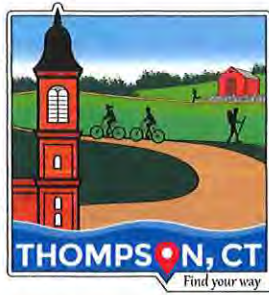


INLAND WETLANDS COMMISSION
TUESDAY, December 14, 2021
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C.a.
Action on Minutes of Previous Meeting
Minutes of November 9, 2021



**TOWN OF
THOMPSON**
Inland Wetlands
Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
E-MAIL: wetlands@thompsonct.org
www.thompsonct.org

RECEIVED
TOWN OF THOMPSON, CT.

2021 NOV 10 P 12:52
Linda Paradise
TOWN CLERK, ASST

MEETING MINUTES: TUESDAY, November 9, 2021 7:00PM

Via ZOOM Online Meeting Portal

- A) The meeting was Called to Order at 7:00 PM by Chairman George O'Neil, who announced the protocols for conducting the ZOOM meeting.

Members present: George O'Neil (Chairman), Diane Chapin (Treasurer), Francesca Morano (Commissioner), Marla Butts (Wetlands Agent), Dan Malo (Recording Secretary), and Amy St. Onge (First Selectman)

Members of the public: Daniel Blanchette, Janet Blanchette, Justyn Sudyka, Jason LaValle

- B) Appointment of Alternates – n/a

- C) Minutes of Previous Meetings –

- a) The September 14, 2021 Meeting Minutes were accepted as read.
- b) After discussion, the November 6, 2021 Site Walk minutes were accepted as read.

- D) Citizens Comments on Agenda Items – none

- E) Applications

- a) Old Applications

1. **WAA21025**, RT193, LLC, 49 Thompson Rd (Assessor's map 87, block 53, lot 8), to construct an event barn with associated parking and drainage, stamped received by Town Clerk 8/26/21, stamped received by Wetlands Office 8/30/21. Marla Butts anticipates Wetlands Agent Approval shortly review shortly. She sees no major issues after a preliminary plan review, which demonstrates sufficient erosion & sediment controls. No action is needed by the Commission.
2. **SUB21027**, Inn Acquisition Associates, LLC, 286 Thompson Hill Rd (Assessor's map 102, block 40, lot 2), regarding a 2 lot subdivision for conceptual approval, stamped received 9/7/ 21. This item was from a previous decision by the Commission and included on the agenda in error. No action is needed.
3. **IWA21028**, Wojciech Sudyka, 1574 Riverside Dr. (Assessor's map 55, block 65, lot 14), to fill 3,500 sq. ft. of wetlands and 100-foot upland review area for construction of commercial building and associated parking, stamped received 9/7/21, statutorily received 9/14/21. Marla Butts was granted an initial extension of 30 days by Mr. Sudyka, during which the Thompson Planning & Zoning Commission reviewed and APPROVED an associated application before them on October 25, 2021. The Planning & Zoning Commission approval is contingent upon the approvals of the Inland Wetlands Commission and the Northeast District Department of Health (NDDH).

Continued—

Daniel Blanchette of J&D Civil Engineers described his clients project to build an industrial building to the south of an existing building, in order to store construction equipment and materials related to their business. Wetlands were delineated on the property and show that the project area sits below the nearby pond level. There are several areas of wetlands to work around, as well as an area that will require filling. Mr. Blanchette noted that an application for the septic system was submitted to NDDH in August of 2021, but has yet to receive approval.

Commissioner Morano asked about the flow of water through the culvert at the proposed crossing and why the applicant required the crossing, instead of accessing the location from Route 12. Daniel Blanchette noted that the option was considered, but problematic for the turning radii of the large vehicles. The crossing is needed so that large trucks can straighten and align with the garage doors. Commissioner Morano asked how petroleum leakage from industrial equipment would be contained. Mr. Blanchette described the low-impact design proposed in accordance with state guidelines. The grass swale and infiltration system will have a capacity to treat 1" of stormwater and no runoff will be generated directly into wetlands.

Chairman O'Neil asked Daniel Blanchette if considerations were made to protect the riparian buffer and how species are anticipated to move between the different wetland sections on the property after development. Daniel Blanchette said that it was a challenging site, and this was the best alternative that they could come up, with based upon the needs of the client. Commissioner Morano asked what the culvert pipe size would be. Mr. Blanchette replied 15". Marla Butts asked if standing water was anticipated near the embankment at high flow. Mr. Blanchette said that he anticipates standing water at high flow and no standing water during low flow.

Marla Butts asked if the crossing could be overtopped and damaged in a heavy storm. Daniel Blanchette stated that it could be possible. Marla noted that the stream and its drainage under Route 12, could be the principal outfall of Perry Pond. Marla asked Mr. Blanchette if the Department of Transportation (DOT) had any concerns about the crossing. Mr. Blanchette said that no concerns were brought up. Marla said she would inquire further.

Marla noted that there are no details on the existing underground storm system that feeds into the stream near the proposed crossing. Marla stated that Commissioners were unable to find the outfall during the site walk. Justyn Sudyka stated that an outfall is present, 2 feet below grade and covered in leaves and dirt. Dan Blanchette stated that the 4" pipe didn't factor into calculations because was impossible to model; after observations throughout the year, its flow was considered negligible.

Marla Butts asked if the dam was registered in Connecticut. Daniel Blanchette stated that it wasn't, but the dam was listed in Massachusetts, with no impact described. Marla noted that due to topography, all water would flow to Connecticut, and any failure of the dam would be of hazard to the Connecticut side of the property. Marla read deed information that shows the applicant owning the property directly north of the state line, which encompasses the full dam area. Marla suggested to the Commission that they should not approve the application until more information about the status and function of the dam could be obtained. Marla stated that the applicant should begin the process of registering the dam with the Department of Environmental Protection (DEEP) in order to obtain a hazard classification.

Continued—

Chairman O'Neil asked Marla Butts how long the process of dam registration would take. Commissioner Morano asked how the applicant would begin the process. Marla stated that a form was available on the DEEP website, however the process might take some time due to COVID-19 and staffing concerns. Marla plans to enquire with the DEEP and pertinent agencies in Massachusetts. Chairman O'Neil asked for a proposed next step, to which Marla suggested that the applicant withdraw the application and seek registration and evaluation of the dam. If the dam is in good shape, the application can proceed. The applicant should be allowed to resubmit for free. The alternative would be to schedule the matter for Public Hearing, and that procedure would incur additional costs, since an engineer/dam specialist would be retained to provide more information to the Commission where it is lacking.

Daniel Blanchette stated that stormwater systems are not designed in anticipation of dam failures and that if the dam were to fail, no stormwater system design could accommodate it. Janet Blanchette of J&D Civil Engineers stated that the dam is under DEEP jurisdiction, and that the dam has not previously been a concern. She asked the Commission if another approach to the application is possible, whereby the building is reviewed, minus the proposed crossing. The crossing could then be considered later. Commissioners were amenable to that approach. Janet Blanchette stated she would discuss that approach with her client. Marla said the Commission could act on revised drawings, if the applicant were to grant another extension. Wojciech Sudyka agreed to an additional 30-day extension. No further action was taken.

b) New Applications

1. **DEC21030**, Diane Chapin, 382 Lowell Davis Road (Assessor's map 99, block 43, lot 5F; to construct an outdoor riding arena in the 100-foot upland review area as an agricultural use permitted as a right. Application received 11/8/2021. No work is proposed in the wetlands, but some grading in the upland review area is needed. Marla instructed the applicant to seek a Declaratory Ruling from the Commission. Chairman O'Neil and Commissioner Morano were in agreement that the proposed work is not a regulated activity and is a property use that is permitted as a right.
2. **IWA21030**, Max Candidus, 0 Sunnyside Drive (Assessor's map 113, block 1, lot 3), to construct a driveway and septic system for a new single-family home, portions of which are in wetlands and the 100-foot upland review area. Stamped received 11/3/21, and statutorily received 11/9/21. Marla Butts noted that the property is located between two 'Significant Wetlands' that have been identified in Thompson, but that the property is a legal lot of record. Daniel Blanchette confirmed that the only access to the buildable area is from a driveway along the pond off of Sunnyside Drive. Marla noted that this application can only be received at this time.

F) Applications Received After Agenda was Published – none

G) Permit Extensions / Changes – None

H) Violations & Pending Enforcement Actions

- a) **Notice of Violation VIOL21019**, LIS Properties, L.L.C., 715 Riverside Dr. (Assessor's map 63, block 58, Lot 23), unauthorized structures diverting watercourse, flooding Thatcher Rd. & Riverside Dr., issued 7/7/21, request remove or response by 7/13/21. Structures have been removed but there are still concerns about the stream channel. Marla Butts will relay her concerns to the property owner and report back to the Commission.
- b) **Notice of Violation VIOL21023**, Jamie Piette, 0 & 73 Center Street (Assessor's map 16, block X, lots H & 2), unauthorized construction of retaining wall and associated backfill in or near Little Pond, issued 8/24/21, instructing to cease further work and submit A-2 survey. There are no new updates. Marla Butts will reach out to the property owner.

I) Other Business

- a) Subdivision Regulations – Marla Butts had concerns regarding changes to lot sizes and slope & ledge considerations in the Proposed Subdivision Regulation Revisions. Marla Butts asked Commissioners to review the proposed regulation revisions for the next meeting in advance of the closing of the comment period, January 31, 2022.
- b) 2022 Calendar – Marla Butts presented the 2022 Inland Wetlands Commission Site Walk and Meeting calendar. She noted that the Columbus Day meeting date would need to be shifted to another day. The Commission decided to meet on Wednesday, October 12, 2022.

J) Reports

- a) Budget & Expenditures – Diane Chapin reported that \$22,534.28 is available in the budget.
- b) Wetlands Agent Report –
 - 1. On September 15th, Marla received notification that the Court Appeal on Application **IWA15029**, River Junction Estates, LLC (Case # AC 42644) had been decided. On 9/16/21, she forwarded copies of that decision to the Commission and other town staff for review. This appeal only dealt with one count of a two-count appeal. It is Marla's understanding that if River Junction Estates did not prevail in its claim that "Starr Road" was a town road, then the remaining complaint would be moot. River Junction Estates did not prevail as the appellate court determined that there was inadequate evidence presented by River Junction Estates to prove "Starr Road" was a Town road. The decision, however does not seem to assign ownership of the area previously referred to as "Starr Road" in the application documents. Marla will follow up to determine the status with the Selectman's Office and town's legal counsel. Amy St. Onge noted that Attorney Mark Broulliard handled the case for the Town.
 - 2. Marla noted that due to her absence from the Office over the past 2 months, no progress has been made on the MS4 2019-2020 Annual Report or records disposal.
 - 3. **Complaint 20-14**, Philip Leblanc, 295 Linehouse Road, pond cleaning during drought and side casting spoils onto neighboring property. Marla intends to send a letter advising the owners to do no more earth moving or construction work in the pond or within 100 feet of the pond without first obtaining approval from the Commission.
 - 4. **Complaint 21-11**, Susan Eklund, 1208 Riverside Drive – A photo of the trailer was provided to the Building Office, with course of action to be determined, pending their investigation.

Continued—

5. **Complaint 21-14**, 9/27/21 a report of large stones being placed next to water at 3&4 Logee Road – This site was the subject of Wetlands Agent Approval **WAA21003** for clearcutting and regrading within the 100-foot upland review area. Gary Rawson responded to Marla's inquiry on 10/13/21 and reported that a number of large stones were uncovered during the regrading process and were placed just above the high-water line for the pond that abuts the clearing operation. Ground stabilization was pending and Marla will inspect the site as time allows.
6. **Permit IWA20022**, Marc Baer, 1227 Thompson Rd – On 10/18/21, Marla conducted an inspection to check on site conditions. Retaining walls are still under construction and the house foundation has been installed. There was no evidence of sediment reaching Little Pond. Some site conditions do not conform to the modified site plan approved by the Commission at its 2/9/21 meeting. There are now 2 retaining walls west of the house foundation – the modified plan shows only one. There is a concrete conduit placed over the well to be abandoned near the Harger property.

Marla noted there were numerous cracks in the west walls of the foundation and a portion of the western foundation wall appeared to be bowed inward. Marla notified the Building Official, who subsequently inspected the site and issued a Stop Work Order on 10/19/21, requiring Mr. Baer to address several foundation issues including the foundation failure and the space under the attached garage in the house plans. Marla will coordinate with the Building Official and take actions as needed to address any outstanding non-compliance issues with the approved modified plans.
7. Marla reviewed seven permits, which are listed in the Wetlands Agent Report.
8. The Commission paid \$58.80 (P.O. 122127) to Stonebridge Press for a legal notice.

K) Correspondence – None

L) Signing of Mylars – None

M) Comments by Commissioners – Chairman O'Neil thanked Marla for her continued work during and following surgery. The Chairman also thanked Dan Malo for recording the meeting minutes and Amy St. Onge for arranging the ZOOM video.

N) After completion of the agenda items, Diane Chapin made a motion to adjourn the meeting. The motion was seconded by Frances Morano and carried unanimously at 8:39 PM.

To see/hear the entire meeting via ZOOM, click here to copy and paste into your search bar:

https://us02web.zoom.us/rec/share/L9WXsRiXsU4gHk3DB-CSUYzC3NcpzhVNi4MJ0sh2LSS1GWpACE9HUQcG3pPc0VgK.dfHsXc_bJ-erP_4g

Access Passcode: +0^=ab50

Respectfully submitted, Dan Malo, Recording Secretary



Agenda Item D.
Citizens Comments on Agenda Items

Agenda Item E.a) 1. Old Applications

WAA21025, RT193, LLC, 49 Thompson Rd (Assessor's map 87, block 53, lot 8), to construct an event barn with associated parking and drainage, stamped received by Town Clerk 8/26/21, stamped received by Wetlands Office 8/30/21, issued 11/22/21, legal notice published 12/3/21, appeal period ends 12/18/21.



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21025

APPROVAL GRANTED TO:

RTE193, LLC
P.O. Box 213
Pomfret Center, CT 06259

DATE OF APPROVAL: November 22, 2021

EXPIRATION DATE: November 22, 2026

LOCATION OF AUTHORIZED ACTIVITY: 49 Thompson Rd (Route 193), Assessor's Map 87, Block 53, Lot 8

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the construction of an event barn with associated parking and drainage, portions of which are located in the 100-foot upland review area as shown in Wetlands Agent Approval Application WAA21025 stamped received by the Thompson Wetlands Office 8/30/2021 and as shown in drawing(s) entitled "Anya Event Barn, 49 Thompson Road (Route 193), Thompson, Connecticut" prepared by J&D Civil Engineers, LLC dated August 26, 2021 (4 sheets) stamped received August 30, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: _____

November 22, 2021

Agenda Item E.a) 2. Old Applications

IWA21028, Wojciech Sudyka, 1574 Riverside Dr. (Assessor's map 55, block 65, lot 14), fill 3,500 sq. ft. of wetlands and 100-foot upland review area for construction of commercial building and associated parking, stamped received 9/7/21, statutorily received 9/14/21, Mr. Sudyka granted 30-day processing extensions on 10/4/21 & 11/9/2021.

SITE DEVELOPMENT PLANS FOR A PROPOSED COMMERCIAL GARAGE

1574 RIVERSIDE DRIVE (ROUTE 12)
THOMPSON, CONNECTICUT

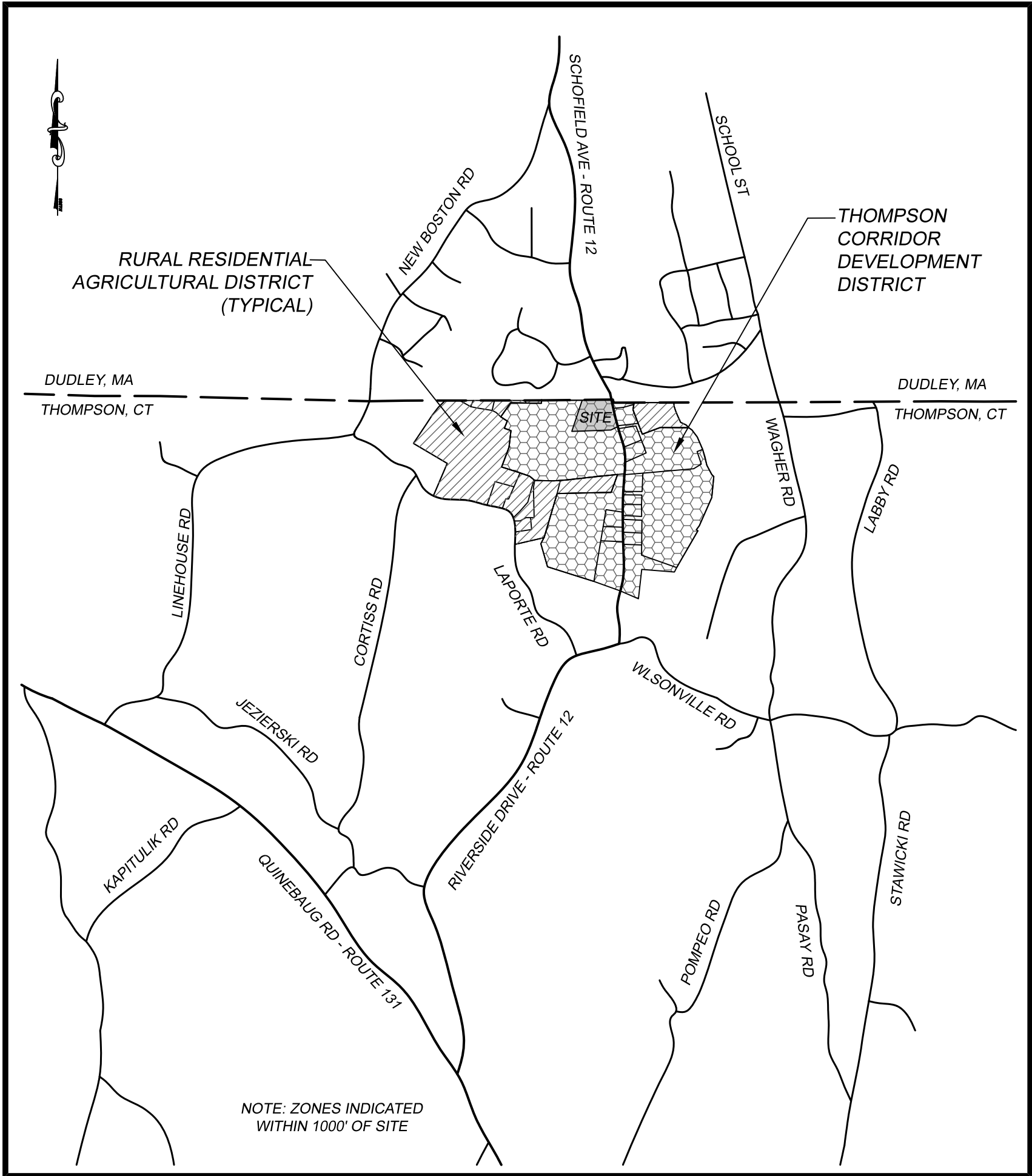
DATED SEPTEMBER 3, 2021
REVISED NOVEMBER 22, 2021

PREPARED FOR:

JJS UNIVERSAL CONSTRUCTION CO.
C/O WOJCIECH SUDYKA
63 AIRPORT ROAD
DUDLEY, MA 01571

INDEX OF DRAWINGS

- 1 COVER
- 2 LAYOUT AND UTILITIES
- 3 GRADING AND EROSION CONTROL
- 4 SEPTIC SYSTEM PLAN
- 5 GENERAL CONSTRUCTION DETAILS
- 6 DRAINAGE AND EROSION CONTROL DETAILS



LOCATION MAP
1" = 2000'

ZONE: THOMPSON CORRIDOR DEVELOPMENT DISTRICT
USE: LIGHT MANUFACTURING

ITEM	REQUIRED	EXISTING	PROPOSED
FRONTAGE	100'	502.40'	502.40'
LOT COVERAGE	<75%	2%	8%
FRONT SETBACK	20'	63.35'	120'
SIDE SETBACK	25'	0'	49'
REAR SETBACK	25'	221.92'	350'
LOT SIZE	40,000 SF	324,522 SF	324,522 SF

DIRECTIONS TO SITE FROM TOWN HALL:
HEAD NORTH ON ROUTE 12. SITE IS ON
THE LEFT JUST BEFORE MA BORDER

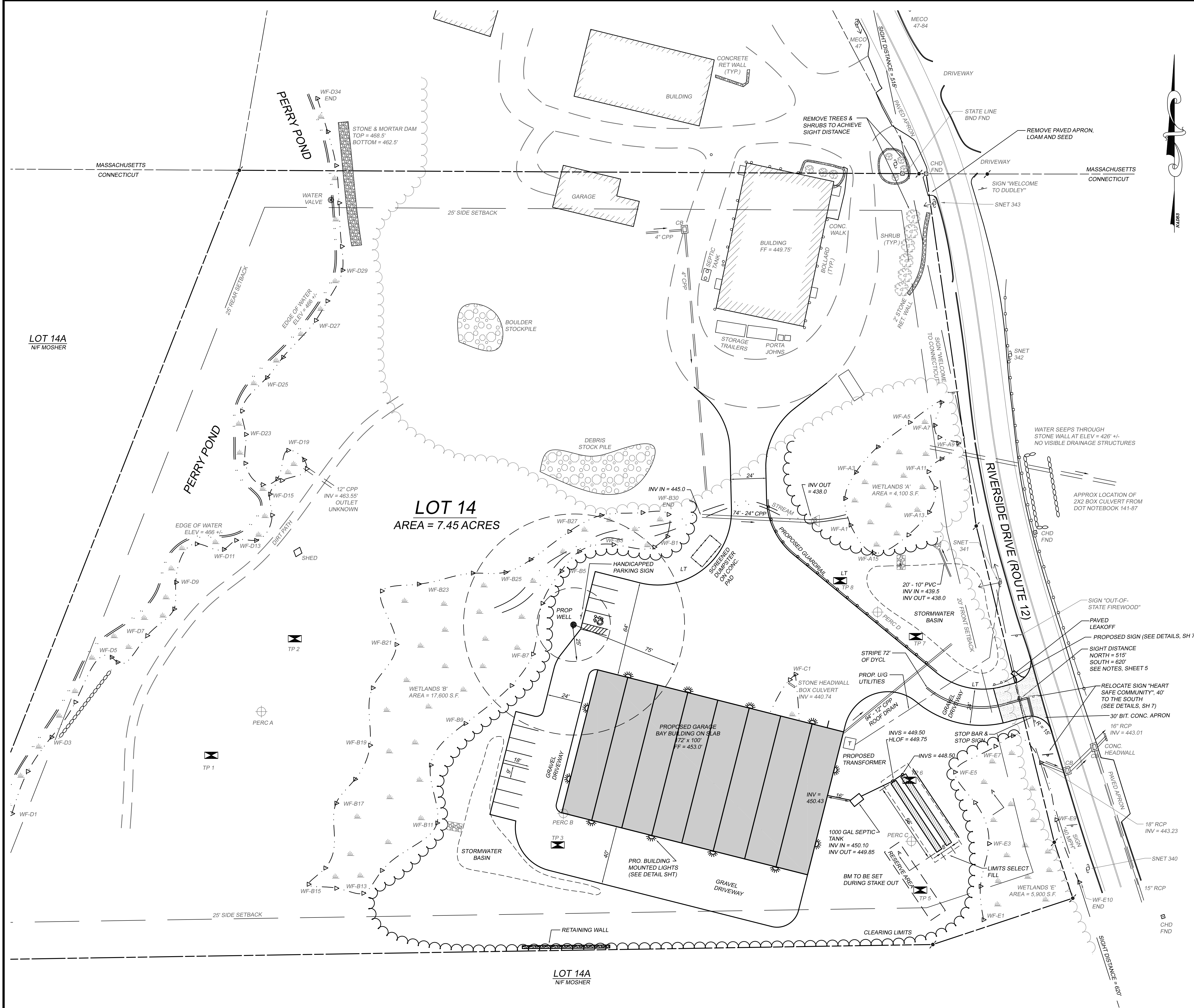
J & D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
THOMPSON, CT 06255
JDCIVILENGINEERS.COM
860-923-2920

SPECIAL PERMIT APPROVAL BY THE THOMPSON
PLANNING AND ZONING COMMISSION

PERMIT APPROVAL BY THE THOMPSON
INLAND WETLAND COMMISSION

CHAIRMAN _____ DATE _____

CHAIRMAN _____ DATE _____



SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED ON JANUARY 18, 2021, AND IS INTENDED TO BE USED FOR THE DESIGN OF A SITE DEVELOPMENT PLAN.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: PROPERTY BOUNDARY SURVEY, SHOWING LAND OF THE CRAVER POINT REALTY TRUST, PREPARED BY MICHAEL C. HEALEY, L.S. SCALE 1" = 40'. PREPARED ON NOVEMBER 17, 1997.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07/2021
LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2021 J&D CIVIL ENGINEERS, LLC

FLOOD NOTES

PORTIONS OF THE PROPERTY ARE WITHIN 100 YEAR FLOOD ZONE PER FEMA FIRM MAP 090117-0020B, DATED NOVEMBER 1, 1984.

