, lot 60), Teardown house & rebuild within 100-foot upland review area, stamped received 10/5/23. Under Review.

For Wetland Agent:	rev 01/11
APPLICATION #WAA	23031
DATE RECEIVED	10/4/2023
	\$110.00 pd -dh

Application
for
Wetland Agent Approval
to conduct a regulated activity

Received

OCT 05 2023

Thompson Wetlands Office

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole

~~NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.~~

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Received

OCT 05 2023

Thompson Wetlands Office

Date 9/28/2023

1) Name of Applicant Rich Audet / RTA Builders LLC
Home Address 50 Wrightson Drive Thompson, CT 06277
Home Tele & Hrs 860-428-5377 Business Tele & Hrs Same / 24 hrs
Business Address Same

2) Applicant's interest in the Property: Owner ☒ Other ☐
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) Timothy Young
Home Address 33 Totem Pole Drive Thompson, CT 06277
Business Address N/A
Home Tele & Hrs 970-213-0733 Business Tele & Hrs N/A

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location _____
Street or Road Location 33 Totem Pole Drive
Tax Assessor's Map # 141
Block # 17
Lot # that appears on site plan 60
Deed Information : Volume # 0439
Page # 0148

5) The property to be affected by the proposed activity contains:

Soil Types _____
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses ☒ (Lake or Pond ☒ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes / No

6) Description of the Activity for which Approval is requested Emergency Residential
Home Rebuild

- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern. Completed online application 9/28/2023 #101316

- 10) Names and Addresses of Abutters:

Gisele Irene Cornell 35 Totem Pole Drive
Charles & Nancy Wreschner 29 Totem Pole Drive

- 11) Estimated start date ASAP

Estimated date of completion (all disturbed areas are stabilized) May 1, 2024

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

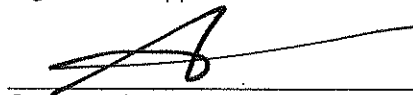
The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.


Signature of Applicant

9/28/2023
Date


Consent of Landowner if other than applicant

9/28/23
Date

Please attach a written consent by the owner if applicant is not the property owner.

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☐ 1-Locus map at approx. 1" = 1000'
- ☐ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☐ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☐ 4-Soil types on the property.
- ☐ 5-Flood Hazard area classification and delineation.
- ☐ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☐ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☐ 8-Topographical contours, proposed and existing.
- ☐ 9-Location and supporting data for proposed drainage.
- ☐ 10-Date, scale (recommend 1"=40') and North arrow.
- ☐ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☐ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☐ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? NO If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

9/28/2023 Getting Started 10am -
w/ Deeps eZportal

filings.deep.ct.gov/DEEPportal

Natural Diversity Database Review Requests
NDDDB & Site assessments

Step 1 & Step 3

PIN: 557798

User: RTABuilders

Question #1 - City you met spouse/Putnam

Pass: RTA Bld #33

#2 - Concert/KISS

#3 Job (1st)/RTA Builders

#4 Fave Pet/Chrissie

#5 Childhood/Norman

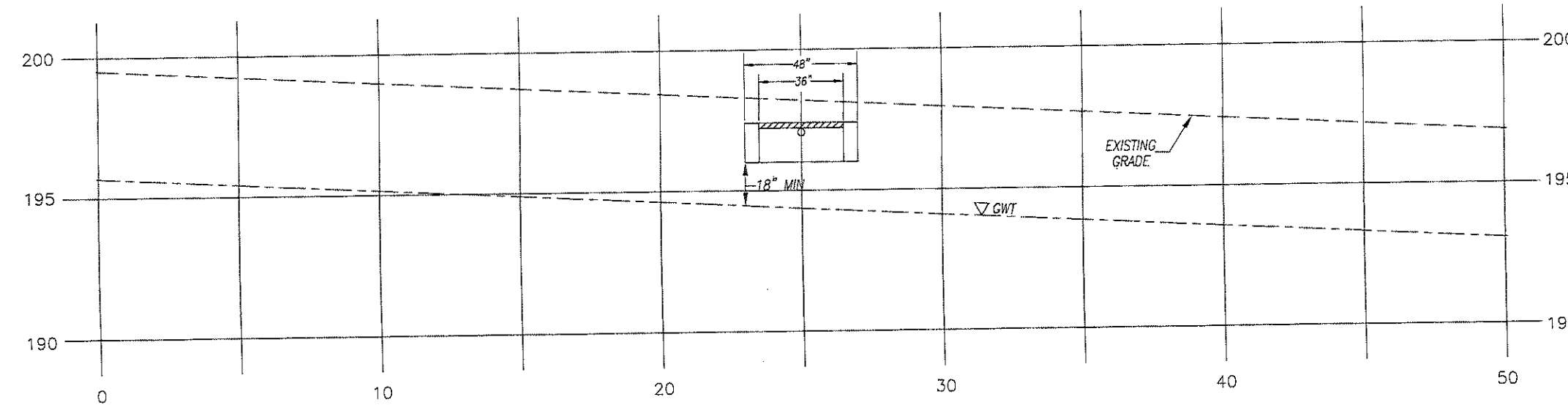
New application = #101316

Applicant = RTA Builders LLC

Page 5 - Sanitarian

Drew a Polygon-freehand

Complete



CROSS SECTION "A-A"
SCALE: 1" = 5'

Erosion and sediment controls will be achieved by means of hay bales and silt fence which is depicted in green.

Limits of disturbance depicted in red.

No stock pile of materials. Material to be removed from site as excavated.

Gisele Irene Cornell
Map 141, Block 17, Lot 61

QUADDICK RESERVOIR

AREA = 0.14± ACRES
(7,000 S.F. ±)

TOTEM POLE DRIVE

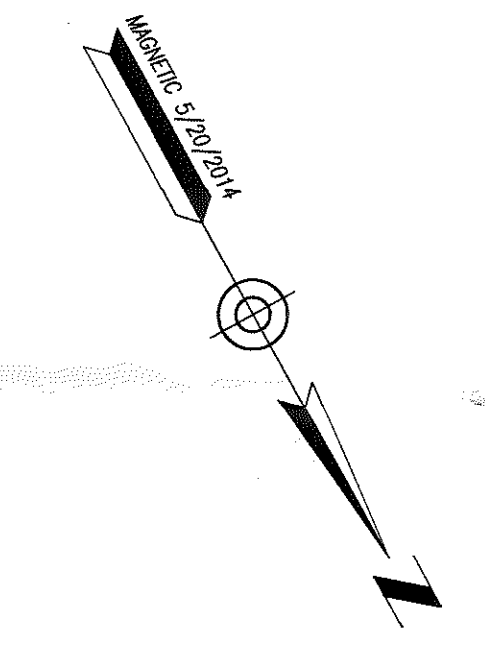
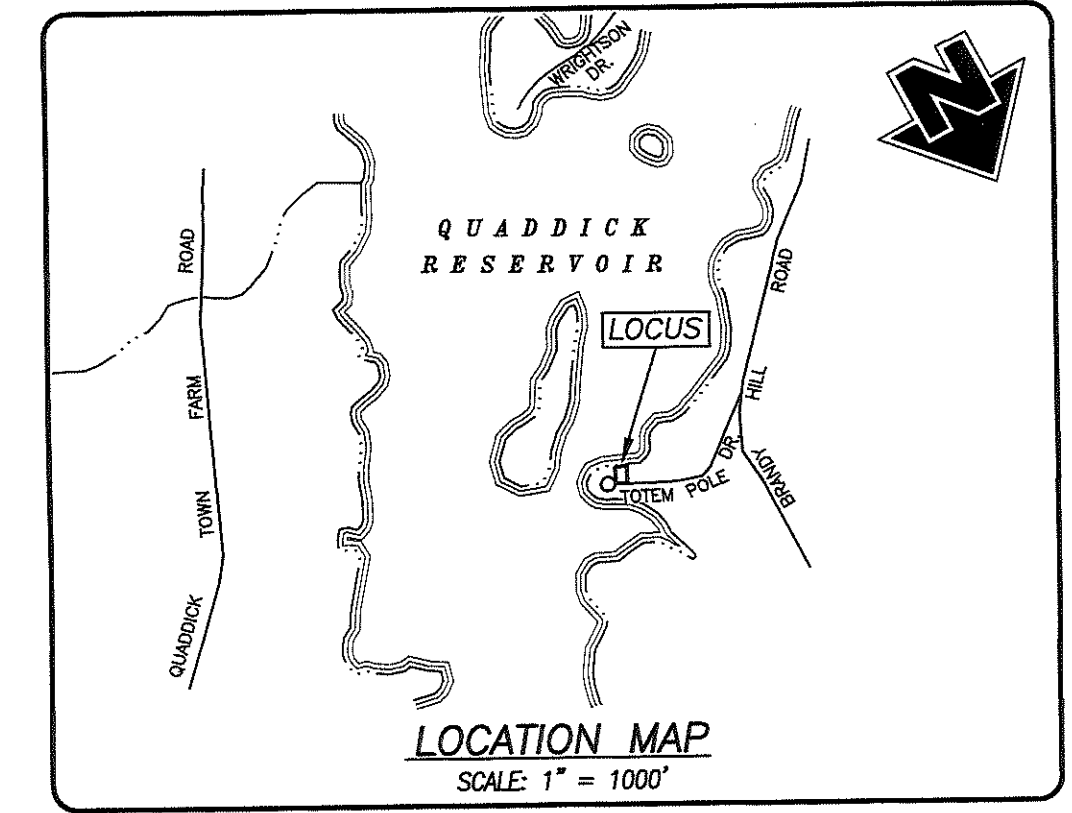
Peter E. & Melissa H. Bonin
Map 141, Block 17, Lot 64