ZONE A ELEVATION = 468' +/-

WETLAND NOTES

ALL WETLAND SOILS SHOWN WERE DELINEATED IN NOVEMBER 2020 BY SCOTT P. RABIDEAU, PWS, OF NATURAL RESOURCES SERVICES INC.

PROPERTY OWNER
SUDYKA WOJIECH

REFERENCE DEED
THOMPSON LAND RECORDS
VOL. 791 PG. 266

ASSESSORS REFERENCE
MAP 55 BLOCK 65 LOT 14

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EDGE OF WETLANDS
- WETLAND BUFFER/UPLAND REVIEW AREA
- TEST PIT
- LEACHING TRENCH
- STONEWALL
- UTILITIES
- TREELINE
- GUARDRAIL
- FENCE

LAYOUT & UTILITIES PLAN
PREPARED FOR
JJS UNIVERSAL CONSTRUCTION CO.
1574 RIVERSIDE DRIVE - THOMPSON, CT
MAP 55 BLOCK 65 LOT 14

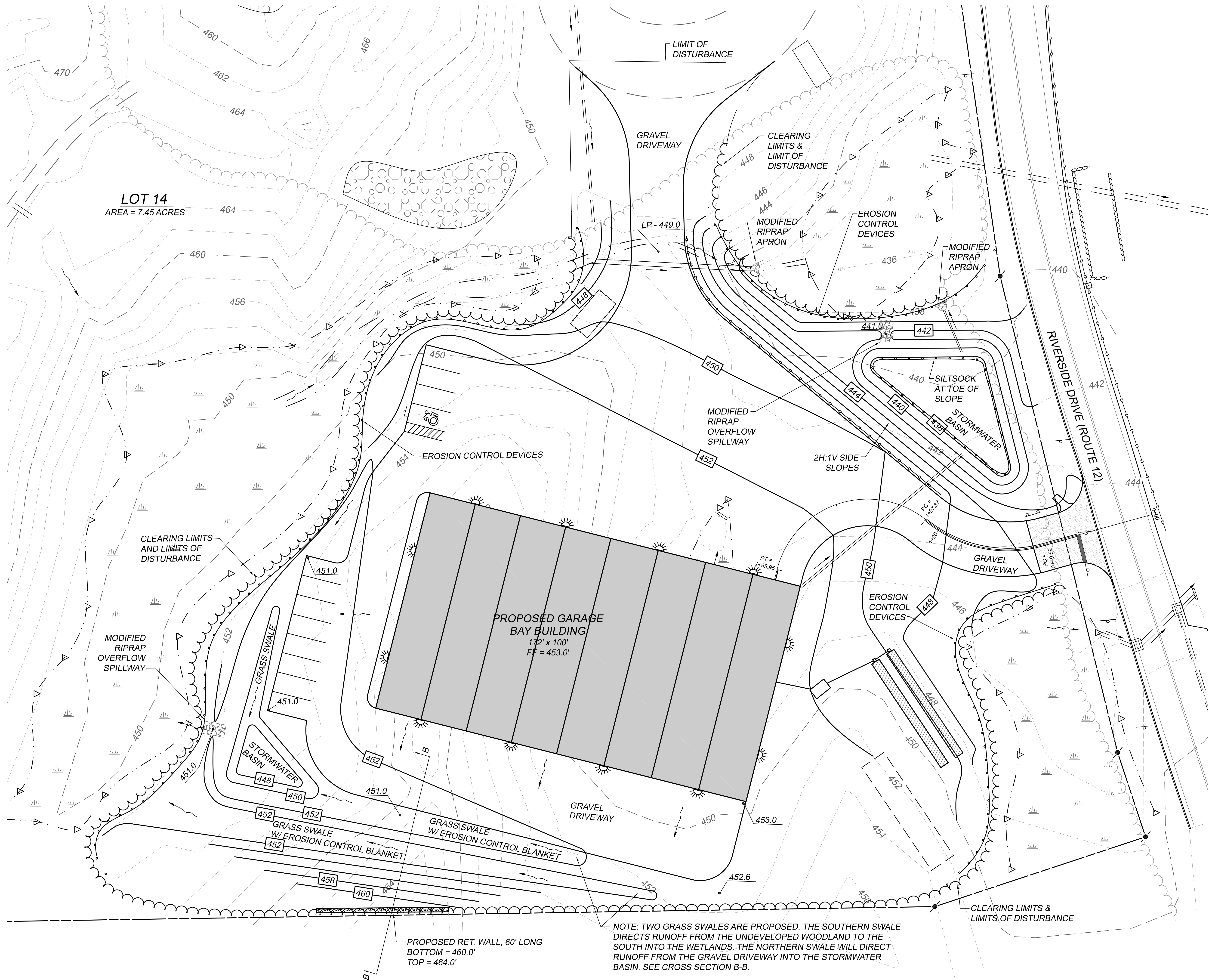
J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DDB
CHECKED: JJB

REVISIONS:
2021-10-22 DOT COMMENTS
2021-11-22 REVISE DRIVEWAY CULVERT

JOB NO: 20278
SCALE: 1" = 30'

DATE: SEPTEMBER 3, 2021
SHEET: 2 OF 6



SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

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PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: PROPERTY BOUNDARY SURVEY, SHOWING LAND OF THE CRAVER POINT REALTY TRUST, PREPARED BY MICHAEL C. HEALEY, L.S. SCALE 1" = 40'. PREPARED ON NOVEMBER 17, 1997.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12107 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2021 J&D CIVIL ENGINEERS, LLC

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EDGE OF WETLANDS
	WETLAND BUFFER/UPLAND REVIEW AREA
	EROSION CONTROL DEVICES
	TEST PIT
	LEACHING TRENCH
	STONEWALL
	UTILITIES
	TREELINE
	GUARDRAIL
	FENCE

GRADING & EROSION CONTROL PLAN
PREPARED FOR
JJS UNIVERSAL CONSTRUCTION CO.
1574 RIVERSIDE DRIVE - THOMPSON, CT
MAP 55 BLOCK 65 LOT 14

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DDB
CHECKED: JJB

REVISIONS:
2021-10-22 DOT COMMENTS
2021-11-22 REVISE DRIVEWAY CULVERT

JOB NO: 20278
SCALE: 1" = 20'

DATE: SEPTEMBER 3, 2021
SHEET: 3 OF 6

TEST PIT RESULTS

OBSERVED BY: MELISSA SORILELLI
DATE: APRIL 29, 2021

PIT NO. 3

0" - 7" = TOPSOIL
7" - 34" = ORANGE BROWN FINE SAND
34" - 70" = GRAY COMPACT LARGE
BOULDERS, FINE SANDY LOAM / TRACE
SILT.

MOTTLING: 26"
WATER: 45"
LEDGE: N/A
ROOTS: 26"
RESTRICTIVE: N/A

PERC TEST RESULTS

OBSERVED BY: MELISSA SORILELLI
DATE: MAY 06, 2021

HOLE 5 / 6

TIME	READING
12:42	8.25"
12:52	11"
1:02	12.25"
1:12	13.5"
1:22	14.25"

DEPTH: 18"
RATE: 8.42 MIN/IN

PIT NO. 4

HOLE 3 / 4

0" - 2" = ORGANIC MATTER, FOREST
LITTER
2" - 24" = ORANGE BROWN FINE SANDY
LOAM

MOTTLING: N/A
WATER: N/A
LEDGE: 24"
ROOTS: N/A
RESTRICTIVE: N/A

TIME	READING
12:50	10.5"
1:00	14"
1:10	16"
1:20	17.5"
1:30	18.5"

DEPTH: 24"
RATE: 6.13 MIN/IN

PIT NO. 5

HOLE 7 / 8

0" - 6" = TOPSOIL
6" - 31" = ORANGE BROWN FINE SANDY
LOAM
31" - 91" = LIGHT BROWN / GRAY
COMPACT TILL

MOTTLING: N/A
WATER: 80"
LEDGE: N/A
ROOTS: 31"
RESTRICTIVE: 31"

TIME	READING
12:39	11.5"
12:44	17.25"
12:49	EMPTY

DEPTH: 22"
RATE: 1.7 MIN/IN

PIT NO. 6

0" - 7" = TOPSOIL
7" - 24" = ORANGE BROWN FINE SANDY
LOAM
24" - 79" = LIGHT BROWN / GRAY
COMPACT TILL WITH LARGE ROCKS

MOTTLING: N/A
WATER: 72"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: 27"

PIT NO. 8

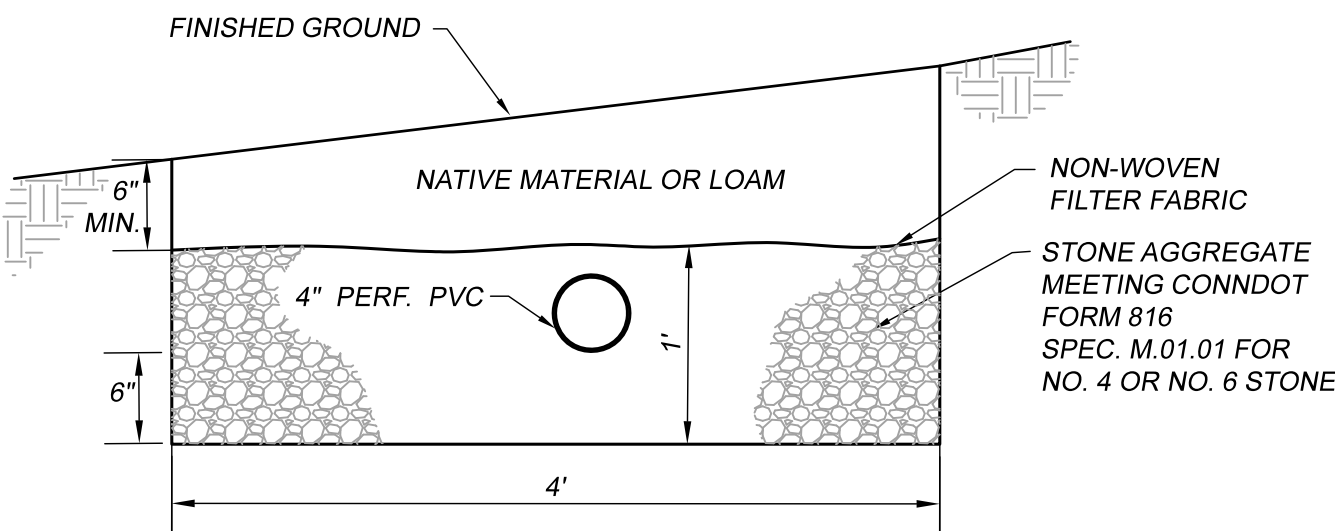
0" - 15" = TOPSOIL
15" - 42" = ORANGE BROWN FINE SANDY
LOAM
42" - 60" = GRAVELLY SANDY LOAM

MOTTLING: N/A
WATER: 89"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: N/A

PIT NO. 7

0" - 11" = TOPSOIL
11" - 18" = ORANGE BROWN FINE SANDY
LOAM
18" - 109" = LIGHT BROWN SAND

MOTTLING: N/A
WATER: 89"
LEDGE: N/A
ROOTS: N/A
RESTRICTIVE: N/A



LEACHING TRENCH DETAIL
N.T.S.

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED ON JANUARY 18, 2021, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM.

HORIZONTAL ACCURACY: CLASS B
TOPOGRAPHIC ACCURACY: CLASS T-2

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

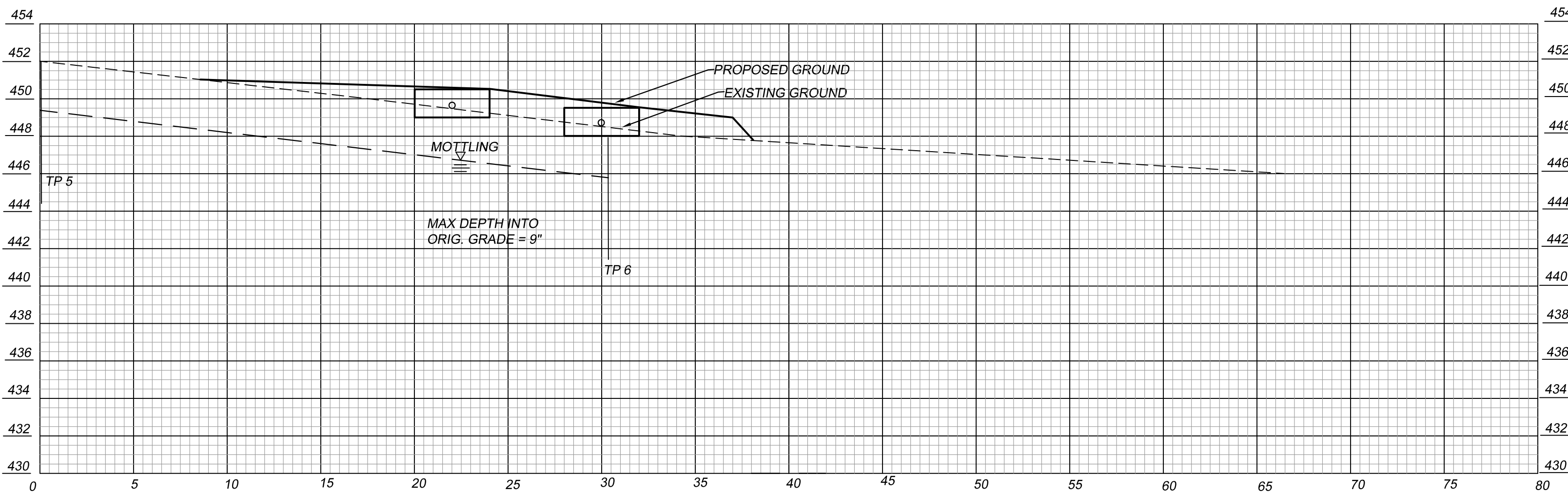
2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN: PROPERTY BOUNDARY SURVEY, SHOWING LAND OF THE CRAVER POINT REALTY TRUST, PREPARED BY MICHAEL C. HEALEY, L.S. SCALE 1" = 40'. PREPARED ON NOVEMBER 17, 1997.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

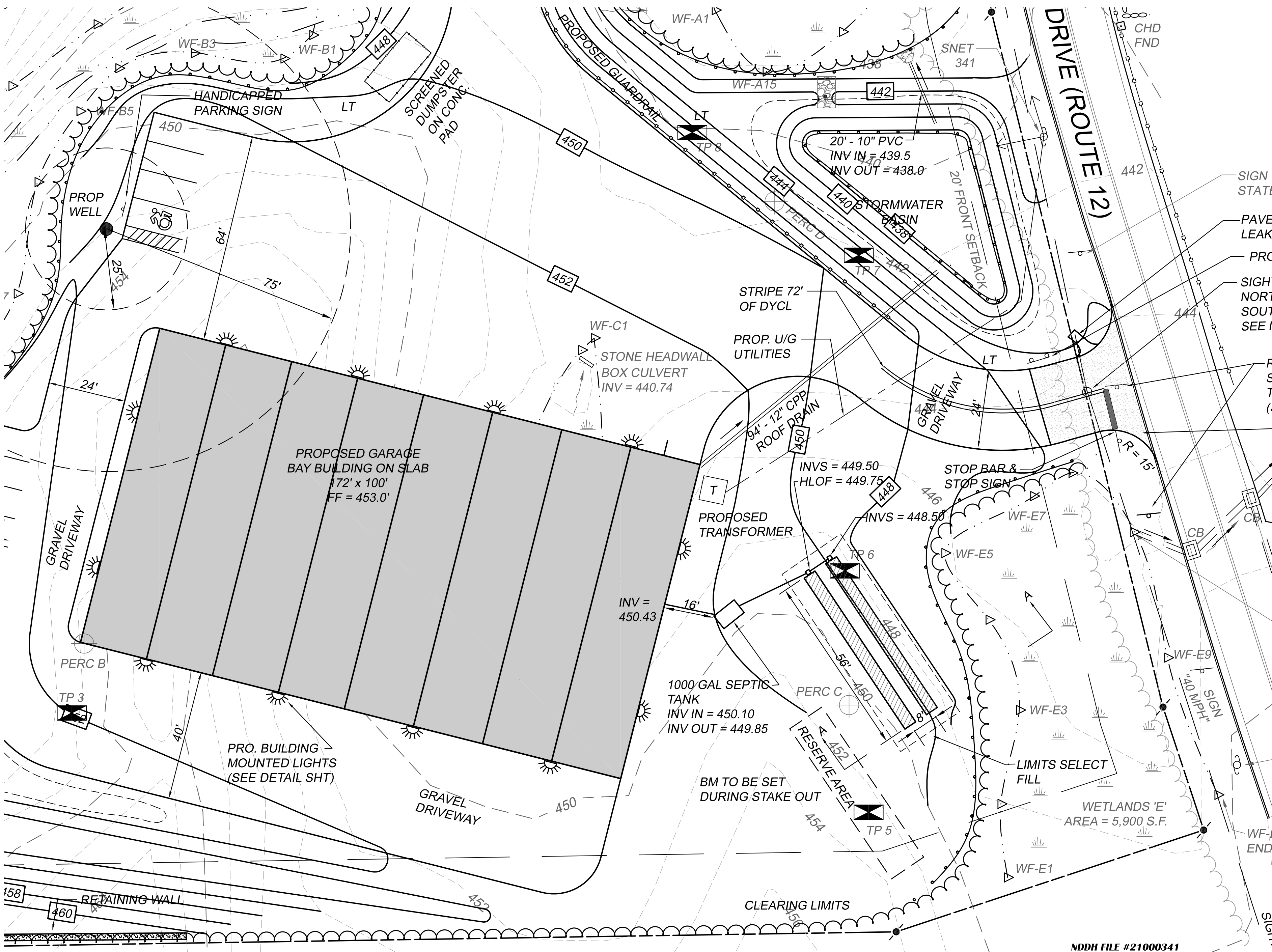
DENNIS R. BLANCHETTE DATE 12/07
LICENSE 12107
NUMBER 12107

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
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LEACHING FIELD CROSS SECTION A-A

1" = 5'



SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 8.24 MINS/INCH

DESIGN FLOW: 20 EMPLOYEES (FACTORY) @ 25 GPD = 500 GPD

APPLICATION RATE: 1.5 GPD /SF ELA

ELA REQUIRED: 500 GPD/1.5 GPD PER SF = 333 SF ELA

SEPTIC TANK: 1000 GALLON

LEACHING AREA PROVIDED: 112' OF 4' WIDE STONE TRENCHES @ 3 SF/LF = 336 SQUARE FEET, SPACED 8' O.C.

MOTTLING: 27" - 31", LEDGE: N/A, WATER: 72-80", SLOPE: 8-10%

MLSS (PRIMARY) = 43.4' (HF=26, PF=1, FF=500/300=1.67)

LSS PROVIDED = 56'

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: JOLLEY OR EQUAL 4 HOLE D-BOXES

HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION: 4' WIDE STONE FILLED TRENCHES.

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%
GRADATION ON FILL LESS GRAVEL:

SIEVE	WET PERCENT PASSING	DRY PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-50*	10-75
NO. 100	0-20	0-5
NO. 200	0-5	0-2.5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A COMMERCIAL BUILDING, WELL, SEPTIC SYSTEM AND DRIVEWAY.
2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

LEGEND

	BUILDING SETBACK LINE
	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EDGE OF WETLANDS
	WETLAND BUFFER/UPLAND REVIEW AREA
	EROSION CONTROL DEVICES
	TEST PIT
	LEACHING TRENCH
	UTILITIES
	TREELINE
	GUARDRAIL
	FENCE

SEPTIC SYSTEM PLAN
PREPARED FOR
JJS UNIVERSAL CONSTRUCTION CO.
1574 RIVERSIDE DRIVE - THOMPSON, CT
MAP 55 BLOCK 65 LOT 14

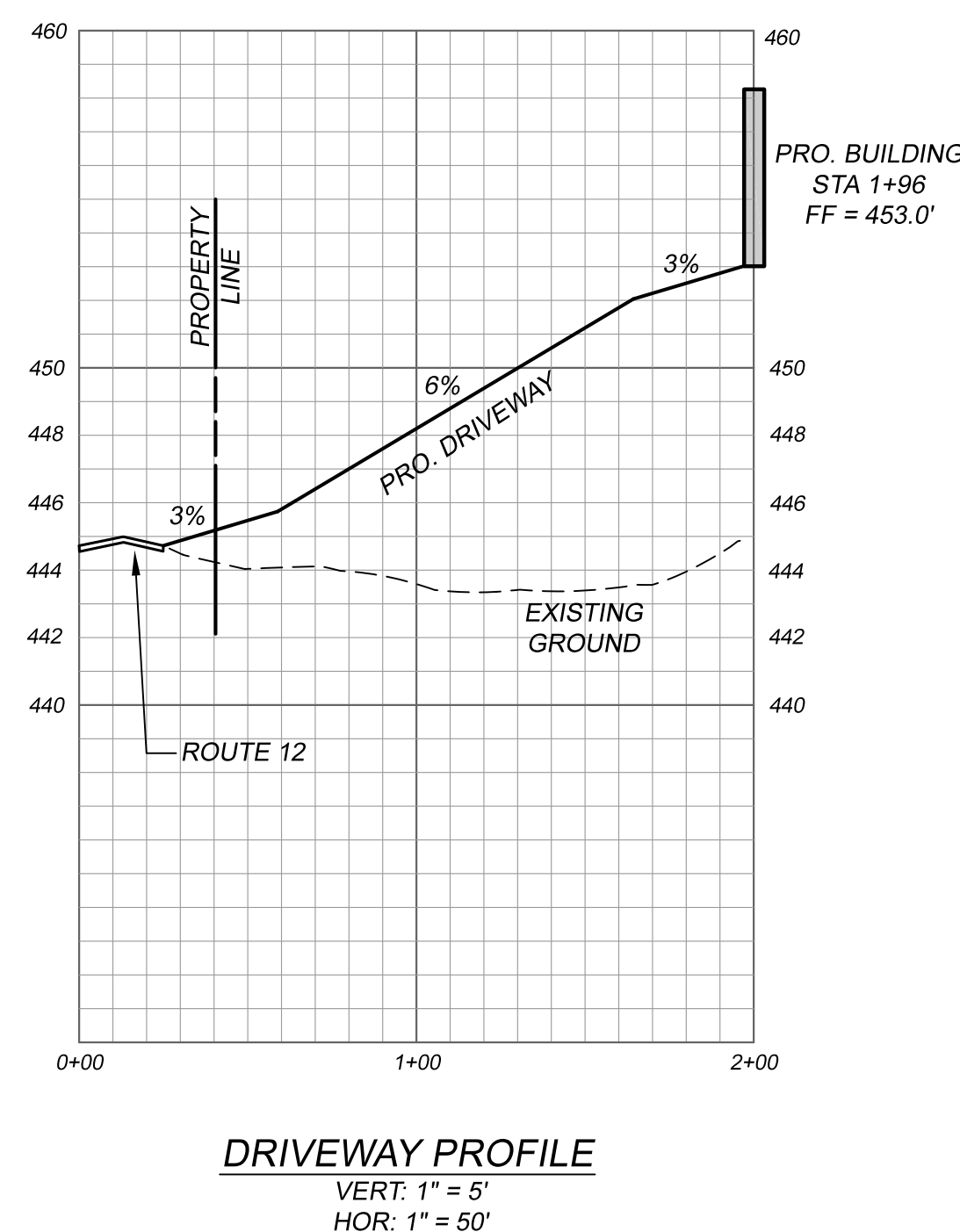
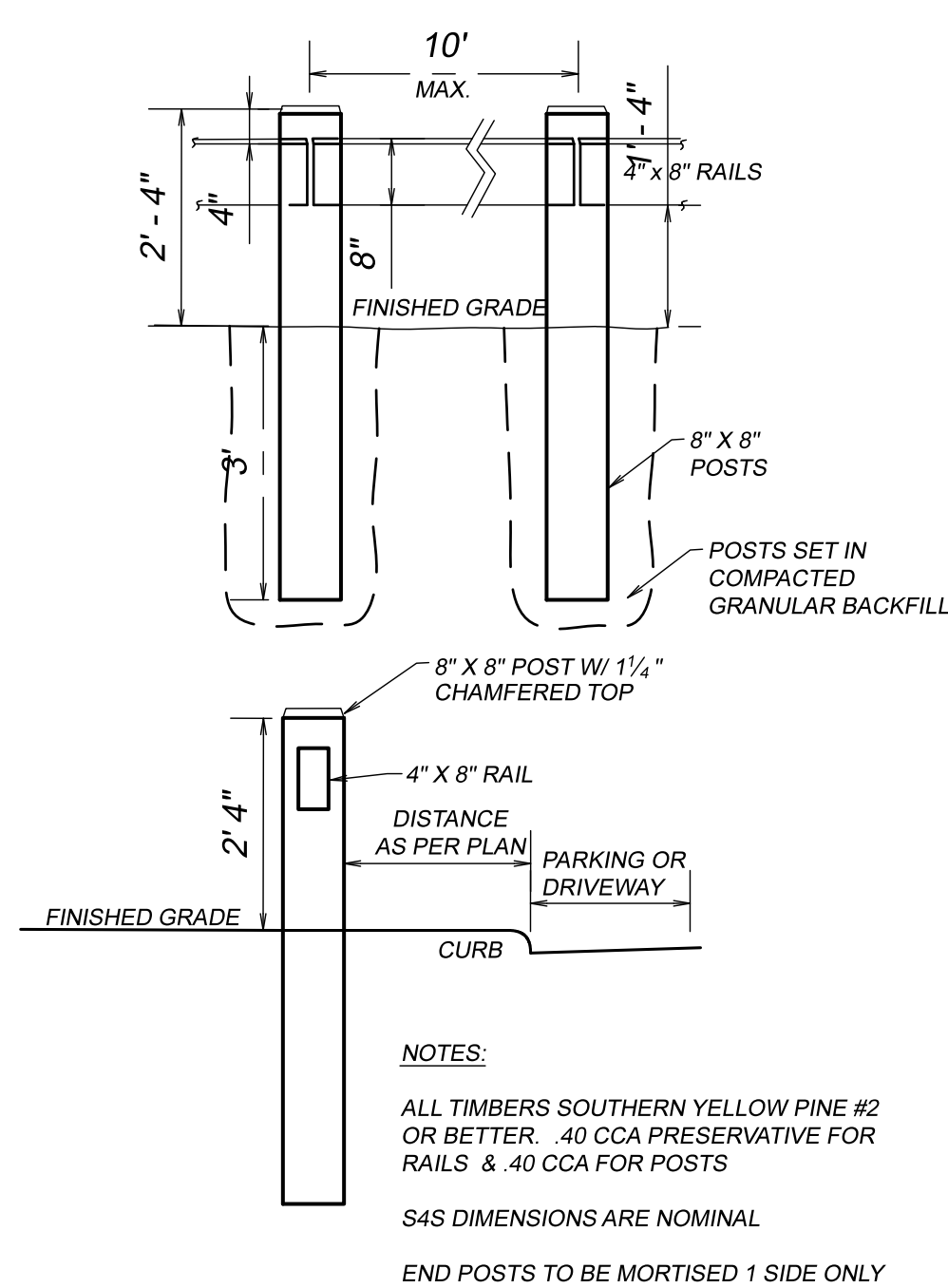
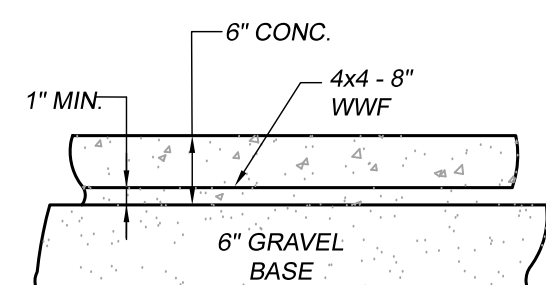
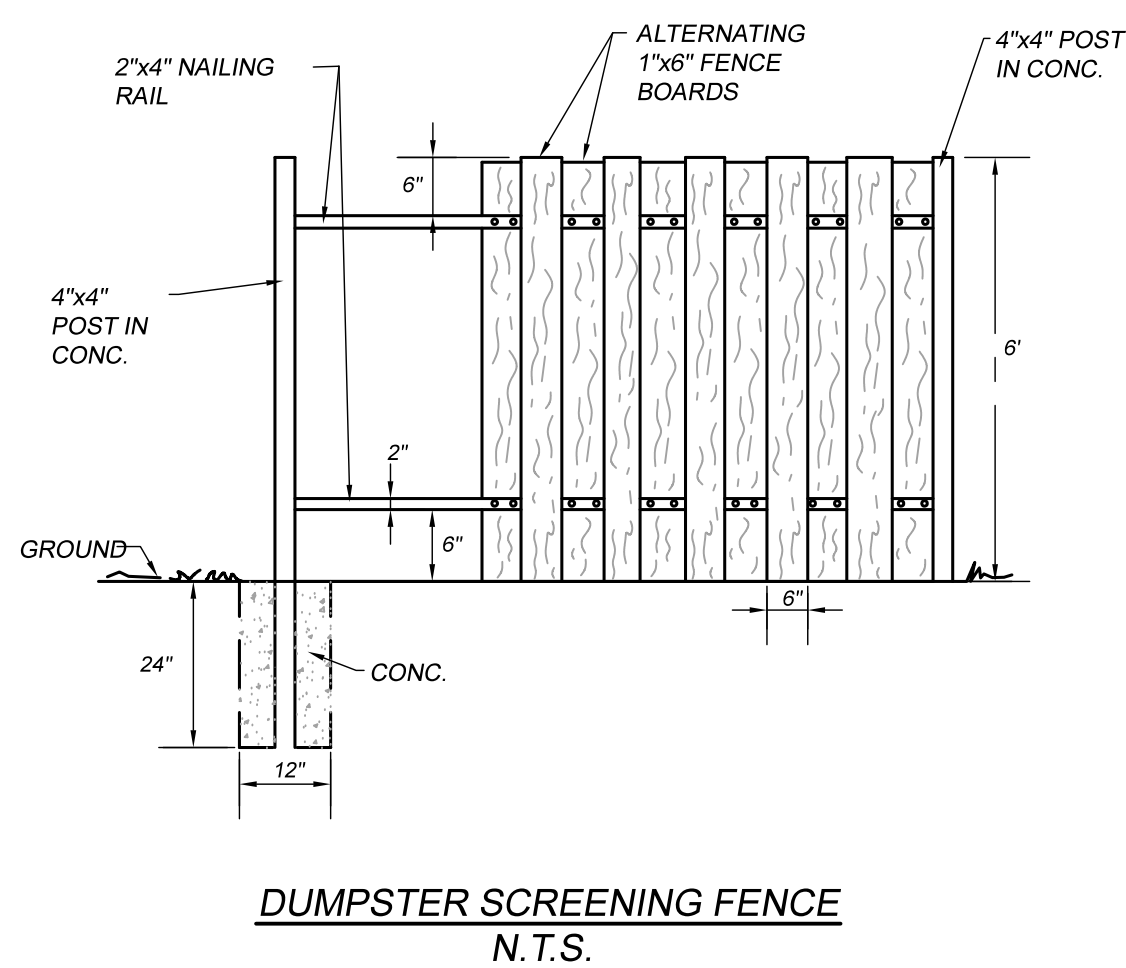
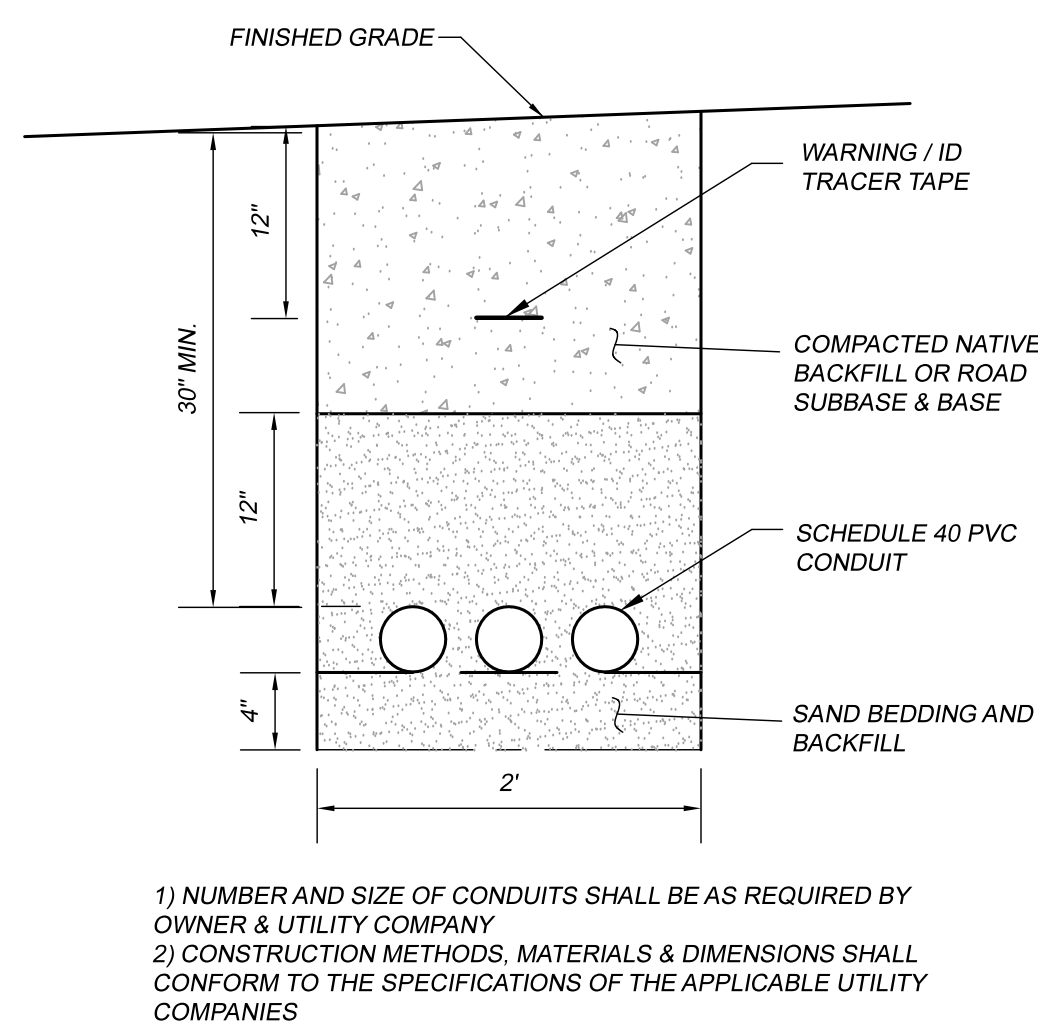
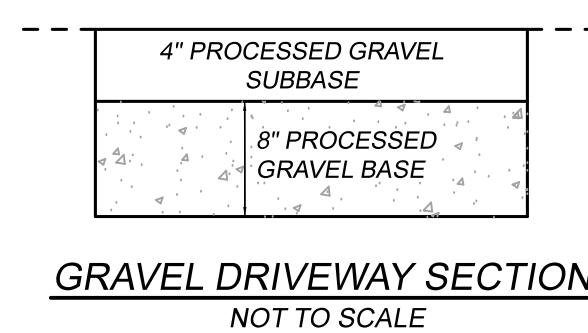
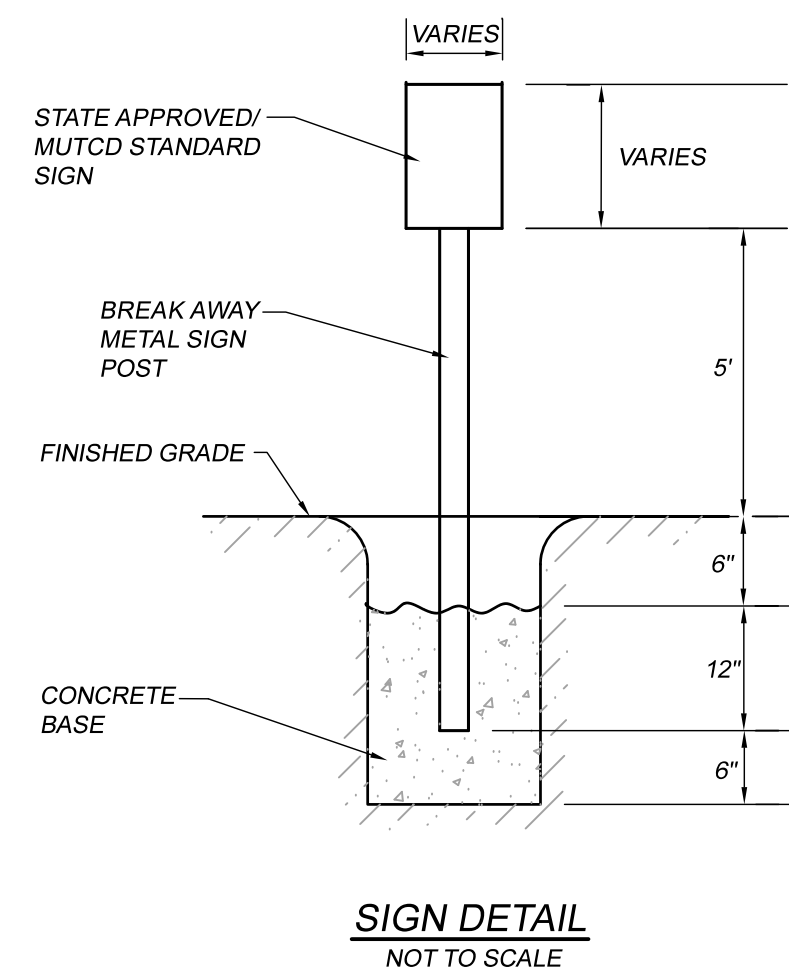
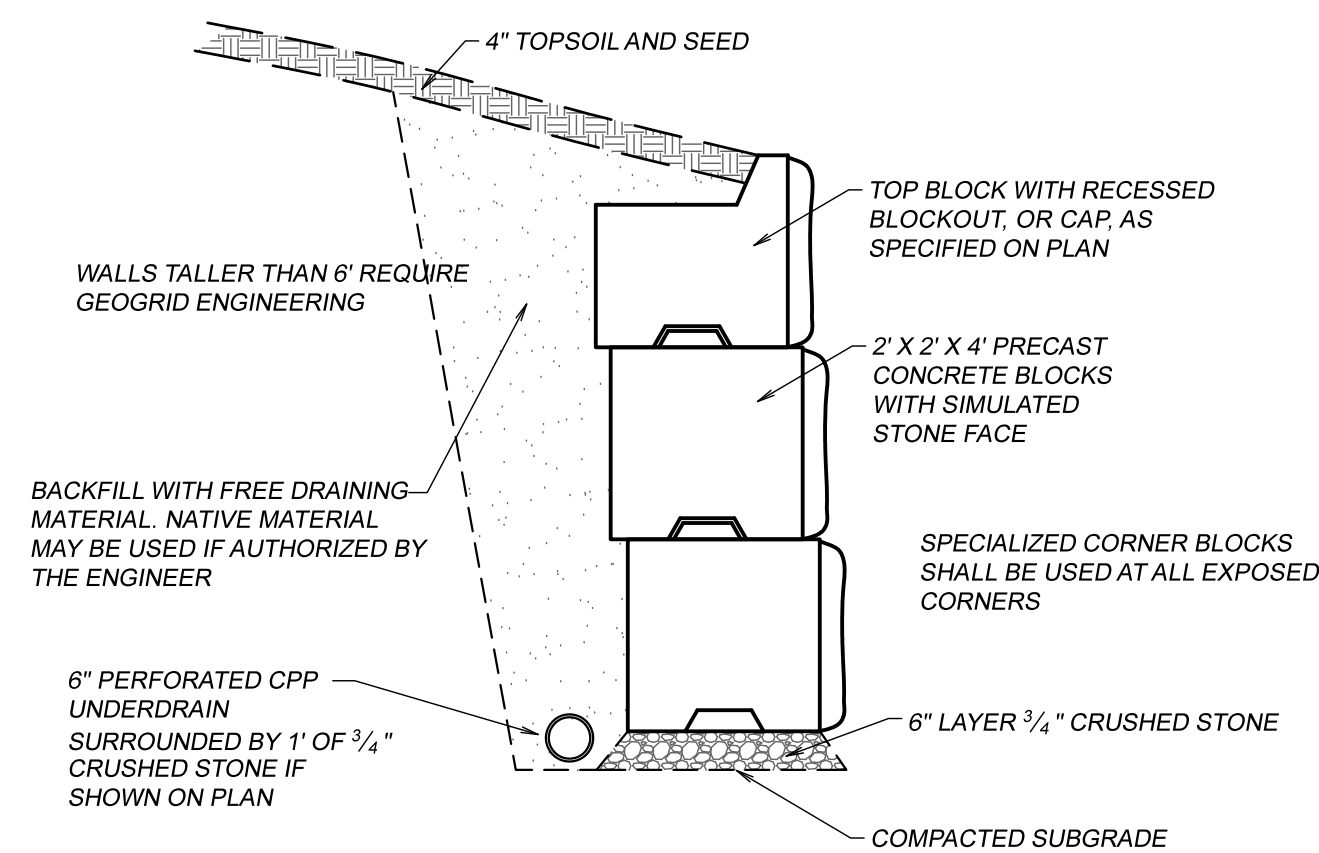
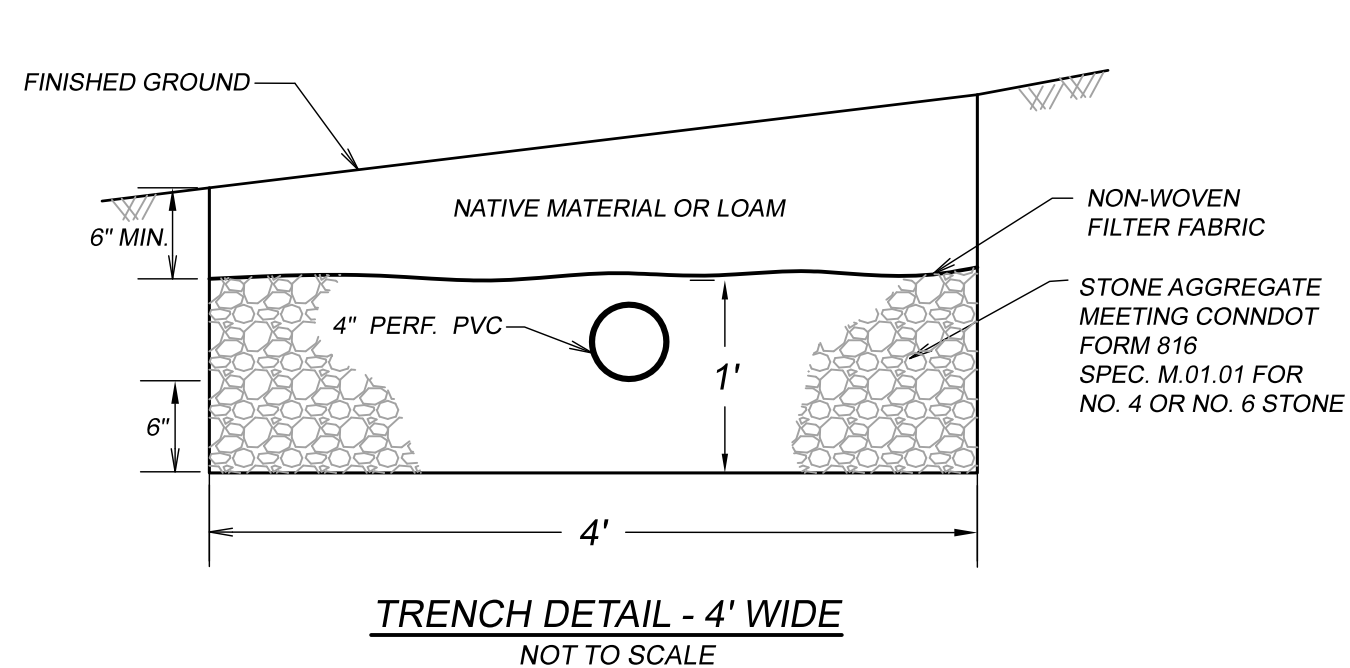
J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB
CHECKED: DRB

REVISIONS:

JOB NO: 20278
SCALE: 1" = 20'

DATE: SEPTEMBER 3, 2021
SHEET: 4 OF 6

SIGHT DISTANCE NOTES:

THIS ROAD HAS A POSTED SPEED LIMIT OF 40, HOWEVER ACCORDING TO DOT THE 85% SPEEDS ARE 46 MPH. THIS REQUIRES A SIGHT DISTANCE OF 510'.