TEST HOLE DATA - July 30, 2014
Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
R	0'-5" 5'-15" 15'-77" Ledge GWT Mottling	Organics/Topsoil Reddish Brown fine loamy sand & gravel Coarse loamy sand & gravel N/A N/A N/A

SEPTIC SYSTEM DESIGN DATA

Percolation Rate	= 3.3 min. / in.
2 bedroom house requires	= 375 s.f. effective leaching area
Effective Leaching area	= 11 s.f. / l.f. of Mantis 536-8
Length Required	= 375/11 = 34.19 l.f.
Length Provided	= 35 l.f. of Mantis
Min. Leaching System Spread (MLSS)	= N/A
MLSS Provided	= 35'
LEACHING FIELD	
1 row of Eljen Mantis 536-8 septic leaching units	



NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996; This map was prepared from record research, other maps, limited field measurements and other sources, it is not to be construed as a Property/Boundary or Limited Property/Boundary Survey and is subject to such facts as said surveys may disclose.
 - This survey conforms to a Class "C" horizontal accuracy.
 - Topographic features conform to a Class "1-2", "V-2" vertical accuracy.
 - Survey Type: General Location Survey.
- Zone = R-40.
- Owner of record: Arnold R. Weiss & Olive Weiss
66 Fairy Lake Road
Salem, CT 06420
- Parcel is shown as Lot #60, Block #17 on Assessors Map #141.
- Elevations shown are based on an assumed datum. Contours shown are taken from actual field survey. Contour interval = 1'.
- Test Pit data taken from NDDH file number 14000073.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.



MAP REFERENCE:

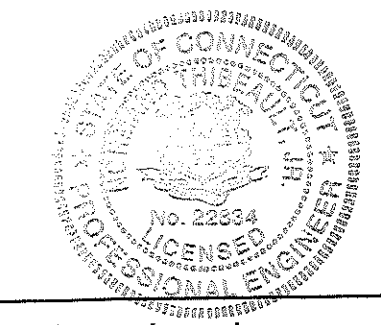
"Plan of lake Quaddick Shore - Thompson, Conn. - Developed by Pioneer Lumber Co. - Scale: 1" = 50' - Date: Aug. 30, 1947
Prepared by: Gilbert F. Perry, C.E." On file as Map #170 in the Town of Thompson Land Records.