THE SIGHT DISTANCE IS MEASURED AT A POINT IN THE PROPOSED DRIVEWAY AT ELEVATION 445. THE HEIGHT OF EYE IS ESTIMATED AT ELEVATION 448.5.

THE SIGHT DISTANCE LOOKING SOUTH IS CURRENTLY MEASURED AT 620 FEET, AND IS THEREFORE MORE THAN ADEQUATE. THERE IS NO CONSTRUCTION, GRADING, OR TREE CLEARING REQUIRED TO OBTAIN THIS SIGHT DISTANCE.

THE SIGHT DISTANCE LOOKING NORTH IS CURRENTLY MEASURED AT 375 FEET, THERE IS AN OBSTRUCTION OF LANDSCAPING, CONSISTING OF SOME SMALL TREES AND SHRUBS, WHICH INTERFERES WITH THE SIGHT DISTANCE. THE ROADWAY WIDTH IS 51 FEET, THE DISTANCE FROM THE EXISTING ENTRANCE TO THE POINT BETWEEN THE ROADWAY AND THE PROPOSED DRIVEWAY, THE GROUND DESCENDS TO ELEVATION OF 439. THEREFORE, THERE ARE NO "HARD" OBSTRUCTIONS SUCH AS BUILDINGS, ROCKS, OR EARTH, ONCE THIS LANDSCAPING IS REMOVED, THE SIGHT DISTANCE TO THE PROPOSED DRIVEWAY IS AT LEAST 515 FEET. THE LANDSCAPING THAT MUST BE REMOVED IS SHOWN ON SHEET 2. THIS LANDSCAPING IS LOCATED NEAR THE EXISTING ENTRANCE TO THE SITE.

PARKING NOTES:

THERE ARE NO LOADING DOCKS OR LOADING SPACES PROPOSED.

THE ANTICIPATED NUMBER OF EMPLOYEES FOR THE PROPOSED BUILDING IS 2 - 8 PEOPLE. (THE SEPTIC IS BEING DESIGNED FOR 20 PEOPLE FOR RESALE VALUE). THERE ARE 12 TOTAL PARKING SPACES PROVIDED ON THE SITE PLANS, INCLUDING 1 HANDICAP PARKING SPACE. THIS ALLOWS FOR 1 PARKING SPACE PER EMPLOYEE, PLUS AN ADDITIONAL 4 SPACES FOR DELIVERIES OR GUESTS. THERE ARE MANY AREAS AVAILABLE FOR OVERFLOW PARKING, SUCH AS BEHIND THE PROPOSED BUILDING OR NEAR THE EXISTING BUILDING, IN CASE OF AN UNUSUAL SITUATION.

GENERAL CONSTRUCTION NOTES:

LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AND FIELD VERIFY THE LOCATION, DEPTH AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

CONSTRUCTION SHALL BE IN CONFORMANCE WITH CONNDOT FORM 818 UNLESS OTHERWISE NOTED ON THE PLANS. UTILITY INSTALLATION SHALL BE IN CONFORMANCE WITH THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

TYPICAL DETAILS SHOWN ARE TO ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY SUBMIT PROPOSALS FOR ALTERNATE METHODS TO SUIT FIELD CONDITIONS.

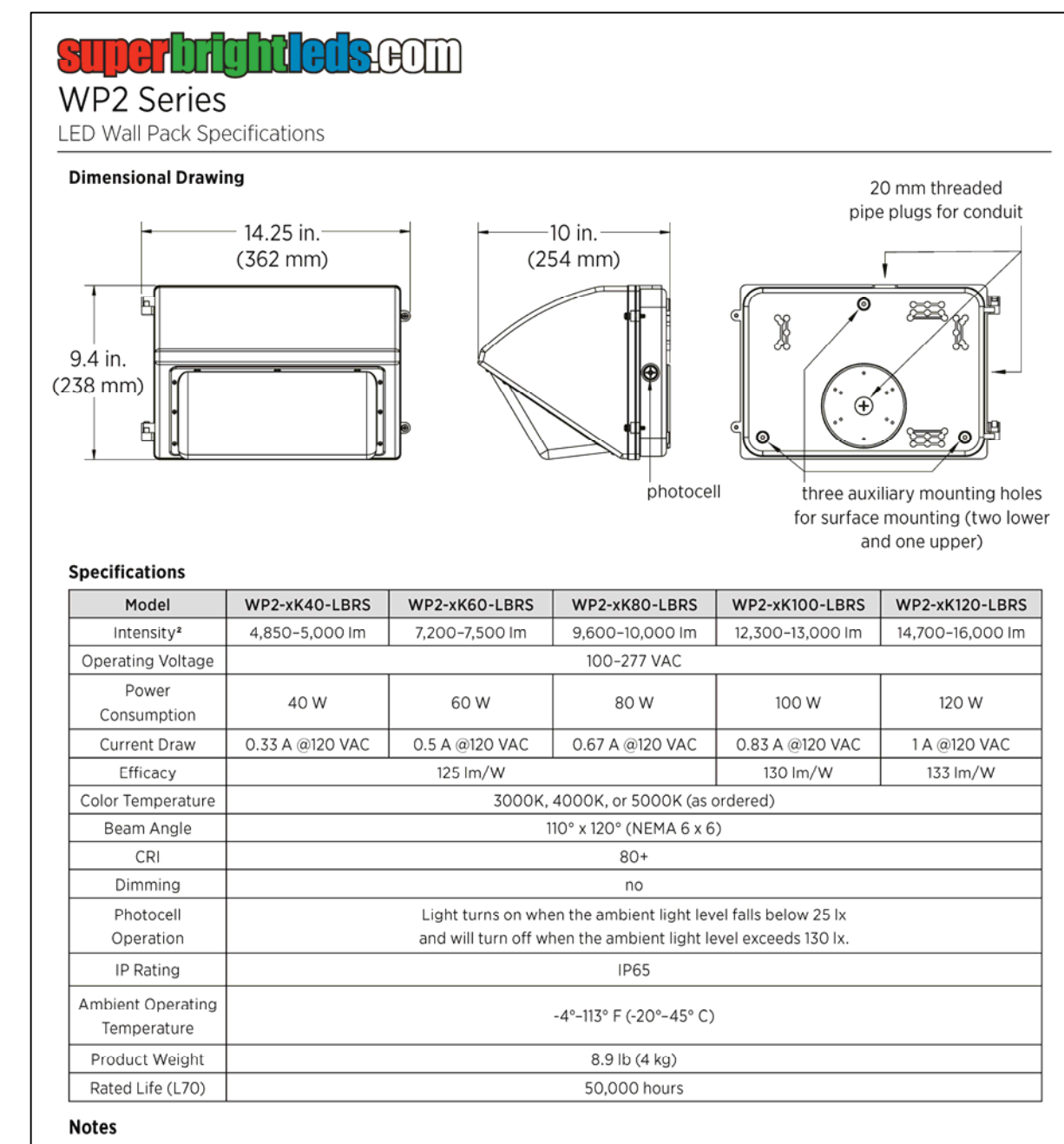
ALL PIPING SHALL HAVE WARNING TAPE INSTALLED. IN ADDITION, ALL NONMETALLIC PIPE MUST BE PARALLELED BY A METALLIC WIRE OR METALLIC DETECTION TAPE FOR EASE OF LOCATING.

ALL PIPING SHALL BE CLEANED AND TESTED IN ACCORDANCE WITH THE APPLICABLE UTILITY'S REQUIREMENTS. COPIES OF ALL TESTS SHALL BE PROVIDED TO THE OWNER PRIOR TO ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TESTING EQUIPMENT.

ALL TRENCHING SHALL BE DONE IN COMPLIANCE WITH OSHA REGULATIONS AND THE INSTALLATION REQUIREMENTS OF THE PIPE MANUFACTURER. IF SHORING IS REQUIRED, IT MUST BE DESIGNED BY A LICENSED CT PROFESSIONAL ENGINEER.

BENCHMARKS WILL BE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN LAYING OUT THE PROJECT. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS AND SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. ANY SUCH ITEMS WHICH NEED TO BE REPLACED SHALL BE AT THE CONTRACTOR'S EXPENSE.



EXTERIOR LIGHTING NOTES:

1. ALL PROPOSED EXTERIOR LIGHTS WILL BE MOUNTED ON THE BUILDING AT AN ASSUMED HEIGHT OF 15 FEET.
2. PROPOSED LIGHTING SHALL CONSIST OF (4) WP2-40K120-LBRS LIGHTS ON THE FRONT OF THE BUILDINGS, WITH AN EFFECTIVE RANGE OF 75'.
3. PROPOSED LIGHTING SHALL CONSIST OF (8) WP-2-40K60-LBRS LIGHTS ON THE FRONT AND SIDES OF THE BUILDING, WITH AN EFFECTIVE RANGE OF 50'.

SEPTIC SYSTEM & SITE DETAILS
PREPARED FOR
JJS UNIVERSAL CONSTRUCTION CO.
1574 RIVERSIDE DRIVE - THOMPSON, CT
MAP 55 BLOCK 65 LOT 14

J&D CIVIL ENGINEERS, LLC
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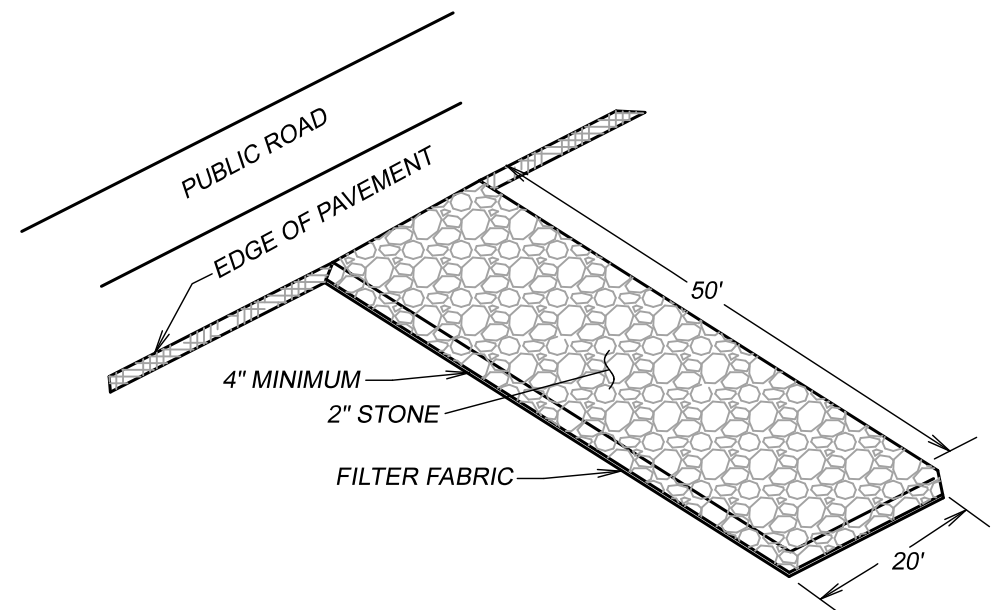
REVISIONS:
2021-10-22 ZEO COMMENTS

JOB NO: 20278

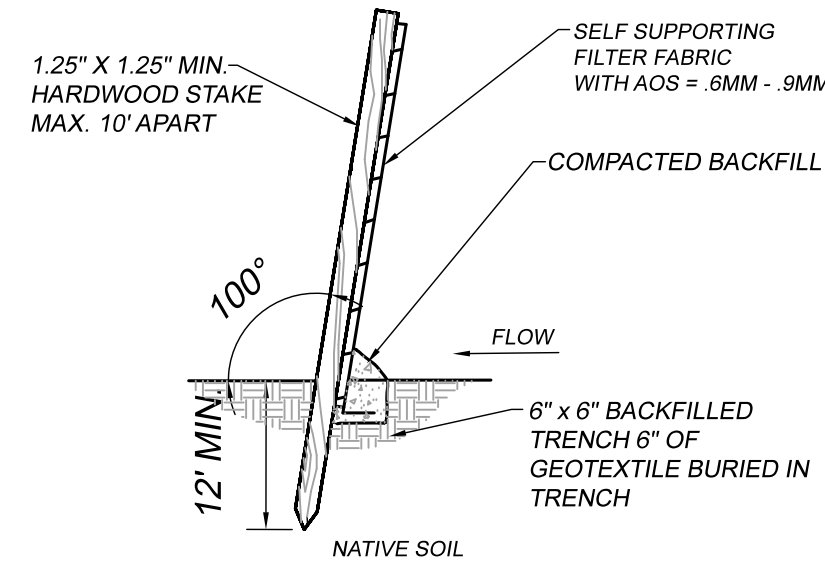
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DATE: SEPTEMBER 3, 2021

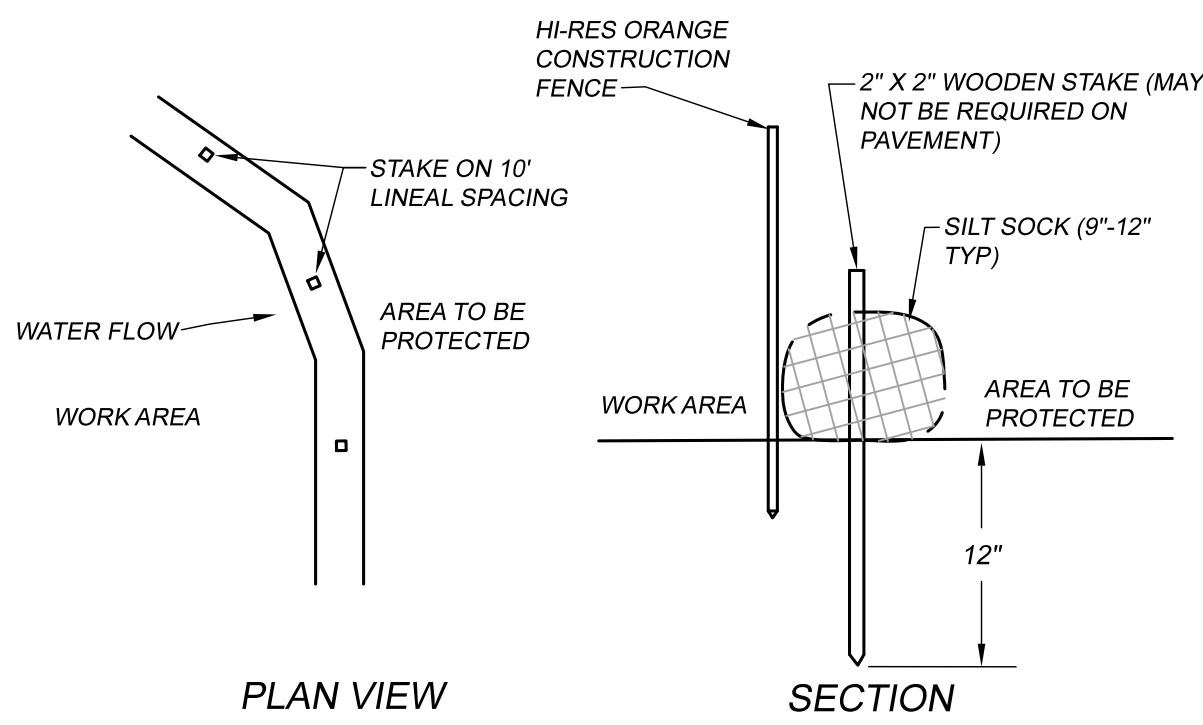
SHEET: 5 OF 6



TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT FENCE INSTALLATION
NOT TO SCALE



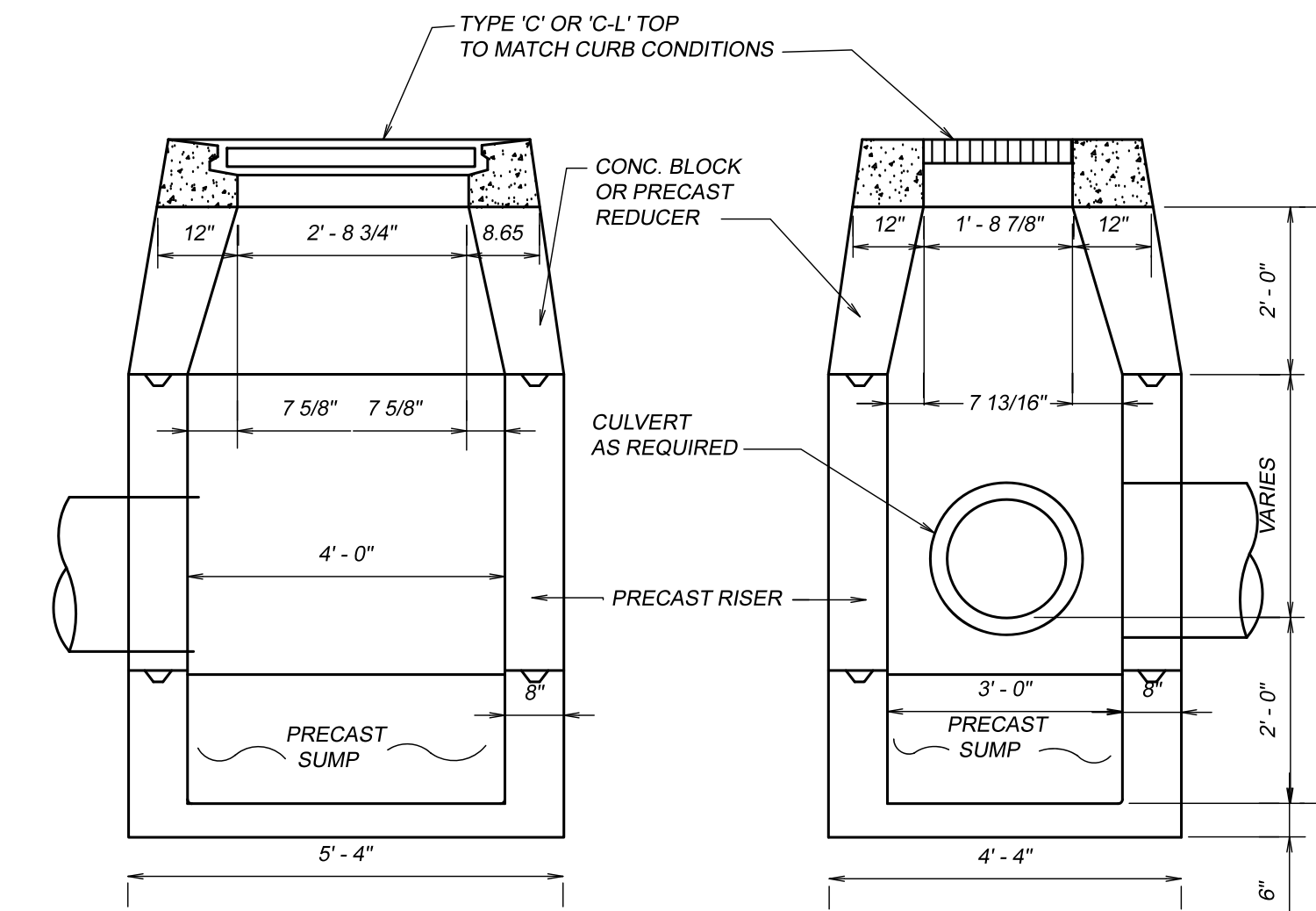
PLAN VIEW

SECTION

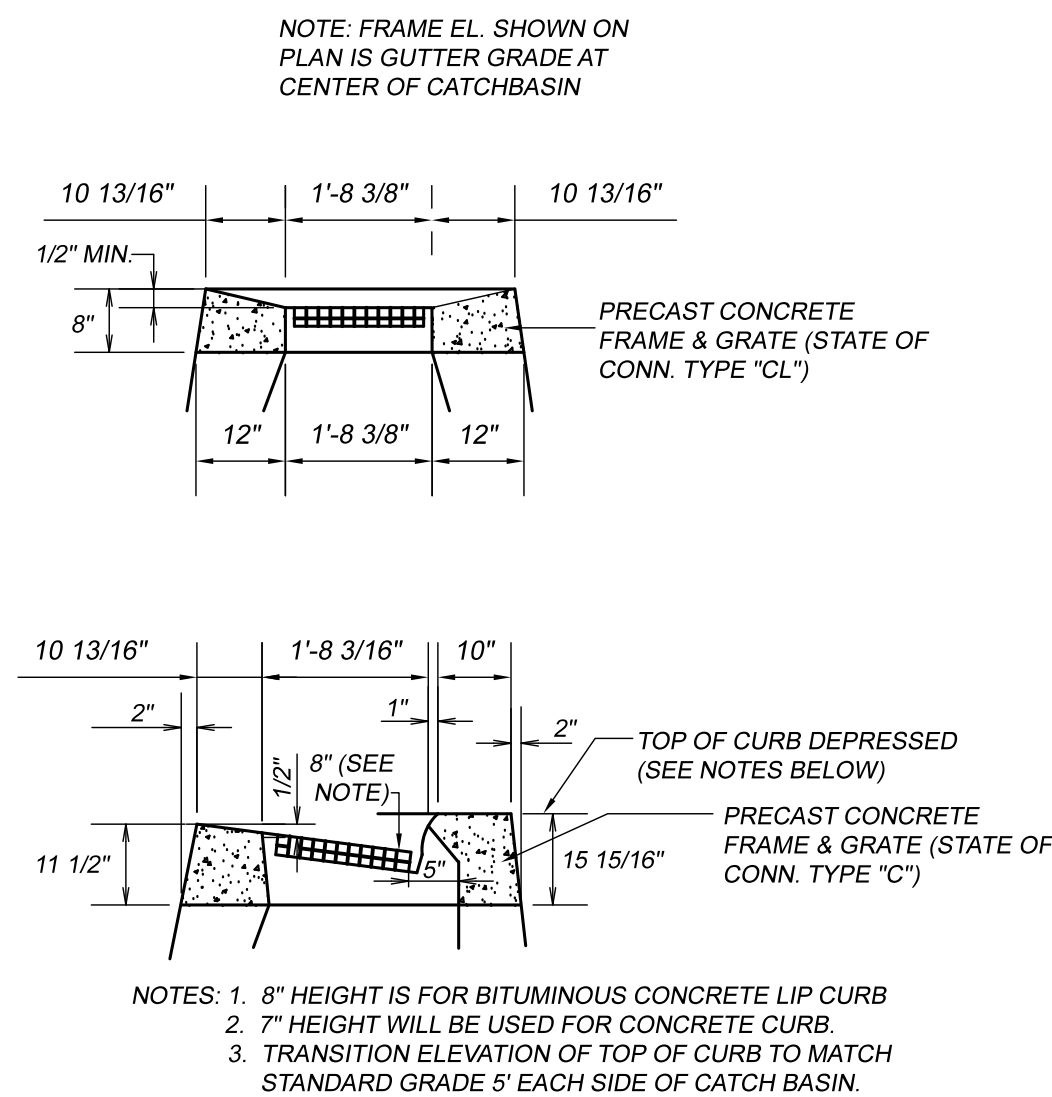
NOTES

1. SILT SOCK MANUFACTURER SHALL BE SILT SOXX OR ENGINEER APPROVED EQUAL.
2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
3. SEDIMENT SILT SOCK TO BE FILLED WITH LEAF COMPOST AND/OR WOODY MULCH PER MANUFACTURER'S REQUIREMENTS.
4. FOLLOWING CONSTRUCTION AND SITE STABILIZATION, COMPOST MATERIAL SHALL BE REMOVED OR DISPERSED ON SITE, AS APPROVED BY THE ENGINEER.

SILT SOCK DETAIL
NOT TO SCALE



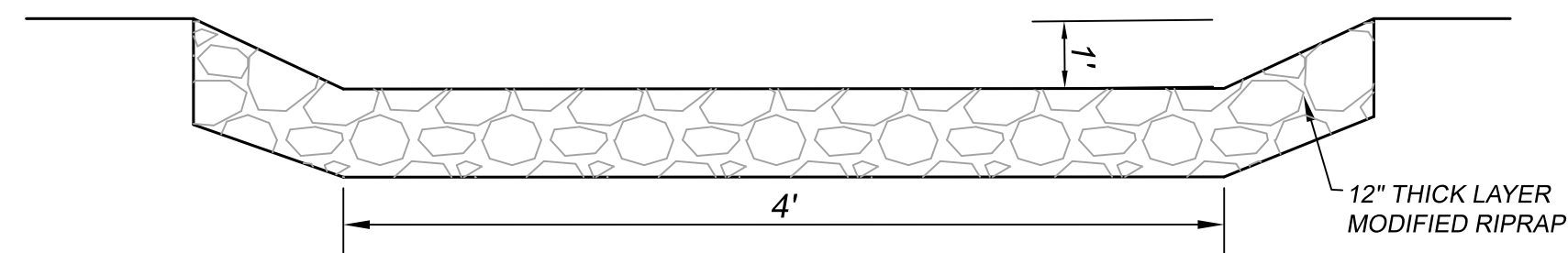
TYPE "C" OR "C-L" CATCH BASIN WITH SUMP
NOT TO SCALE



- NOTE: FRAME EL. SHOWN ON PLAN IS GUTTER GRADE AT CENTER OF CATCHBASIN
- NOTES: 1. 8" HEIGHT IS FOR BITUMINOUS CONCRETE LIP CURB
2. 7" HEIGHT WILL BE USED FOR CONCRETE CURB.
3. TRANSITION ELEVATION OF TOP OF CURB TO MATCH STANDARD GRADE 5' EACH SIDE OF CATCH BASIN.

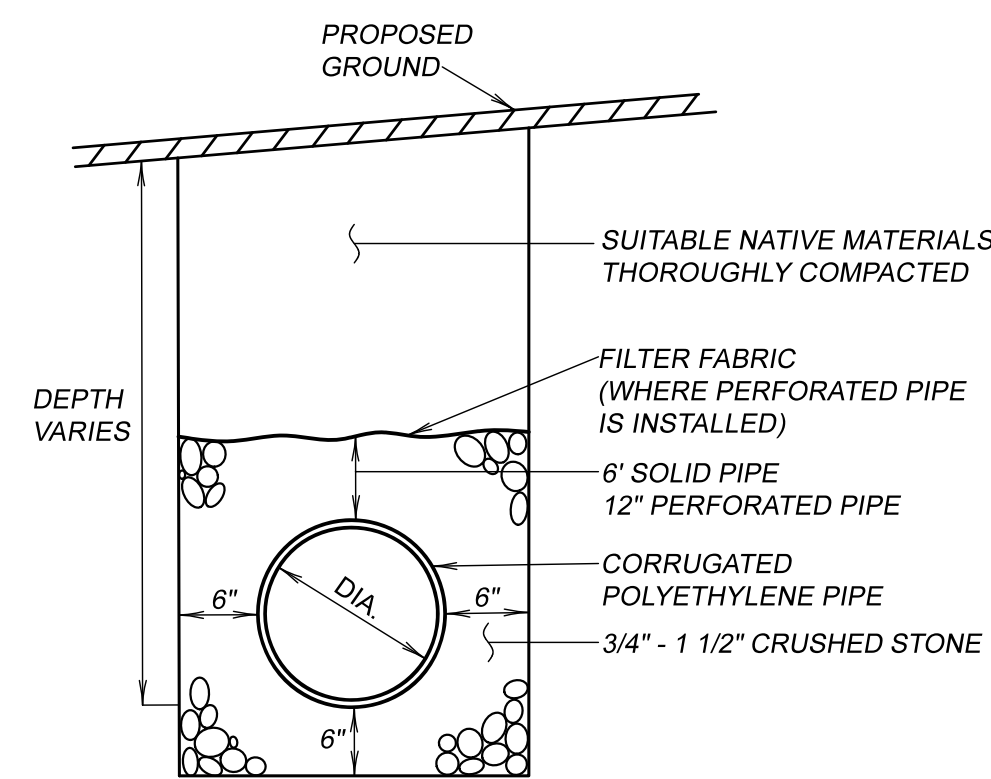
**FRAME AND GRATE FOR
TYPE "C" OR "CL" CATCH
BASIN**

N.T.S.



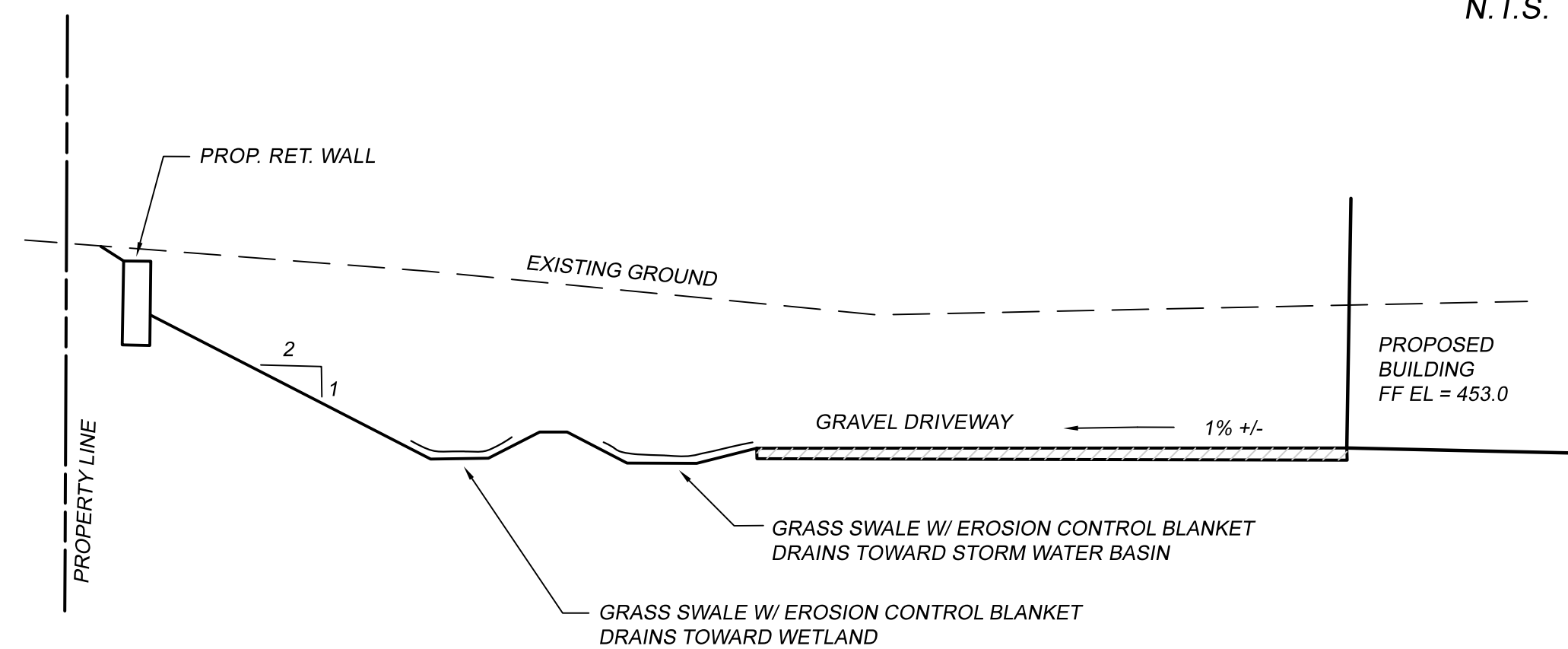
STORMWATER BASIN SPILLWAY SECTION

N.T.S.



**DRAINAGE PIPE INSTALLATION
DETAIL**

N.T.S.



CROSS SECTION B-B
1" = 10'

SOIL EROSION AND SEDIMENT CONTROL

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN INDUSTRIAL BUILDING. SITE WORK WILL INCLUDE CONSTRUCTION OF BUILDING, ACCESS DRIVE, PARKING AREAS, AND NECESSARY UTILITIES.

ATTENTION SHALL BE GIVEN TO THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES. NO ERODED SEDIMENTS SHALL BE PERMITTED TO FLOW OFF THE SITE. IF FIELD CONDITIONS WARRANT IT OR THE TOWN REQUESTS IT, ADDITIONAL E & S CONTROL MEASURES, BEYOND WHAT IS SHOWN ON THE PLAN, SHALL BE INSTALLED.

THE SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES WILL BE APPROXIMATELY AS FOLLOWS:

1. INSTALLATION OF EROSION CONTROL DEVICES
2. CLEARING & GRUBBING
3. ROUGH SITE GRADING
4. INSTALL TEMPORARY SEDIMENT TRAPS AS NEEDED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DOWNSTREAM WETLANDS OR DRAINAGE PIPE.
5. BUILDING CONSTRUCTION AND INSTALLATION OF UTILITIES INCLUDING DRAINAGE PIPES AND CBS
6. PREPARATION OF ACCESS DRIVE AND PARKING LOT BASE
7. AFTER SITE IS STABILIZED, CONSTRUCT INFILTRATION BASIN, SWALE, FOREBAY AND STORMWATER BASIN
8. PERMANENT STABILIZATION INCLUDING LANDSCAPING
9. REMOVAL OF EROSION CONTROL MEASURES

SEDIMENT AND EROSION CONTROL DEVICES WILL BE INSTALLED AS DETAILED ON THIS SHEET AND CHECKED REGULARLY FOR REPLACEMENT AND AFTER EVERY RAIN FOR REMOVAL OF DEPOSITED MATERIALS. RESPONSIBILITY FOR COMPLIANCE WITH THIS PLAN SHALL BELONG TO THE FIELD CONTRACTOR. THE CONTRACTOR SHALL BE THE DESIGNATED ON-SITE AGENT RESPONSIBLE FOR ENSURING TO THE TOWN THAT E & S CONTROL MEASURES ARE STRICTLY ENFORCED.

SEEDING DATES FOR PERMANENT VEGETATION ARE APRIL 1 - JUNE 15 AND AUGUST 15 - SEPTEMBER 15. SEEDING DATES FOR TEMPORARY VEGETATION ARE MARCH 1 - OCTOBER 15. OUTSIDE OF THESE DATES TEMPORARY MULCH CONSISTING OF STRAW OR HAY APPLIED AT THE RATE OF 45 LB/1000 SQUARE FEET SHALL BE USED. HYDROSEEDING WILL BE PERMITTED WHERE SLOPES ARE NO STEEPER THAN 2 TO 1 AND SEEDING RATES WILL BE INCREASED BY 10%.

OPERATIONS AND MAINTENANCE

1. ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
3. PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. UPON FINAL GRADING, DISTURBED AREAS SHALL COVERED WITH A MINIMUM OF 6" LOAM AND SEEDED WITH PERENNIAL GRASSES AS SPECIFIED FOR THE PROJECT. IMMEDIATELY AFTER SEEDING, MULCH THE SEEDED AREA WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE. SEEDING DATES ARE TO BE BETWEEN APRIL 1 THRU JUNE 15 AND AUGUST 15 THRU OCTOBER 15.
5. DAILY INSPECTIONS SHALL BE MADE OF EROSION AND SEDIMENT CONTROL MEASURES TO INSURE EFFECTIVENESS AND IMMEDIATE CORRECTIVE ACTION SHALL BE TAKEN IF FAILURE OCCURS. ADDITIONAL EROSION CONTROL MEASURES BEYOND WHAT IS SHOWN ON THE PLAN MAY BE NECESSARY.
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND VEGETATIVE COVER HAS BEEN ESTABLISHED, AT WHICH TIME THEY SHALL BE REMOVED.
7. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THIS EROSION AND SEDIMENT CONTROL PLAN.

MINIMIZE DISTURBED AREAS

1. KEEP LAND DISTURBANCE TO A MINIMUM - THE MORE LAND THAT IS IN VEGETATIVE COVER, THE MORE SURFACE WATER WILL INFILTRATE INTO THE SOIL, THUS MINIMIZING STORMWATER RUNOFF AND POTENTIAL EROSION. KEEPING LAND DISTURBANCE TO A MINIMUM NOT ONLY INVOLVES MINIMIZING THE EXTENT OF EXPOSURE AT AN ONE TIME, BUT ALSO THE DURATION OF EXPOSURE.
2. PHASE CONSTRUCTION SO THAT AREAS WHICH ARE ACTIVELY BEING DEVELOPED AT ANY ONE TIME ARE MINIMIZED AND ONLY THAT AREA UNDER CONSTRUCTION IS EXPOSED. CLEAR ONLY THOSE AREAS ESSENTIAL FOR CONSTRUCTION.
3. SEQUENCE THE CONSTRUCTION OF STORM DRAINAGE SYSTEMS SO THAT THEY ARE OPERATIONAL AS SOON AS POSSIBLE DURING CONSTRUCTION. ENSURE ALL OUTLETS ARE STABLE BEFORE OUTLETTING STORM DRAINAGE FLOW INTO THEM.
4. SCHEDULE CONSTRUCTION SO THAT FINAL GRADING AND STABILIZATION IS COMPLETED AS SOON AS POSSIBLE.

MANAGING RUNOFF

1. USE DIVERSIONS, STONE DIKES, SILT FENCES AND SIMILAR MEASURES TO BREAK FLOW LINES AND DISSIPATE STORM WATER ENERGY.
2. AVOID DIVERTING ONE DRAINAGE SYSTEM INTO ANOTHER WITHOUT CALCULATING THE POTENTIAL FOR DOWNSTREAM FLOODING OR EROSION.
3. CLEAN RUNOFF SHOULD BE KEPT SEPARATED FROM SEDIMENT LADEN WATER AND SHOULD NOT BE DIRECTED OVER DISTURBED AREAS WITHOUT ADDITIONAL CONTROLS. ADDITIONALLY, PREVENT THE MIXING OF CLEAN OFF-SITE GENERATED RUNOFF WITH SEDIMENT LADEN RUNOFF GENERATED ON-SITE UNTIL AFTER ADEQUATE INFILTRATION OF ON -SITE WATERS HAS OCCURRED.

INTERNAL EROSION CONTROLS

1. DO NOT RELY EXCLUSIVELY ON PERIMETER EROSION CONTROL DEVICES.
2. CONTROL EROSION AND SEDIMENTATION BY INSTALLING INTERNAL EROSION CONTROL IN THE SMALLEST DRAINAGE AREA POSSIBLE.
3. DIRECT RUNOFF FROM SMALL DISTURBED AREAS TO ADJOINING UNDISTURBED VEGETATED AREAS.
4. CONCENTRATED RUNOFF SHOULD BE CONVEYED TO SEDIMENT TRAPS OR BASINS AND STABLE OUTLETS USING RIP RAPPED CHANNELS, STORM DRAINS OR SIMILAR MEASURES.

STORMWATER MAINTENANCE PLAN

1. CATCH BASINS

INSPECTION FREQUENCY: MONTHLY
MAINTENANCE FREQUENCY: CLEAN SUMPS-ANNUALLY

2. STORMWATER BASINS

INSPECTION FREQUENCY: ANNUALLY
INSPECTION ITEMS:
• OUTLET STRUCTURE
• SUBSIDENCE
• EROSION
• CRACKING OR TREE GROWTH ON EMBANKMENT
• EMERGENCY SPILLWAY DAMAGE
• SEDIMENT ACCUMULATION AROUND THE OUTLET
• HEALTH OF TURF
• EROSION WITHIN BASIN AND BANKS
MAINTENANCE FREQUENCY:
• MOWING - TWICE PER YEAR
• TRASH REMOVAL - TWICE PER YEAR
• TILLING OF CLOGGED INFILTRATIVE SURFACES - AS NECESSARY
• SEDIMENT REMOVAL - EVERY 5-10 YEARS

3. DRAINAGE CHANNELS

INSPECTION FREQUENCY - TWICE PER YEAR
INSPECTION ITEMS:
• SLOPE INTEGRITY
• HEALTH OF TURF
• RIPRAP STABILITY/DISPLACEMENT
• SOIL EROSION
• SEDIMENT ACCUMULATION
MAINTENANCE FREQUENCY:
• FERTILIZE, LIME, WATER, MONTHLY DURING FIRST 6 MONTHS.
• MOWING - TWICE PER YEAR
• SEDIMENT AND DEBRIS REMOVAL - ONCE PER YEAR

DRAINAGE AND EROSION CONTROL DETAILS
PREPARED FOR
JJS UNIVERSAL CONSTRUCTION CO.
1574 RIVERSIDE DRIVE - THOMPSON, CT
MAP 55 BLOCK 65 LOT 14

J&D CIVIL
ENGINEERS, LLC
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DESIGNED: DDB
CHECKED: JJB

REVISIONS:
2021-10-22 DOT COMMENTS

JOB NO: 20278

DATE: SEPTEMBER 3, 2021

SCALE: AS NOTED

SHEET: 6 OF 6

Stormwater Management Report

Prepared For

JJS Universal Construction Co.
C/O Wojciech Sudyka

1574 Riverside Drive
North Grosvenordale, CT

Dated: August 25, 2021
Revised November 30, 2021

Prepared By

J&D Civil Engineers, LLC
401 Ravenelle Road
North Grosvenordale, CT

Project Narrative

The applicant, Mr. Wojciech Sudyka, is proposing to construct an expansion to his existing construction company. The site currently has two separate commercial buildings at the north end, close to the state line. The applicant is interested in constructing a 17,200 square foot garage building near the south end of the site, along with an associated driveway, septic, and drainage system. The garage will consist of 8 separate bays, some of which will be used by the applicant, and some of which may be rented or leased to other local contractors.

Site Description

The property is approximately 7.5 acres in size, and is located on the west side of Route 12, right at the state line with Massachusetts. There is a body of water known as Perry Pond located at the west side of the site, and the water has an approximate elevation of 466 feet. From the pond, the land slopes down towards the road, which has a low point elevation of 436 feet. The north side of the site contains 1.5 acres of developed area, with two detached commercial buildings, a driveway, and storage areas for vehicles and construction supplies. The remaining land is vacant, and consists of a pond and mature forest.

There are 4 main pockets of wetlands on site. One of the wetlands pockets at the center of the site will be filled in. The other three wetland areas will remain, and serve as part of the proposed drainage system. All wetland soils have been delineated by Scott Rabideau, a Professional Wetland Scientist. Additionally, an ecologic survey was conducted of the wetlands pocket that will be disturbed.

The soils in this watershed primarily consist of Charlton-Chatfield Complex (73C), according to the National Resource Conservation Service. These soils represent at least 90% of the watershed, and are composed of very rocky, sandy loams. These soils correspond to Hydrologic Group B, which have a high infiltration rate and low potential for runoff. There is a small area of Group C soils on the adjacent property to the south, referred to as Hollis Chatfield Rock Outcrop Complex. These Group C soils have a moderate infiltration rate, and moderate potential for runoff. There is also a small area of Group D soils at the low point of the site, referred to as Scarboro Muck by the NRCS. These soils have a very low infiltration rate, and a high potential for runoff. There do not appear to be any Group A, sandy or gravelly soils, present in the watershed. Please see the attached drainage area maps and soil reports for more information.

Existing and Proposed Drainage Patterns

Perryville Pond, with a drainage area of approximately 42 acres, is upstream of the project area. The outlet structures for the dam at Perryville Pond are obscured, and so it is not possible to model them accurately because the pipe sizes and elevations are unknown. Therefore, for the purpose of this analysis, it was assumed that the dam outlet pipes are either blocked or not passing any significant flow. It is assumed that excess runoff generated during large storm events will spill out of the pond on the east side of the pond in the vicinity of wetland flags D-13 to D-15 where the ground is low. The pond outflow will flow easterly through the wetlands

toward the proposed driveway where a 24" culvert is proposed. After passing under the driveway the flow will continue east and will cross underneath Route 12 through an existing box culvert.

The watershed downstream of the dam is approximately 27 acres in size. It extends slightly north into Massachusetts, and approximately 1,500 feet south across two wooded residential properties. Under existing conditions, there are two main drainage areas below the pond, described as West and East on the drainage area maps. Drainage Area: East is primarily wooded, and drains into a small wetland depression before entering a catch basin and flowing east under the highway. Drainage Area: West includes most of the developed and/or impervious areas, and drains into another small wetland depression before crossing under the highway. According to historical State maps, there exists a drainage structure consisting of a 2x2 box culvert. However, we could not find any evidence of this structure, either an inlet or outlet. It appears as though this water filtrates into the ground, and slowly seeps through a stone headwall on the other side of the highway.

Under proposed conditions, Drainage Area: East remains unchanged. The remaining area is divided into 4 new drainage areas. The undeveloped portion of the land to the south, Drainage Area: West, has been decreased in size, and is directed by a grass swale into the wetlands. The Drainage Area: Back Parking consists of the rear portion of the parking lot and driveway, and drains into a small infiltration basin for water quality treatment before entering the nearby wetlands. The Drainage Area: Front Parking consists of the building and the front portion of the parking lot and driveway. This drainage area drains to an infiltration basin for water quality treatment before entering the wetlands and ultimately crossing under the road. The last proposed Drainage Area: North is composed of the existing developed area to the northeast, and flow into the wetlands before crossing under the road. Please see the attached HydroCAD report for specific details on each drainage area.

Methodology

The HydroCAD computer program was used for hydraulic computations for this project. This program models the hydrology and hydraulics of stormwater runoff based largely upon the methods developed by the Soil Conservation Service (now known as the Natural Resources Conservation Service). Required input data includes the size of the contributing drainage area, curve numbers which are based upon land use and soil types, and times of concentration. Hydrographs with peak flows determined are calculated for each drainage area based upon the SCS synthetic unit hydrograph method. The rainfall distribution used in the program was the SCS Type III storm recommended for New England.