DESIGN DATA
SEPTIC TANK
1000 GALLON
TWO COMPARTMENT
F/L IN = 197.00
F/L OUT = 198.00
DISTRIBUTION BOX
D-1 (STANDARD)
F/L IN = 197.17
F/L OUT = 197.00

AS-BUILT DATA
SEPTIC TANK
1000 GALLON
TWO COMPARTMENT
F/L IN = 196.20
F/L OUT = 195.84
DISTRIBUTION BOX
D-1 (STANDARD)
F/L IN = 195.38
F/L OUT = 195.36

REQUESTED EXCEPTIONS
PROPOSED NEW WELL
• SETBACK REDUCTION FROM 75' TO 67' TO SEPTIC SYSTEM OF BONIN
• SETBACK REDUCTION FROM 75' TO 69' FROM SEPTIC SYSTEM OF WRESCHNER
• SETBACK REDUCTION FROM 75' TO 45' FROM SEPTIC SYSTEM ON SUBJECT PROPERTY
PROPOSED NEW SEPTIC SYSTEM
• SETBACK REDUCTION FROM 75' TO 45' TO NEW WELL ON SUBJECT PROPERTY
• SETBACK REDUCTION FROM 75' TO 52' TO UN-USED WELL ON PROPERTY OF CORNELL

<u>LEGEND</u>	
F.F.	FINISHED FLOOR
○	IRON PIN FOUND
⊗	UTILITY POLE
---	EXISTING CONTOURS
	PROPOSED CONTOURS
⊗	PERCOLATION TEST HOLE
	TEST HOLE
---	SILT FENCE



I have reviewed the as-built septic system shown on this plan for conformance with the design grades and location, and find it acceptable for the as-built information shown only.
Norman E. Thibault, Jr., P.E.
12/16/14

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
GREG A. GLAUDE, L.S.
12-16-2014
LIC. NO. 70191
DATE

GENERAL LOCATION SURVEY
SEPTIC SYSTEM AS-BUILT
PREPARED FOR
ARNOLD R. WEISS & OLIVE WEISS
33 TOTEM POLE DRIVE
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying
114 Westcott Road
P.O. Box 421
Dayville, Connecticut 06241
(860) 779-7299 - FAX: (860) 774-3703

DATE: 5/21/2014	DRAWN: AMR
SCALE: 1" = 10'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 14040

Agenda Item E) c) Applications received after Agenda was published:

None

Agenda Item F) Permit Extensions / Changes

1. Request to transfer to Matthew Tavernier: **IWA21030**, 0 Sunnyside Drive (Assessor's map 113, block 1, lot 3), construction of driveway and septic for a new single-family home, portions of which are in wetlands 100-foot upland review area, issued 3/8/22 to Max Candidus.

Agenda Item G) a) Violations & Pending Enforcement Actions

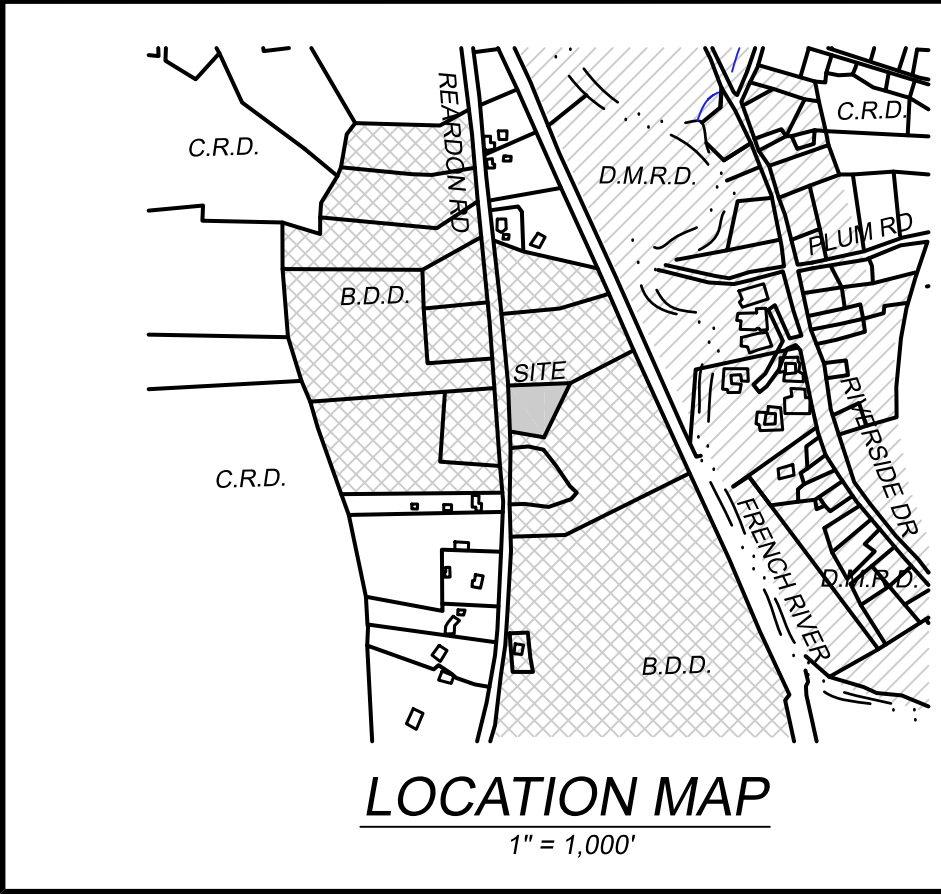
1. **Notice of Permit Violation VIOL21036**, Permit IWA20022, Marc Baer, 1227 Thompson Rd (Assessor's map 116, block 24, lot 10), grades not as authorized in modified plan approved by the Commission on February 9, 2021 - status.