Stormwater Quality

The drainage for this project has been designed to maximize stormwater quality and prevent any dirty or otherwise polluted water from directly entering a wetlands or drainage structure. The project incorporates several best management practices as recommended by the 2004 CT Stormwater Quality Manual. Impervious surfaces have been minimized, and the majority of the

watershed that was analyzed consists of mature, undeveloped forest. Runoff generated from these areas does not require any treatment, and therefore is being directed into existing wetlands and/or drainage structures.

This project involves approximately 2 acres of land being disturbed, with the majority of that area converted into impervious building or gravel parking. Runoff generated by the building roof does not require any treatment either. The portion of gravel parking and driveway to the rear, known as Drainage Area: Back Parking will be directed into one of two grass swales. The grass swales will provide some treatment before the runoff enters a stormwater infiltration basin for additional treatment and storage. This basin has been sized to capture the required Water Quality Volume. The developed portion of the site closest to the road, known as Drainage Area: Front Parking will be directed into a stormwater infiltration basin for storage and treatment. This basin has been sized to capture the required Water Quality Volume. After leaving the infiltration basins, clean runoff will enter the various wetlands pockets on site, which will also provide a degree of treatment and storage.

During construction, several methods will be used to maximize stormwater quality and reduce the amount of erosion from the site. Erosion control devices such as silt fence or hay bales will be placed above any wetlands, or at the toe of any embankments. Disturbed areas shall be stabilized as soon as possible with loam and seed or mulch. Erosion control blankets shall be installed in areas of high flow.

Conclusions and Comparison of Peak Flows

Perryville Pond has a surface area of approximately 4.3 acres. There is a considerable amount flat land to the west of the pond, which provides storage of stormwater during large storm events. The water surface only increases about 1.6' feet during the 100-year storm event and the storage within the pond greatly reduces peak flows. In addition, the timing of the peak flow for the pond is later than the peak flow for the remaining watershed. Since the peak flow from the site is much quicker than the peak flow from the pond, the sizes of the drainage structures for the proposed project are not affected by this additional discharge from the pond.

Under proposed conditions, there is no increase in peak runoff exiting the site and flowing into the downstream state culverts. The impervious (building) and near-impervious (gravel parking) surfaces are directed into infiltration basins. These basins allow runoff to naturally infiltrate into the ground and also provide storage to attenuate the peak runoff. The peak discharges under various storms for existing and proposed conditions are provided below. All numbers are shown in CFS, Cubic Feet per Second. The comparison point for the peak flow is Route 12 and it includes flow draining toward both CT DOT culverts.

	2 Year	10 Year	25 Year	50 Year	100 Year
Existing	5.0	17.6	24.0	28.8	33.2
Proposed	3.6	14.3	20.4	25.2	30.3

Comparison of Peak Flows

Under proposed conditions, there is no increase in peak runoff existing the site. The impervious (building) and near-impervious (gravel parking) surfaces are directed into infiltration basins. These basins allow runoff to naturally infiltrate into the ground and also provide storage to attenuate the peak runoff.

The peak discharges under various storms for existing and proposed conditions are provided below. All numbers are shown ins CFS, Cubic Feet per Second.

	2 Year	10 Year	25 Year	50 Year	100 Year
Existing	4.98	17.56	24.20	28.77	33.18
Proposed	3.54	14.27	20.44	25.16	30.66

Original Hydraulic Summary

Conclusions and Comparison of Peak Flows

Perryville Pond has a surface area of approximately 4.3 acres. There is a considerable amount flat land to the west of the pond, which provides storage of stormwater during large storm events. The water surface only increases about 1.6' feet during the 100-year storm event and the storage within the pond greatly reduces peak flows. In addition, the timing of the peak flow for the pond is later than the peak flow for the remaining watershed. Since the peak flow from the site is much quicker than the peak flow from the pond, the sizes of the drainage structures for the proposed project are not affected by this additional discharge from the pond.

Under proposed conditions, there is no increase in peak runoff exiting the site and flowing into the downstream state culverts. The impervious (building) and near-impervious (gravel parking) surfaces are directed into infiltration basins. These basins allow runoff to naturally infiltrate into the ground and also provide storage to attenuate the peak runoff. The peak discharges under various storms for existing and proposed conditions are provided below. All numbers are shown ins CFS, Cubic Feet per Second. The comparison point for the peak flow is Route 12 and it includes flow draining toward both CT DOT culverts.

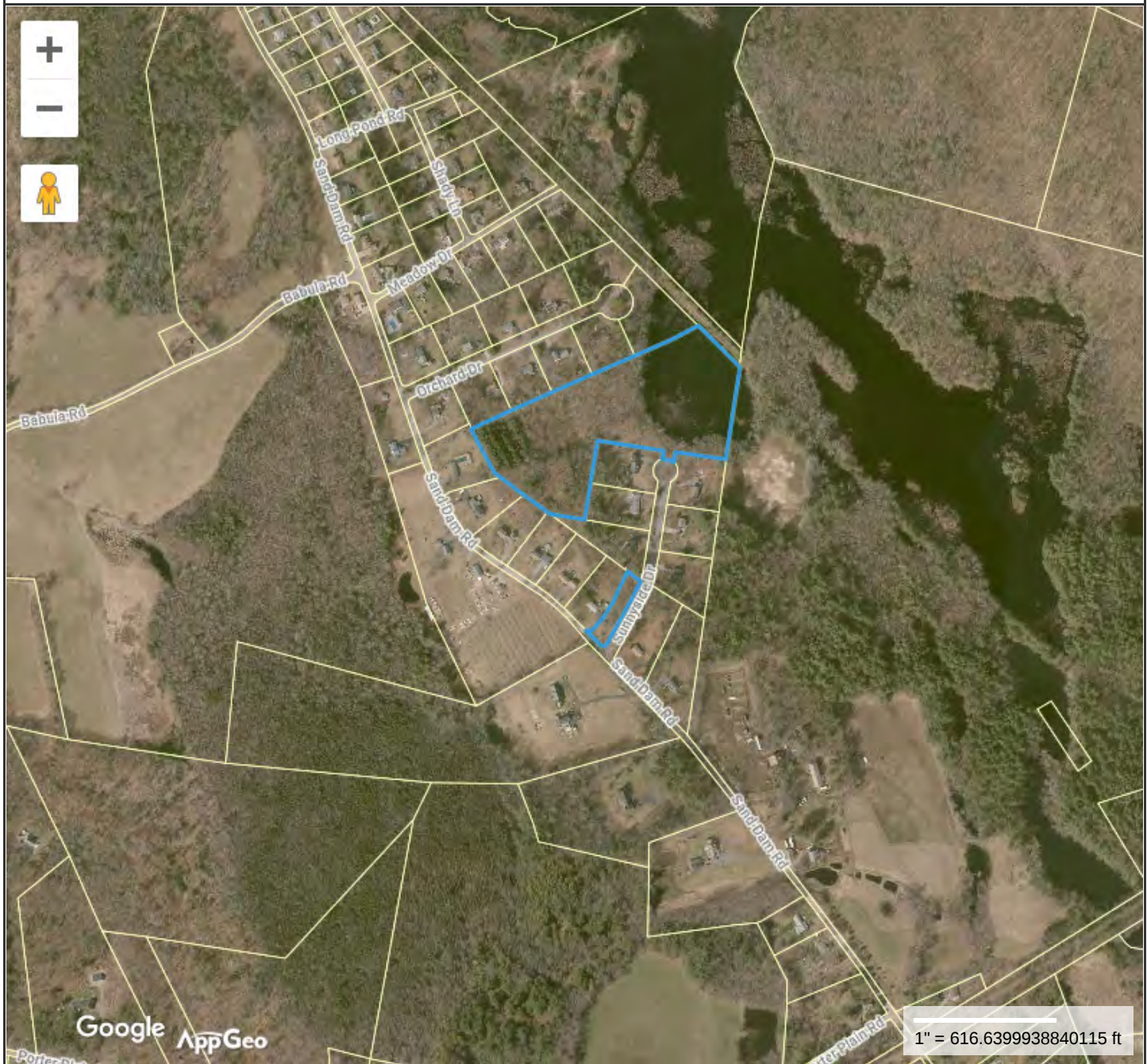
	2 Year	10 Year	25 Year	50 Year	100 Year
Existing	5.0	17.6	24.0	28.8	33.2
Proposed	3.6	14.3	20.4	25.2	30.3

Revised Hydraulic Summary

Agenda Item E.a) 3. Old Applications

IWA21030, Max Candidus, 0 Sunnyside Drive (Assessor's map 133, block 1, lot 3), construct a driveway and septic system for a new single family home, portions of which are in wetlands and the 100-foot upland review area, stamped received 11/3/21, statutorily received 11/9/21.

Locus Map for Candidis, IWA21031

**Property Information**

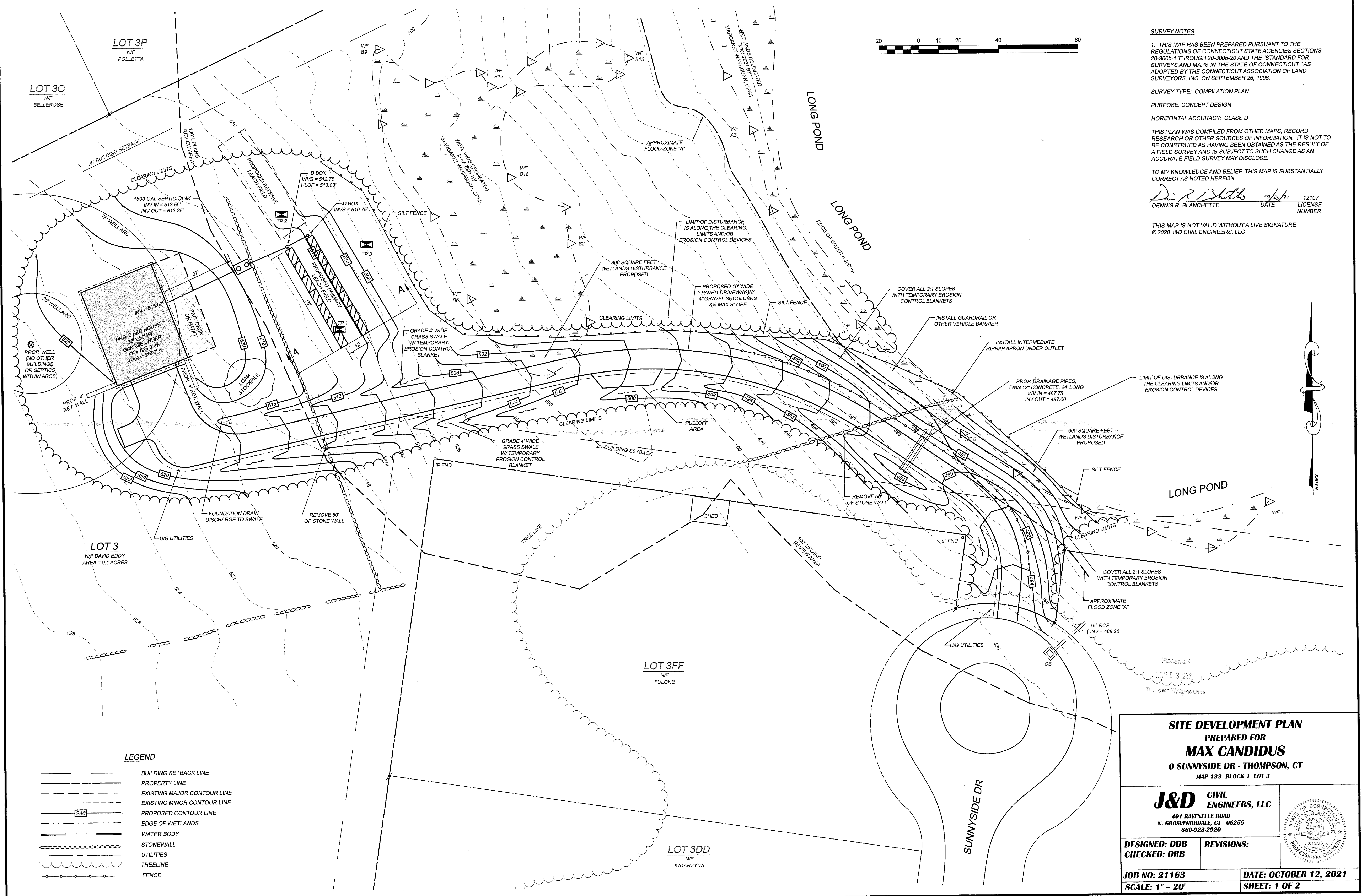
Property ID 3932
Location 0 SUNNYSIDE DR
Owner EDDY DAVID

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

SURVEY TYPE: COMPILED PLAN
PURPOSE: CONCEPT DESIGN
HORIZONTAL ACCURACY: CLASS D

THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Dennis R. Blanchette 10/15/21 12107
DENNIS R. BLANCHETTE DATE LICENSE
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2020 J&D CIVIL ENGINEERS, LLC

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WETLANDS
- WATER BODY
- STONEMALL
- UTILITIES
- TREELINE
- FENCE

Received
10/13/2021
Thompson Wetlands Office

SITE DEVELOPMENT PLAN
PREPARED FOR
MAX CANDIDUS
0 SUNNYSIDE DR - THOMPSON, CT
MAP 133 BLOCK 1 LOT 3

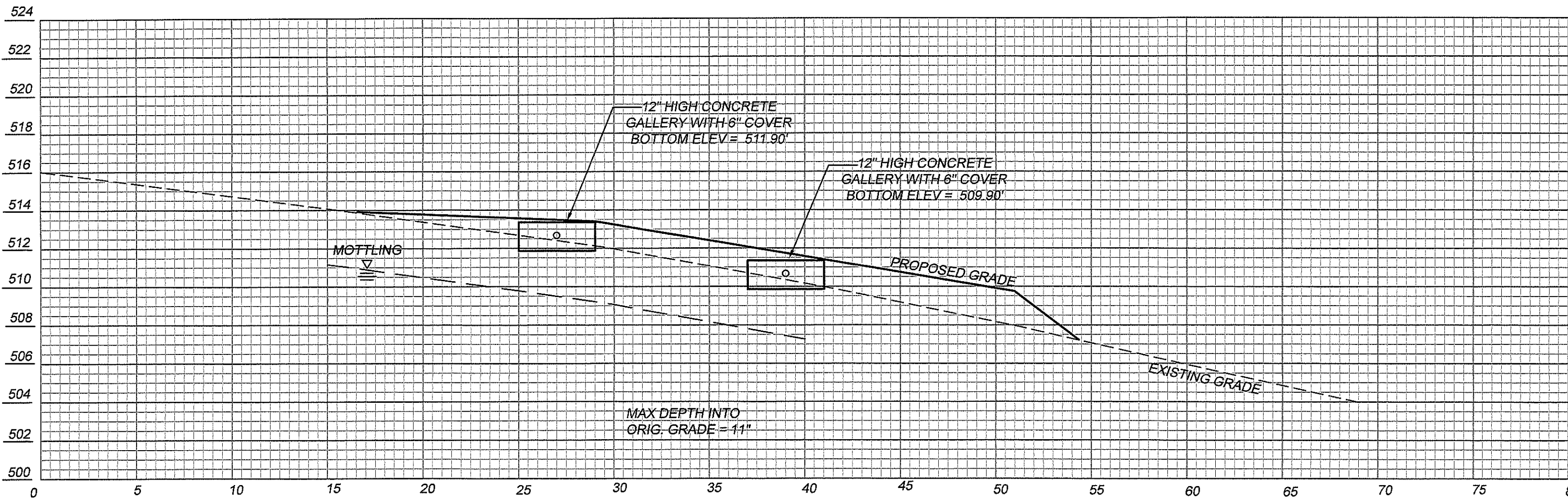
J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DDB
CHECKED: DRB

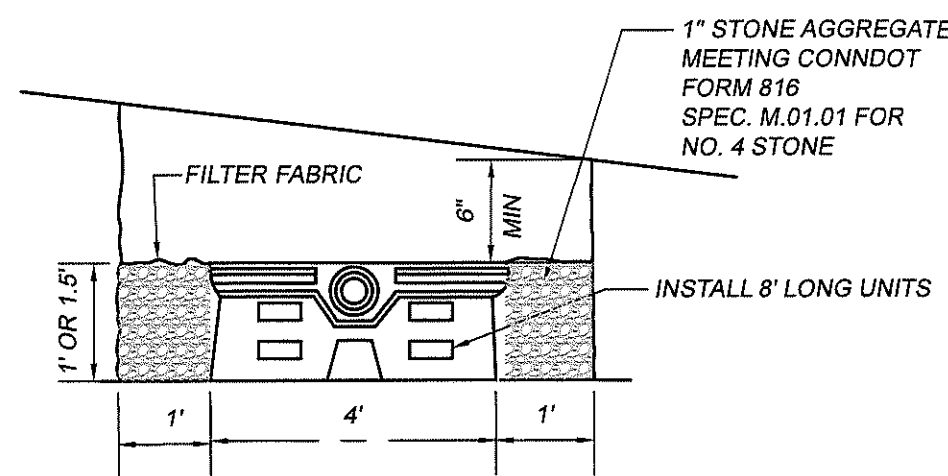
REVISIONS:

JOB NO: 21163
SCALE: 1" = 20'

DATE: OCTOBER 12, 2021
SHEET: 1 OF 2



LEACHING FIELD CROSS SECTION A-A
1" = 5'



CONCRETE FLOW DIFFUSOR
NOT TO SCALE

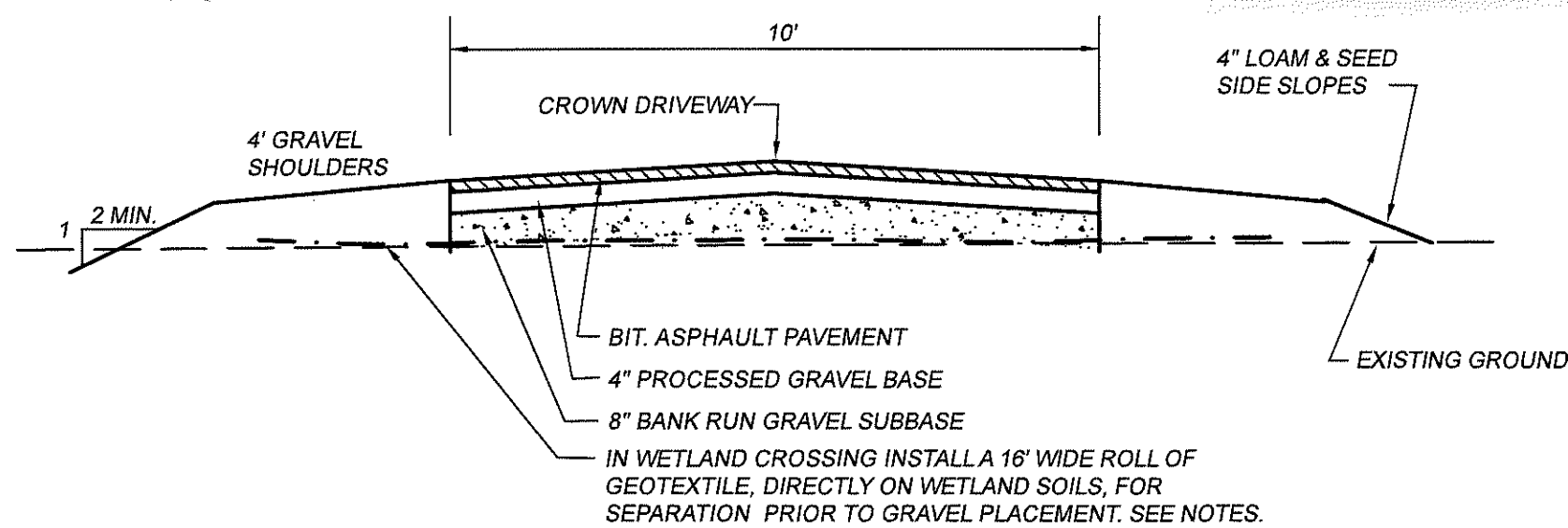
GEOTEXTILE INSTALLATION NOTES

WOVEN GEOTEXTILE SHALL MEET AASHTO M288-06 FOR CLASS 2 STABILIZATION AND SEPARATION SUCH AS TENCATE MIRAFI HP SERIES GEOTEXTILES.

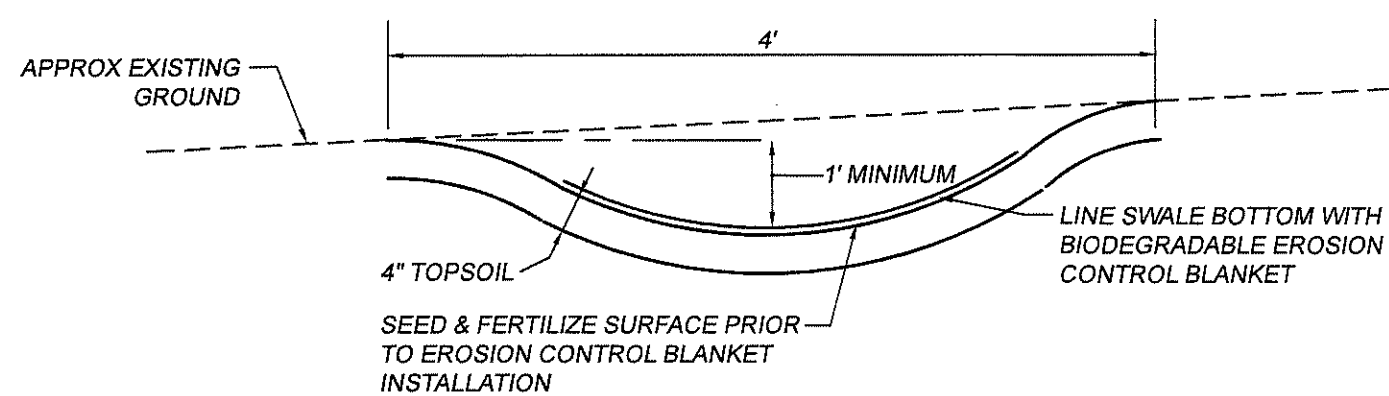
VEGETATION REMAINING AFTER CLEARING MAY REMAIN IN PLACE FOR STABILIZATION PURPOSES. ALL DEPRESSIONS OR HUMPS GREATER THAN 6" SHOULD BE SMOOTHED OUT. IF THE SOILS BECOME EXCESSIVELY RUTTED OR ARE PUMPING, THEY MAY BE EXCAVATED AND REPLACED WITH GRANULAR FILL.

THE GEOTEXTILE SHALL BE PLACED DIRECTLY ON THE PREPARED SUBGRADE. PLACE FILL DIRECTLY OVER THE GEOTEXTILE IN 4"-12" LOOSE LIFTS. USE RUBBER Tired VEHICLES DRIVEN WITH CARE. DO NOT OPERATE TRACKED MACHINES OVER THE GEOTEXTILE UNTIL IT HAS AT LEAST 6" OF COVER.

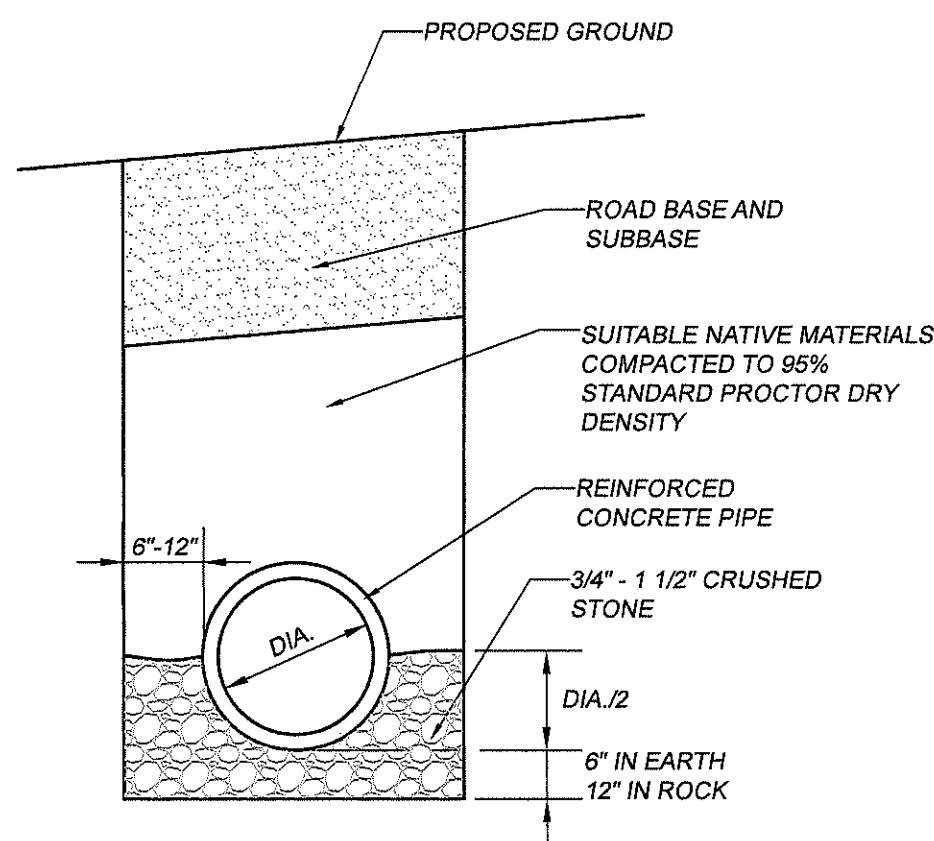
ONCE A STABLE WORKING PLATFORM HAS BEEN OBTAINED, FILL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT WITHIN +/- 3% OF OPTIMUM MOISTURE CONTENT.



TYPICAL PAVED DRIVEWAY SECTION
NOT TO SCALE



GRASS SWALE DETAIL
NOT TO SCALE



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

- 1) NUMBER AND SIZE OF CONDUITS SHALL BE AS REQUIRED BY OWNER & UTILITY COMPANY
- 2) CONSTRUCTION METHODS, MATERIALS & DIMENSIONS SHALL CONFORM TO THE SPECIFICATIONS OF THE APPLICABLE UTILITY COMPANIES

PERC. TEST RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 10, 2021
NDDH FILE #22000032

HOLE A - NEAR TP 2

TIME	READING
1:15	7.15"
1:21	10.25"
1:27	12"
1:31	13.125"
1:40	15"
1:46	16.25"

DEPTH: 35"
RATE: 4.8 MIN/IN

TEST PIT RESULTS

OBSERVED BY: MAUREEN MARCOUX
DATE: AUGUST 10, 2021
NDDH FILE #22000032

PIT NO. 1

0 - 7"	ORGANICS
7 - 42"	SANDY LOAM, ROCKS, ROOTS
42 - 52"	TIGHT LOAMY SAND
52 - 80"	MOD COMPACT LOAMY SAND

MOTTLES: N/A
GROUNDWATER: N/A
LEDGE: N/A
ROOTS: 42"
RESTRICTIVE: 42"

PIT NO. 2

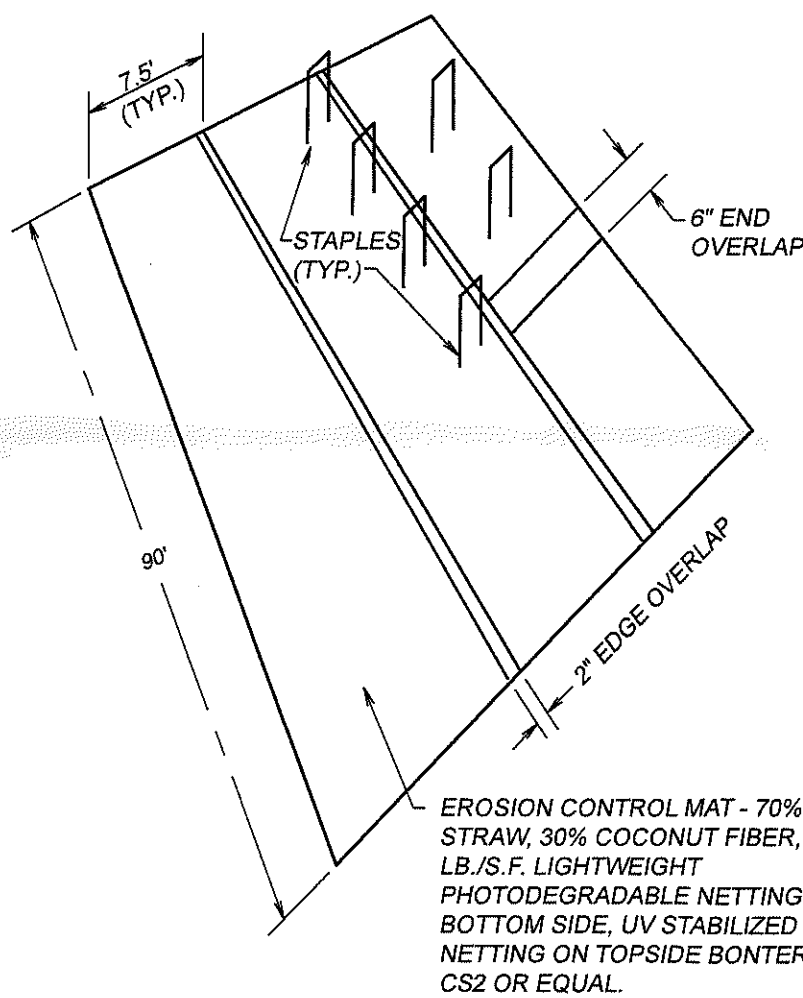
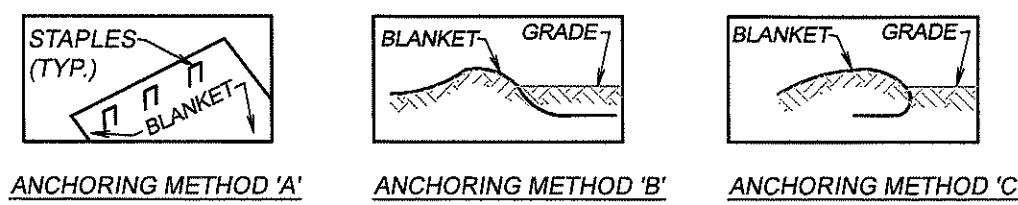
0 - 8"	ORGANICS, TOPSOIL
8 - 36"	SANDY LOAM W/ ROOTS
36 - 80"	MOD COMPACT LOAMY SAND

MOTTLES: N/A
GROUNDWATER: N/A
LEDGE: N/A
ROOTS: 36"
RESTRICTIVE: 36"

PIT NO. 3

0 - 8"	ORGANICS, TOPSOIL
8 - 35"	SANDY LOAM W/ ROOTS
35 - 82"	MOD COMPACT LOAMY SAND, SOME GRAVEL

MOTTLES: N/A
GROUNDWATER: N/A
LEDGE: N/A
ROOTS: 35"
RESTRICTIVE: 35"



INSTALLATION NOTES ON SLOPES:

-GRADE AND SMOOTH SLOPE. APPLY FERTILIZER AND SEED PRIOR TO INSTALLING BLANKETS UNLESS USED AS TEMPORARY SEASONAL COVER.

-ANCHOR BLANKETS AT TOP OF SLOPE. USE ANCHORING METHOD "A" FOR 4:1 SLOPES, "B" FOR 3:1 SLOPES AND "C" FOR 2:1 AND STEEPER SLOPES.

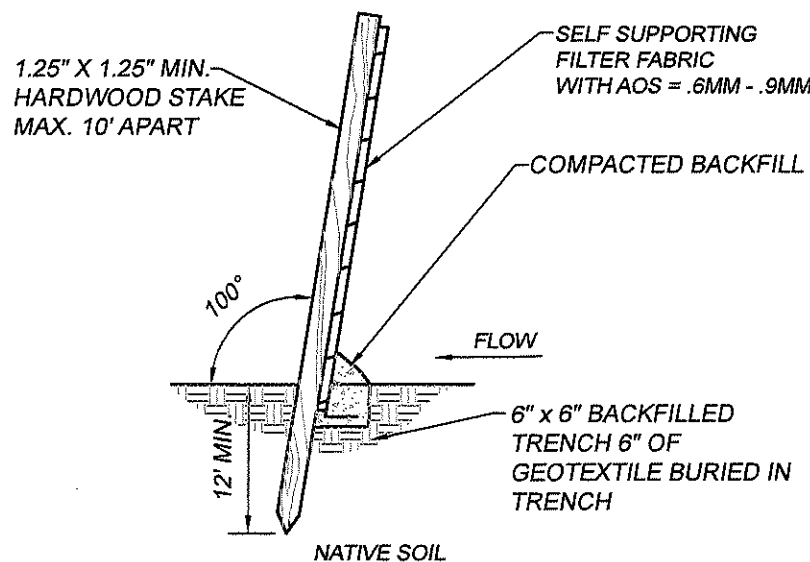
-UNROLL BLANKETS IN DIRECTION OF WATER FLOW. PLACE BLANKETS LOOSELY AND IN FULL CONTACT WITH THE SOIL.

-OVERLAP BLANKET EDGES APPROXIMATELY 2" AND STAPLE. NOTE: INSTALL BLANKETS SO EDGE OVERLAPS ARE SHINGLED AWAY FROM PREVAILING WIND.

-OVERLAP BLANKET ENDS 6", UPPER BLANKET OVER LOWER BLANKET, AND STAPLE USING FIVE STAPLES (ANCHOR "A").

-CUT EXCESS BLANKET WITH SCISSORS AND ANCHOR AT END OF SLOPE. USE ANCHORING METHOD "A" FOR 4:1 SLOPES AND "B" FOR SLOPES 3:1 OR STEEPER.

EROSION CONTROL BLANKET DETAIL
N.T.S.



SILT FENCE INSTALLATION
NOT TO SCALE

SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 4.8 MIN/IN

NUMBER OF BEDROOMS: 5

SEPTIC TANK: 1500 GALLON

LEACHING AREA REQUIRED: 660 SQUARE FEET

LEACHING AREA PROVIDED: (2) ROWS OF 12" HIGH CONCRETE GALLERIES, 56' FEET LONG, AT 5.9 SF/LF = 661 SF

MOTTLING: N/A, LEDGE: N/A, WATER: N/A, RESTRICTIVE: 35", SLOPE: 17%

MLSS (PRIMARY) = 36' (HF=18, PF=1.0, FF=2.0)

LSS PROVIDED = 56'

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: JOLLEY OR EQUAL 4 HOLE D-BOXES

HOUSE EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2665 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

DISTRIBUTION PIPE: 4" PVC, PERFORATED

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%
GRADATION ON FILL LESS GRAVEL:

SIEVE	WET PERCENT PASSING	DRY PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-50	10-75
NO. 100	0-20	0-5
NO. 200	0-5	0-2.5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SINGLE FAMILY HOUSE, WELL, SEPTIC SYSTEM AND DRIVEWAY.

2. EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.

3. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.

4. THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

FLOOD ZONE NOTE

PORTIONS OF THE PROPERTY ALONG THE WATER ARE WITHIN 100 YEAR FLOOD ZONE PER FIRM MAP 090117-0010-B, DATED NOVEMBER 1, 1984.

Received

NOV 9 3 2021

Thompson Wetlands Office

NOTES AND DETAILS

PREPARED FOR

MAX CANDIDUS

0 SUNNYSIDE DR - THOMPSON, CT

MAP 133 BLOCK 1 LOT 3

J&D CIVIL ENGINEERS, LLC

401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DDB
CHECKED: DRB

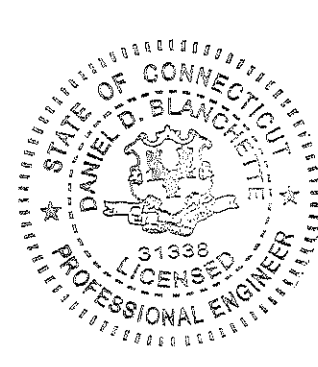
REVISIONS:

JOB NO: 21163

DATE: OCTOBER 12, 2021

SCALE: AS NOTED

SHEET: 2 OF 2



Application DW21031 Copy 1



Connecticut Department of
**ENERGY &
ENVIRONMENTAL
PROTECTION**

October 29, 2021

Mr. Daniel Blanchette
J & D Civil Engineers, LLC
401 Ravenelle Road
Thompson, CT 06255
daniel@jdcivilengineers.com

Project: Construction of Single-Family Residence with the Filling of 1,400 Square Feet of Wetlands at the Candidus Property, 0 Sunnyside Drive in Thompson, Connecticut
NDDB Determination No.: 202111267

Dear Daniel Blanchette,

I have reviewed Natural Diversity Data Base maps and files regarding the area delineated on the map you provided for the proposed Construction of Single Family Residence with the Filling of 1,400 square feet of Wetlands at the Candidus Property, 0 Sunnyside Drive in Thompson, Connecticut. According to our records we have a significant natural community, a Poor Fen and a multitude of state endangered and threatened species adjacent to this property. The wetland area that runs through this property is hydrologically connected to the poor fen. Our records also indicate a critical habitat: Acidic Atlantic White Cedar Swamp across Sunnyside Road to the west of this property.

The following state listed species are associated with the poor fen and hydrology of this property:

State Endangered

Erynnis persius persius (Persius duskywing)
Oclemena nemoralis (Bog aster)
Piptatherum pungens (Slender mountain ricegrass)
Eleocharis equisetoides (Horsetail spikesedge)

State Threatened

Eriophorum vaginatum var. *spissum* (Hare's tail)
Gaylussacia bigeloviana

State Special Concern

Enneacanthus obesus (Banded sunfish)
Rosa nitida (Shining rose)

Poor Fen: These significant natural communities are natural peatland occupying a topographically defined basin. Often, they are deep, poorly decomposed peats dominated primarily by ericaceous shrubs. Subtypes include dwarf shrub, shrub thicket and saturated woodland. In order to protect this significant community please adhere to best management practices designed to protect wetlands and maintain a least a 200-foot vegetated buffer from all wetlands from all activities to maintain its ecological integrity as a special type of significant natural community. During construction strict erosion and sedimentation controls should be maintained.

Alteration to the natural hydrology poses a significant threat to this important natural community. When considering development activities minimize actions that will change what water carries and how water travels to this community, both on the surface and underground.

Water traveling over-the-ground as run-off usually carries an abundance of silt, clay, and other particulates during (and often after) a construction project. While still suspended in the water, these particulates make it difficult for aquatic animals to find food; after settling to the bottom of the wetland, these particulates bury small plants and

animals and alter the natural functions of the community in many other ways. Any development activity near this community type should strive to minimize particulate-laden run-off into this community.

Water traveling on the ground or seeping through the ground also carries dissolved minerals and chemicals. Road salt, for example, is becoming an increasing problem both to natural communities and as a contaminant in household wells. Fertilizers, detergents, and other chemicals that increase the nutrient levels in wetlands cause algae blooms and eventually an oxygen-depleted environment where few animals can live. Herbicides and pesticides often travel far from where they are applied and have lasting effects on the quality of the natural community.

In order to protect the state listed species associated with this poor fen the following protective strategies are required:

- No wetlands should be filled at this site.
- A 200-foot minimum vegetative buffer should be established from any wetlands.
- No herbicides or pesticides should be used on this lot.
- Do not discharge stormwater into wetlands or wetland soils.

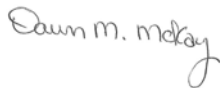
Acidic Atlantic White Cedar Swamp: According to our records there is a significant community, acidic Atlantic white cedar basin swamp just to the west of Sunnyside Road (across the road to the west) of this property. Atlantic White Cedar Swamps are dominated by Atlantic white cedar, and include highbush blueberry, rosebay rhododendron, swamp azalea, red maple, and yellow birch. They have a variable shrub and herbaceous layer, which can range from poorly developed to well developed, to diverse, depending upon canopy light penetration. Atlantic White Cedar Swamps are considered one of the 13 most imperiled ecosystems in Connecticut. Most are in poor condition. Cedar reproduction is poor in these wetland habitats, except in streamside and lakeside flooded habitats without extreme water level fluctuations. These habitats are showing little regeneration and are being succeeded by hemlock. Please ensure that best management practices are implemented to keep nutrients out of this significant ecosystem.

This determination is good for two years. Please re-submit an NDDB Request for Review if the scope of work changes or if work has not begun on this project by October 29, 2023.

Natural Diversity Data Base information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Natural History Survey and cooperating units of DEEP, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the Data Base should not be substitutes for on-site surveys required for environmental assessments. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated into the Data Base as it becomes available.

Please contact me if you have further questions at (860) 424-3592, or dawn.mckay@ct.gov. Thank you for consulting the Natural Diversity Data Base. A more detailed review may be conducted as part of any subsequent environmental permit applications submitted to DEEP for the proposed site.

Sincerely,



Dawn M. McKay
Environmental Analyst 3

Agenda Item E.b) 1. New Applications

WAA21032, Cheryl Popiak, 1267 Thompson Rd.
(Assessor's map 116. Block 24, lot 16A), replacement
and 25% expansion of a 37' X 14' storage building in the
100-foot upland review area, stamped received 11/9/21,
issued 12/6/21, legal notice to be published 11/17/21,
end of appeal 1/1/22.

Date 11/9/2021

1) Name of Applicant Cheryl Popiak
Home Address 2 Leon Street, Thompson, CT 06277
Home Tele & Hrs 508-665-7162 any Business Tele & Hrs same
Business Address same

2) Applicant's interest in the Property: ☒ Owner ☐ Other
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) _____
Home Address _____
Business Address _____
Home Tele & Hrs _____ Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location 2525 on my property
Street or Road Location 1267 Thompson Road
Tax Assessor's Map # 116
Block # 24
Lot # that appears on site plan 16A
Deed Information : Volume # 1006
Page # 206

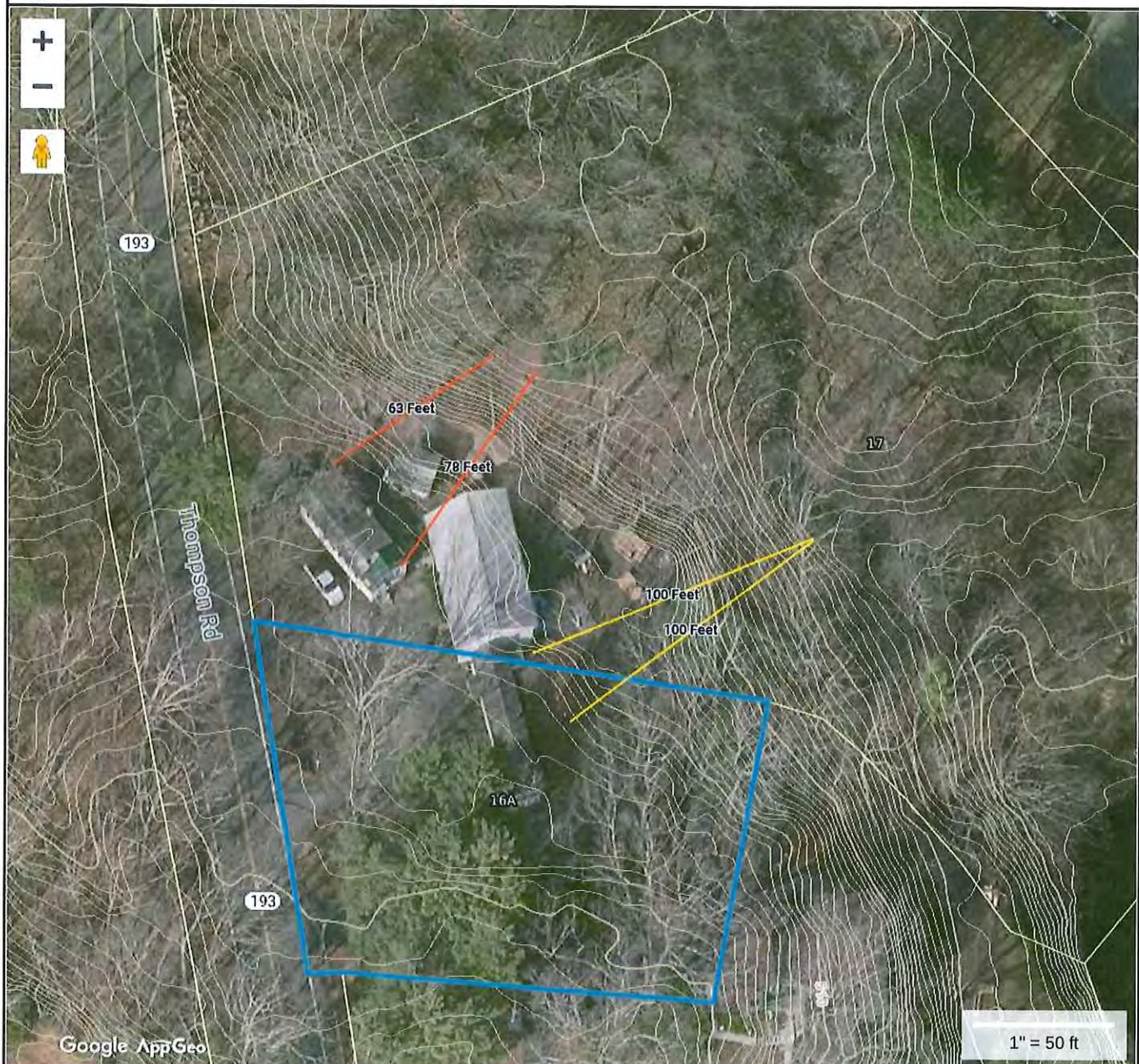
5) The property to be affected by the proposed activity contains:

Soil Types _____
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses _____ (Lake or Pond _____ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes / No

6) Description of the Activity for which Approval is requested _____

25% increase to mobile home footprint rebuild and deck on back (right side)
25% increase to storage building footprint rebuild (left side)

Application WAA21031 1267 Thompson Road, Popiak



Property Information

Property ID 3498
Location 1267 THOMPSON RD
Owner THE BERNARDI FAMILY REALTY LLC

mobile home is outside
of Upland Review Area
No approval of that is
required
Mala Butts
wetlands Agent
12/2/2021

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21032

APPROVAL GRANTED TO:

Cheryl Popiak
2 Leon Street
Thompson, CT 06277

DATE OF APPROVAL: December 6, 2021

EXPIRATION DATE: December 6, 2026

LOCATION OF AUTHORIZED ACTIVITY: 1267 Thompson Road, Assessor's Map 116, Block 24, Lot 16A

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the replacement and 25% expansion of a 37' X 14' storage building in the 100-foot upland review area as shown in Wetlands Agent Approval Application WAA21032 stamped received by the Thompson Wetlands Office November 9, 2021 and as shown in drawing(s) dated received November 9, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. Earthmoving and land disturbance in the 100-foot upland review area shall not exceed 10 feet from the foot print of the proposed storage building footprint.
2. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
3. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
4. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
5. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
6. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
7. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: _____

December 6, 2021

Agenda Item E.b) 2. New Applications

WAA21033, Thomas Shippee, 9 Logee Rd. (Assessor's map 141, block 17, lot 184 BB), construction of a concrete support for a ground mounted solar photovoltaic system located in the 100-foot upland review area for Quaddick Reservoir, stamped received 12/1/21, issued 12/6/21, legal notice to be published 12/17/21, end of appeal 1/1/22.