Agenda Item G) b) Violations & Pending Enforcement Actions

2. **Notice of Violation VIOL23013**, Wojiech, Sudyka, 1574
Riverside Drive, (Assessor's map 55, block 65, lot 14), grading
work exceeded scope of work authorized by Permit IWA 21028,
issued 5/22/23 - status

Agenda Item G) c) Violations & Pending Enforcement Actions

3. Permit **WAA22033**, Spicer Gas, Inc. 299 (formerly 0) Reardon Road, (Assessor's map 65, block 101, lot 6), letter sent on failing erosion and sediment controls and need for stormwater basin construction schedule.



SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: GENERAL LOCATION AND TOPOGRAPHIC

HORIZONTAL ACCURACY: CLASS B

VERTICAL ACCURACY: CLASS T2

PURPOSE: TO PERFORM AN AS-BUILT SURVEY OF RECENT CONSTRUCTION

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: "PROPOSED SUBDIVISION PLAN PREPARED FOR THOMPSON RAIL BUSINESS PARK, LLC, LOT 6, REARDON RD THOMPSON" BY KWP ASSOCIATES. DATED AUGUST 2008. ON FILE AS MAP #1603.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/2022 LICENSE NUMBER 12107

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2022 J&D CIVIL ENGINEERS, LLC

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- UPLAND REVIEW AREA
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH
- UTILITIES
- TREELINE

SITE DEVELOPMENT PLAN
PREPARED FOR
SPICER PLUS, INC.
0 REARDON RD - THOMPSON, CT
MAP 65 BLOCK 101 LOT 06D

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: **DDB**
CHECKED: **DRB**

REVISIONS:
2023-09-27 AS-BUILT

JOB NO: 22222

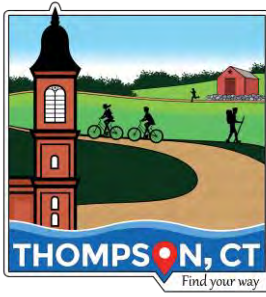
DATE: NOVEMBER 18, 2022

SCALE: 1" = 20'

SHEET: 1 OF 1

Agenda Item H) Other Business

1. 2024 Proposed Meeting Dates



TOWN OF THOMPSON

Inland Wetlands Commission

815 Riverside Drive - P.O. Box 899
North Grosvenordale, CT 06255
www.thompsonct.org

The Inland Wetlands Commission meets via ZOOM every second Tuesday

(except if that day is a holiday)

2024 Meeting Dates

Tuesday, January 9

Tuesday, February 13

Tuesday, March 12

Tuesday, April 9

Tuesday, May 14

Tuesday, June 11

Tuesday, July 9

Tuesday, August 13

Tuesday, September 10

Tuesday, October 8

Tuesday, November 12

Tuesday, December 10

Respectfully submitted,

Gloria Harvey, Recording Secretary for the Inland Wetlands Commission

Approved by the Inland Wetlands Commission at its October 17, 2023 Regular Meeting