Date 11/29/2021

1) Name of Applicant Thomas Shippee
Home Address 111 Sabin St Putnam CT 06260
Home Tele & Hrs 860-450-2348 Business Tele & Hrs SAME
Business Address 111 Sabin St Putnam CT 06260

2) Applicant's interest in the Property: Owner ☒ Other ☐
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) James Rawson
Home Address 9 Logee Point
Business Address _____
Home Tele & Hrs 860-428-5578 Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location _____
Street or Road Location ~~450~~ ~~San~~ 9 Logee point
Tax Assessor's Map # 141
Block # 17
Lot # that appears on site plan 184 1313
Deed Information: Volume # _____
Page # _____

5) The property to be affected by the proposed activity contains:

Soil Types _____
Wetland Soils _____ (Swamp _____ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses _____ (Lake or Pond _____ Stream or River _____ Intermittent Stream _____)
Floodplain - Yes ☒ No ☐

6) Description of the Activity for which Approval is requested 3 ft concrete
tube for solar pv system



Property Information

Property ID 4358
Location 9 LOGEE POINT RD
Owner RAWSON JAMES W

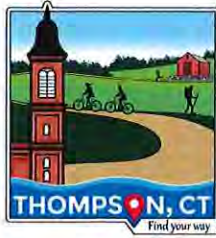


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement activities should not be done using this resource.



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21033

APPROVAL GRANTED TO:

Thomas Shippee
111 Sabin Street
Putnam, CT 06260

DATE OF APPROVAL: December 6, 2021

EXPIRATION DATE: December 6, 2026

LOCATION OF AUTHORIZED ACTIVITY: 9 Logee Point Road, Assessor's Map 141, Block 17, Lot 184BB

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the construction of a concrete support for a ground mounted solar photovoltaic system located in the 100-foot upland review area for Quaddick Reservoir as shown in Wetlands Agent Approval Application WAA21033 stamped received by the Thompson Wetlands Office December 1, 2021 and as shown in drawing(s) dated received December 1, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: _____

December 6, 2021

Agenda Item E.b) 3. New Applications

WAA21034, Thomas Shippee, 450 Thompson Rd.
(Assessor's map 146, block 16, lot 10A), construction of
a concrete support for a ground mounted solar
photovoltaic system located in the 100-foot upland
review area for Quaddick Reservoir, stamped received
12/1/21, issued 12/6/21, legal notice to be published
12/17/21, end of appeal 1/1/22.

**Property Information**

Property ID 4494
Location 450 QUADDICK RD
Owner JAMES RAWSON

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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Geometry updated October 19, 2021
Data updated March 20, 2019

Print map scale is approximate.
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this resource.



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Inland Wetlands Commission

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North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21034

APPROVAL GRANTED TO:

Thomas Shippee
111 Sabin Street
Putnam, CT 06260

DATE OF APPROVAL: December 6, 2021

EXPIRATION DATE: December 6, 2026

LOCATION OF AUTHORIZED ACTIVITY: 450 Quaddick Road, Assessor's Map 146, Block 16, Lot 10A


DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the construction of a concrete support for a ground mounted solar photovoltaic system located in the 100-foot upland review area for Quaddick Reservoir as shown in Wetlands Agent Approval Application WAA21034 stamped received by the Thompson Wetlands Office December 1, 2021 and as shown in drawing(s) dated received December 1, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent:


Marla Butts

Dated:


December 6, 2021

E.c) Applications Received After Agenda was Published
None



F) Permit Extensions / Changes - None

Agenda Item G.a) Violations & Pending Enforcement Actions

Notice of Violation VIOL21019, LIS Properties, L.L.C.,
715 Riverside Dr. (Assessor's map 63, block 58, Lot
23), unauthorized structures diverting watercourse,
flooding Thatcher Rd. & Riverside Dr., issued 7/7/21 -
status.

Agenda Item G.b) Violations & Pending Enforcement Actions

Notice of Violation VIOL21023, Jamie Piette, 0 & 73
Center Street (Assessor's map16, block X, lots H & 2),
unauthorized construction of retaining wall and
associated backfill in or near Little Pond, issued 8/24/21
- status.

[Reply](#)[Forward](#)[Delete](#)**[No Subject]****Date:** Today, 10:41:39 AM CST**From:** Greg Glaude**To:** Marla Butts**Cc:** pj55@ymail.com Normand Thibeault**Attachments:**  2021.13.12 Improvement Location Survey to client.pdf (328 KB) Text (18 KB)

Good morning Marla,

Attached is the survey map for the Pie e property on Center Road (Li le Pond) in Thompson. We have completed the survey work at this time but our

Engineers will have to inspect and make a report on the retaining wall. With our very busy schedule we will not be able to have that completed for the upcoming meeting.

However, we will have that completed for the January Inland Wetlands meeting.

Please feel free to contact me if you have any questions.

Thank you.

Greg A. Glaude, L.S.

Killingly Engineering Associates
Civil Engineering & Surveying



www.killinglyengineering.com

Mailing address:

P.O. Box 421

Killingly, CT 06241

Office address:

114 Westco Road

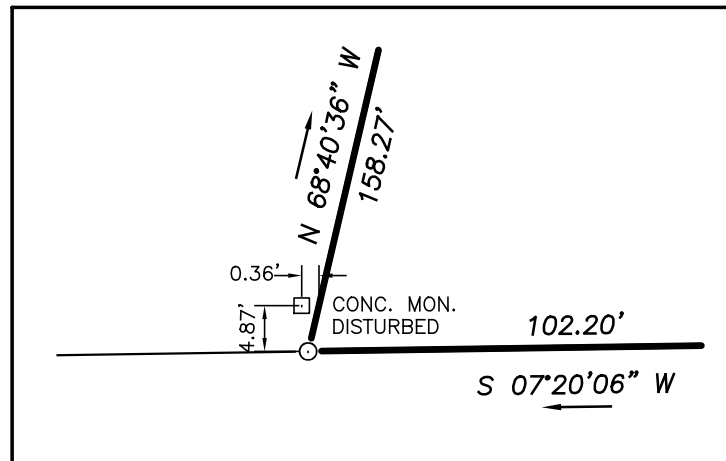
Killingly, CT 06239

Phone: 860-779-7299

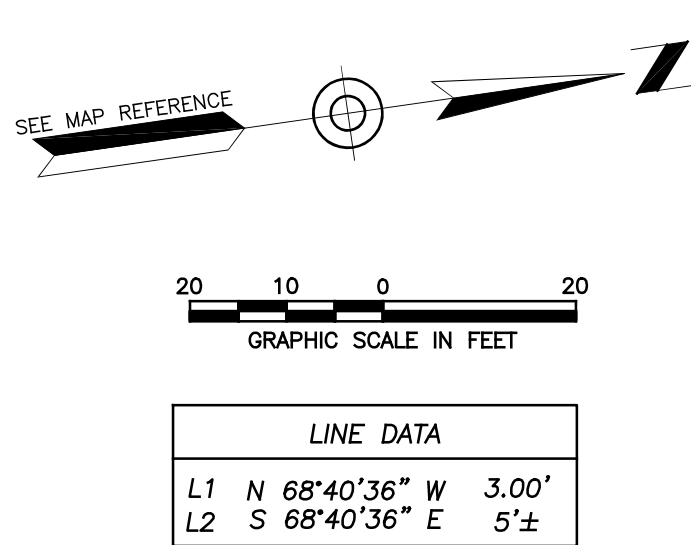
Cell: 860-617-9998

email: gglaudef@killinglyea.com

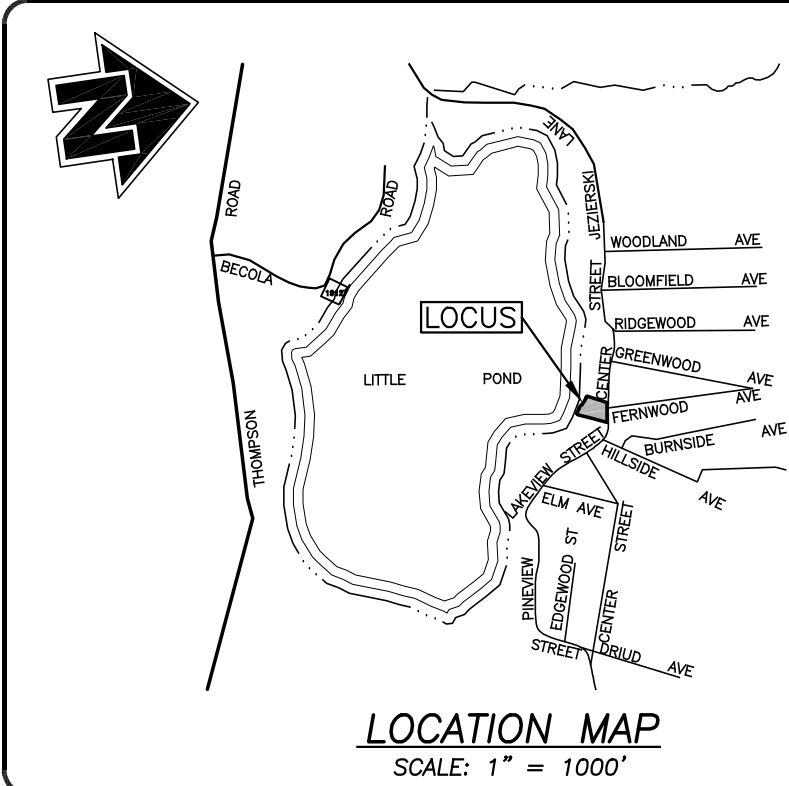
 2021.13.12 Improvement Location Survey to client.pdf (328 KB)



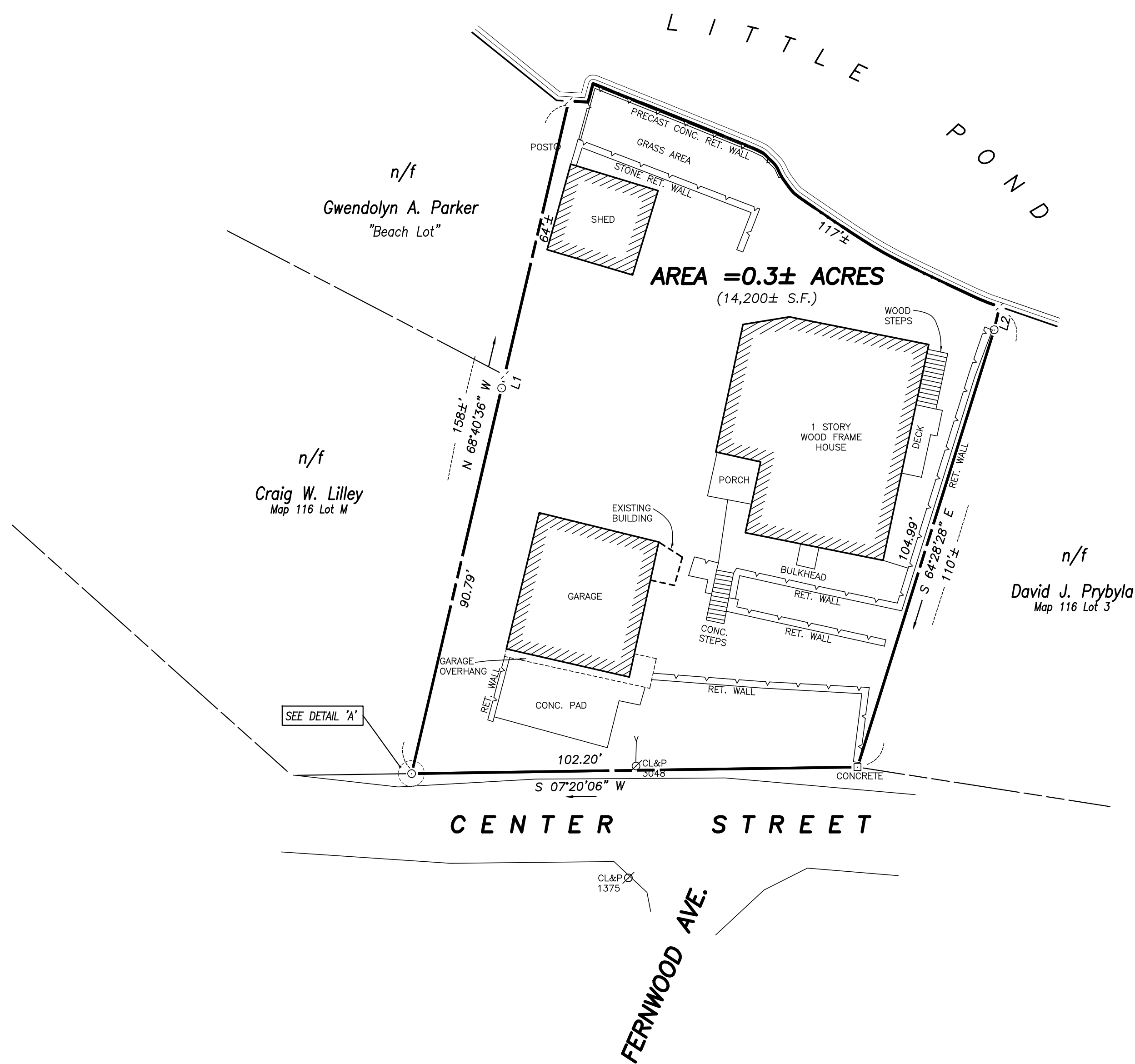
DETAIL 'A'
NOT TO SCALE



LINE DATA			
L1	N 68°40'36"	W	3.00'
L2	S 68°40'36"	E	5'±



LOCATION MAP
SCALE: 1" = 1000'



- NOTES:
- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;
 - This survey conforms to a Class "A-2" horizontal accuracy.
 - Survey Type: Improvement Location Survey.
 - Boundary Determination Category: Dependent Resurvey.
 - Zone = Lake District.
 - Owner of record: Jamie Piette.
73 Center Street, Thompson, Connecticut
See Volume 899, Page 182
 - Parcel is shown as Lot #2 & Lot H, Block X on Assessors Map #116.

MAPREFERENCE:

- "Property Survey - Paul M. Mainville - Laurie A. Mainville - Center Street - Thompson, Connecticut - Scale: 1" = 20' - Date: October 02, 2000 - Revised to: 03/09/2001 - Prepared By: KWP Associates - 250 Killingly Road - Pomfret Center, Connecticut." On file in the Thompson Land Records as Map 1393.


DATE	DESCRIPTION
	REVISIONS

IMPROVEMENT LOCATION SURVEY

PREPARED FOR

JAMIE PIETTE

73 CENTER STREET
THOMPSON, CONNECTICUT

Killingly Engineering Associates
Civil Engineering & Surveying

114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 12/09/2021	DRAWN: RGS
SCALE: 1" = 20'	DESIGN: --
SHEET: 1 OF 1	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 21144

- LEGEND
- IRON PIN FOUND
 - CONCRETE MONUMENT FOUND
 - ⊗ UTILITY POLE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON,

GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

Agenda Item H Other Business

- a) Initial Discussion of Proposed Revisions to Subdivision Regulations posted on thompsonct.org for comment by January 31, 2022.

Agenda Item H Other Business

- b) Comments to USACOE on draft updated Master Plan for West Thompson Lake

[Reply](#)[Forward](#)[Delete](#)**Comments on draft updated Master Plan for West Thompson Lake in Thompson, Connecticut****Date:** 11/29/2021 (02:11:46 PM CST)**From:** wetlands@thompsonct.org**To:** Edward Greenough, Project Manager, USACOE**Cc:** H. Charles Obert, IWC Vice Chair George O'Neil, IWC Chair Fran Morano, IWC Commissioner
Diane Chapin, IWC Treasurer

You forwarded this message on 11/29/2021 02:13:13 PM to: "Dan Malo, Conservation Agent" <conservation@thompsonct.org>.

 HTML Message (2 KB)

Dear Mr Greenhough,

I have reviewed the draft of the West Thompson Lake, Thompson Connecticut Master Plan and have the following comments / questions:

1. Section 2.8.3 Threatened and Endangered Species, Page 16 – Please update using current CTNDDDB data – the most current mapping is dated June 2021. Have any of the species changed? Also, where in the report does it address maintenance activities, such as mowing in potentially critical habitats, to support the previously identified bobolink and Eastern meadowlark?
2. Page 51, Table 3 -Wildlife Species Present In Connecticut Noting Threatened/Endangered Species – What is the source and date of this information?
3. Page 58, Appendix B, Rare Species Priority Habitat – What is the date of this mapping and is it consistent with the current CTNDDDB data?
4. Page 46 references 6 reports relating to the operation and maintenance of West Thompson Lake. Can you provide links to these reports?
5. In the past several months it appears that a portion of the dam in the Quinebaug River west of Fabyan Road has suffered a partial collapse just north of the southern abutment. The function / condition of the Fabyan dam is not referenced in the Master Plan although it is located within the project area. Characterization of bottom sediments (potentially contaminated or not) in the impoundment should be provided in the event that further collapse results in the release of bottom sediments.

Further comments from the Thompson Inland Wetlands Commission members may be forwarded to you in the near future. Thank you for the opportunity to review this draft document and await your response to my questions . - Marla Butts, Thompson Wetlands Agent

Marla Butts
Thompson Wetlands Agent
860-923-1852, Ext. 1
wetlands@thompsonct.org

Agenda Item H Other Business

- c) Finalized 2022 IWC Meeting Schedule

2022 THOMPSON BOARDS, COMMISSIONS, COMMITTEES & AREA AGENCIES MEETING SCHEDULE	January, 22	February-22	March-22	April-22	May-22	June-22	July-22	August-22	September-22	October-22	November-22	December-22	January-23	LOCATION OF MEETING	TIME
AGRICULTURE COMMISSION			30			29		31			30			Merrill Seney Community Room	7:00pm
BOARD OF ASSESSMENT APPEALS					TBA									Assessor's Office/2nd Floor	6:00pm
BUILDING COMMITTEE	12	9	9	13	11	8	13	10	14	12	9	14		Middle School Media Center	6:00pm
CONSERVATION COMMISSION	18*	22*	21	18	16	20	18	15	19	17	21	19		Town Hall,as posted on Agenda	7:00pm
ECONOMIC DEVELOPMENT COMMISSION	19	16	16	20	18	15	20	17	21	19	16			Merrill Seney Community Room	6:30pm
ECONOMIC DEVELOPMENT COM. BRANDING COM.	5	2	2	6	4	1	6	3	7	5	2	7		Merrill Seney Community Room	6:30pm
BOARD OF EDUCATION	10	14	14	11	9	13	11	8	12	11	14	12	9	Middle School Media Center	6:00pm
BOARD OF FINANCE	20	17	**	**	19	16	21	18	15	20	17	16		Merrill Seney Community Room	7:00pm
FIRE ADVISORY COMMITTEE	27	24	24	21	26	23	21	25	22	27	17	22		*As Identified in Posted Agenda	7:00pm
HOUSING AUTHORITY	11	8	8	12	10	14	12	9	13	11	8	13		Housing Authority Office	5:15pm
INLAND WETLANDS SITE WALKS	8	5	5	9	7	11	9	6	10	8	5	10		As Identified in Posted Agenda	9:00am
INLAND WETLANDS COMMISSION	11	8	8	12	10	14	12	9	13	13*	8	13		Merrill Seney Community Room	7:00pm
LIBRARY BOARD OF TRUSTEES	20	17	17	21	19	16	21	18	15	20	17	17		Library Conference Room	2:00pm
NECCOG	28	25	25	22	27	24	22	26	23	28	25	9*		125 Putnam Pike, Dayville	8:30am
NE DISTRICT DEPT. OF HEALTH	13			14		9			8		10			69 South Main St., Unit 4, Brooklyn	3:00pm
MILL SITES REDEVELOPMENT A.C./BAR GRANT	14		10	8	13	10		12	9	14		9		Merrill Seney Community Room	9:00am
PLANNING AND ZONING COMMISSION	24	28	28	25	23	27	25	22	26	24	28	19*		Merrill Seney Community Room	7:00pm
RECREATION COMMISSION	26	23	23	27	25	22	27	24	28	26		14		Merrill Seney Community Room	6:30pm
BOARD OF SELECTMEN Meeting #1	4	1	1	5	3	7	5	2	6	4	1	6		MS Comm. Room	7:00pm
BOARD OF SELECTMEN Meeting #2	18	15	15	19	17	21	19	16	20	18	15	20		Merrill Seney Community Room	7:00pm
THOMPSON FIRE ENGINE COMPANY INC.	8	7	7	4	9	6	11	1	12	3	7	5		Thompson Fire Dept.	8:00pm
THOMPSON TRAILS COMMITTEE		7		4	2	6	11	1	12	3		5		Zoom and/or Town Hall	7:00pm
TOURTELLOTTE BOARD OF TRUSTEES		7												Library Community Center	6:00pm
TRANSFER STATION ADVISORY COMMITTEE	27							25						Merrill Seney Community Room	7:00pm
WATER POLLUTION CONTROL AUTHORITY	18	15	15	19	18	15	20	17	21	18	15	20		WPCA Treatment Plant Office	5:45pm
WEST THOMPSON INDEPENDENT FIRE ASSOC. #1, INC.	3	7	7	4	2	6	5	1	5	3	7	5		West Thompson Fire Department	7:00pm
ZONING BOARD OF APPEALS	10	14	14	11	9	13	11	8	12	12*	14	12		Merrill Seney Community Room	7:00pm
ZONING BOARD OF APPEALS SNOW DATES	If T.H. closed mtg. will be held Wed. of same week														
*Alternate day of the week, time or location	Be Advised that you should always check the posted														
** Board of Finance March 3,10,17, 24, 31 Apr. 7,14, 21,28	Agenda to verify location														

Agenda Item H Other Business

- d) Discussion on future hybrid ZOOM meetings

Agenda Item I Reports

1 Budget & Expenditures

2 Wetlands Agent Report

Agenda Item J, Correspondence - None

Agenda Item K, Signing of Mylars - None

Agenda Item L, Comments by Commissioners

Agenda Item M, Adjournment