Agenda Item I

Citizens Comments on Agenda Items

Agenda Item J Reports

- a) Budget & Expenditures
- b) Wetlands Agent Report

Agenda Item K, Correspondence

1. CC from Daniel Lesniewski, DEEP to GZA and others re North Grosvenordale Pond Dam

Dan Malo

From: Lesniewski, Daniel K <Daniel.Lesniewski@ct.gov>
Sent: Thursday, October 12, 2023 3:12 PM
To: Derek Schipper
Cc: Laskin, Anna; Lee, Charles; Dan Malo; Michael Licamele; Alexander Roper; Chad Cox
Subject: RE: Updated EAP for North Grosvenordale Pond Dam
Attachments: 0101745520-20 N.Grosv-IDA Report - Final.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Derek,

Just following up to see if you had an update on the status of the quarterly reports for North Grosvenordale Pond Dam.

Additionally, in reviewing the H&H report for North Grosvenordale Pond Dam (attached) it was noted in a few paragraphs that the railroad near the east embankment would be effected by a potential breach. Specifically, on page 40 of the H&H report it states, "Prior to activating the auxiliary spillway, the HEC-RAS model predicts sections of the East Rim Railroad Levee being overtopped outside the project limits from floods equal to or greater than the 100-year storm due to low spots along the flood control dike. This potentially results in the temporary inundation of the railroad tracks on the land-side of the East Rim Railroad Levee." Has the railroad company been contacted regarding the proposed work? The proposed design cannot increase flooding onto the railroad property without the railroad company's consent.

Dan Lesniewski

From: Derek Schipper <Derek.Schipper@gza.com>
Sent: Monday, September 11, 2023 4:06 PM
To: Lesniewski, Daniel K <Daniel.Lesniewski@ct.gov>
Cc: Laskin, Anna <Anna.Laskin@ct.gov>; Lee, Charles <Charles.Lee@ct.gov>; Marla Butts <wetlands@thompsonct.org>; Michael Licamele <mlicamele@rfnc.com>; Alexander Roper <Alexander.Roper@gza.com>; Chad Cox <chad.cox@gza.com>
Subject: RE: Updated EAP for North Grosvenordale Pond Dam

EXTERNAL EMAIL: This email originated from outside of the organization. Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Thank you Dan.

GZA has inspected the dam quarterly. We will get you these reports.

Derek

From: Lesniewski, Daniel K <Daniel.Lesniewski@ct.gov>
Sent: Monday, September 11, 2023 3:38 PM
To: Derek Schipper <Derek.Schipper@gza.com>
Cc: Laskin, Anna <Anna.Laskin@ct.gov>; Lee, Charles <Charles.Lee@ct.gov>; Marla Butts <wetlands@thompsonct.org>; Michael Licamele <mlicamele@rfnc.com>; Alexander Roper <Alexander.Roper@gza.com>; Chad Cox <chad.cox@gza.com>
Subject: [EXTERNAL] Updated EAP for North Grosvenordale Pond Dam

Hi Derek,

Thank you for submitting the attached updated EAP for the North Grosvenordale Pond Dam. We have reviewed the updates to the EAP and accept the changes. Please be sure to send updated copies of the revised EAP to the record holders listed on page B-5 of the EAP (page 56 of the pdf).

In the attached Notice of EAP Non-Compliance it is noted that in addition to the EAP, a regulatory inspection is due for this dam in 2023 and an agreement was reached to send quarterly inspections to DEEP beginning on 4/13/2022. Has this regulatory inspection already taken place? If so, please submit the inspection report at your earliest convenience. If not, please send over the most recent quarterly inspections for this dam as the last one that DEEP received was over a year ago on 8/22/2022.

Daniel Lesniewski
Civil Engineer II
Dam Safety
Water Planning and Management Division
Bureau of Water Protection and Land Reuse
Connecticut Department of Energy and Environmental Protection
79 Elm Street, Hartford, CT 06106-5127
P: 860.424.3384 | E: daniel.lesniewski@ct.gov



www.ct.gov/deep

***Conserving, improving and protecting our natural resources and environment;
Ensuring a clean, affordable, reliable, and sustainable energy supply.***

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Agenda Item L, Signing of Mylars - None

Agenda Item M, Comments by Commissioners

Agenda Item N, Adjournment