

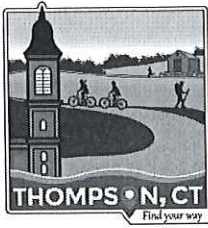
INLAND WETLANDS COMMISSION
TUESDAY, July 13, 2021
ZOOM Meeting

- A) Call to Order & Roll Call
- B) Appointment of Alternates

Agenda Item C.a.
Action on Minutes of Previous Meeting
Minutes of June 8, 2021

2021 JUN 11 P 1:14

Linda Paradise
Asst TOWN CLERK



**TOWN OF
THOMPSON
Inland Wetlands Commission**

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

**MINUTES: TUESDAY, June 8, 2021, 7:00PM
ZOOM Virtual Meeting**

A) Call to Order & Roll Call – The call to order was by Chair George O'Neil at 7:05pm.

Present: George O'Neil (Chairman), Marla Butts (Wetlands Agent), Diane Chapin (Treasurer), H. Charles Obert (Vice Chair), Francesca Morano (Commissioner), Amy St. Onge (First Selectman), Ashley Pomes (Recording Secretary)

Others Present: Gail Arsenault, Dave Held, Harry Heller, Ramona Savolis, Norm Thibeault, Bonnie Robbins, Jason Lavallee, Cathleen Godzik

B) Appointment of Alternates - None

C) Action on Minutes of Previous Meeting

a) Minutes of May 11, 2021 – M. Butts notes that the header reads agenda and should state minutes. No other changes noted, the minutes are accepted with the one adjustment noted by M. Butts.

- **There is a motion by D. Chapin, seconded by C. Obert to add the approval of the site walk minutes to tonight's agenda.** There is discussion about these minutes, the first site visited had a quorum present and that constituted a meeting, the other two sites visited did not have a quorum and the minutes presented for those sites are just notes. C. Obert and G. O'Neil both agree they found no errors on the minutes, the minutes are accepted as presented.

D) Citizens Comments on Agenda Items – There are numerous citizens comments. The first citizen to speak is Gail Arsenault of 157 Spicer Road. She has numerous concerns regarding application WAA21008. She would like answers about the proposed start and end work dates that were in April, she asks about the work that had occurred that deviated from the plan per an email between Mr. Lavallee and M. Butts, and she also wants to know about vegetation being removed from the 100-foot buffer zone that was requested not to take place by NDDB. M. Butts says all those questions will be addressed during that agenda item.

Cathleen Godzik of 157 Spicer Road has questions regarding application IWA21012. She says she is very concerned regarding the proposal after going on the site walk. She has worked up an 8-page document consisting of 76 questions she has regarding this site and the proposed work. G. O'Neil says that her items are noted but this is not a public hearing. M. Butts says she did receive the document and she had replied to the email address that had sent her the documents today, that email address belongs to Gail Arsenault. M. Butts says she will send a request for additional information to Dave Held and she will include the 8-page document in her request.

Bonnie Robbins of 591 East Thompson Rd notes that she is an immediate abutter to the proposed project at 0 East Thompson Rd, she mentions that the woods and freshwater brook located on her property that she has enjoyed since 2000 is now disturbed by the work that is being completed. She questions that they are not staying 100 feet away from the wetlands and asks a question about a map that she received on the Saturday site walk. She wants to know what the dotted

circle was on the map that included her property inside of it, M. Butts answers that the circle is part of the upland review area.

Ramona Savolis of 551 East Thompson Road asks about a document between M. Butts and Laura from DEEP regarding the freshwater muscles and other things in the water. M. Butts said she did receive a response and she will forward it along to Ms. Savolis.

E) Applications

a) Old Applications

1. **WAA21008**, Jason Lavallee, 0 East Thompson Rd (aka 597 East Thompson Rd, Assessor's map154, block 5, lot 10), construct underground utility in upland review area for a new single family home, issued 5/12/21, legal notice published 5/21/21, appealed via email by Bonnie Robbins on 5/26/21 – M. Butts addresses the questions that Ms. Arsenault had during the citizen comments portion of the agenda, she says that the NDDDB recommendations that they received are just that, they are recommendations, not requirements that the Commission has to follow. M. Butts states knowing that NDDDB did not actually go out to the site, and they were just working off their set of standard recommendations, and that the work to be completed was going to be so short term, it was her opinion that they did not need to fully comply with the no work in the 100ft buffer zone. As for the inspector being on site, there is a stone wall on site that would be acting as a barrier for erosion for most of the work except for a small flat area that did not give a real reason for concern, so an inspector was not necessary to monitor the work. For the work that was done that deviated from the plan that was approved, it was determined that Mr. Camelio acted on his own digging the power trench that was not according to plan. Mr. Lavallee states he is going to remove that power trench that was dug without permission and the work will be done the correct way that was approved in the original plan. He says they will be renting a mini excavator to do the work since his small machine is out of service and they will be staying in a fairly straight line but will zig zag through the woods slightly to avoid any larger trees. M. Butts asks the Commission what they would like to do at this point and explains their options to accept her approval, modify her approval, require a permit or rescind her approval. There is a discussion between Commission members, F. Morano notes that the property owner did something he shouldn't have without approval, but Mr. Lavallee will fix the mistake so there should be no reason to rescind it. There is a discussion about the location of the trench and the location of the proposed pond. The Commission decides to accept the approval with a condition of a timeline for the work to be completed in. **A motion is made by F. Morano, seconded by D. Chapin, to sustain approval with the modification that the power trench be put where it was intended to be with the prior approval and all work is to be completed within 14 days, by the 23rd of June. All in favor.**

M. Butts makes note at this point of the meeting that she spoke with an attorney regarding the appeal and petition that was submitted on this application by Bonnie Robbins. The attorney indicated that a petition on the Wetlands Agent Approval was not valid at that stage. A cease-and-desist order was also asked to be issued, he states that the IWC could reverse the granting of a permit following an appeal but cannot issue a cease and desist unless the scope of the permit was exceeded, or the applicant misrepresented the facts as to what was proposed. M. Butts says the misunderstanding by the current property owner was not something that warranted any further action to rescind the Wetlands Agent Approval.

2. **IWA21012**, Strategic Commercial Realty, Inc /dba Rawson Materials, 0 East Thompson Rd (Assessor's map 154, block 5, lot 10) , create 3.5 ± acre pond by the removal of about 120,000 cubic yards of sand & gravel and construct relocated driveway for proposed single family home, stamped received by Town Clerk 4/23/21, revised 5/3/21, statutorily received 5/11/21 – M. Butts notes that she did receive the 8 page document from Cathleen Godzik and she will be sending a hard copy to all Commissioners for their review. She states at this time they do not yet have a response back from NDDb regarding this proposed work, but with the assessment for Mr. Lavallee's work in the previous agenda item, it can be expected it will most likely be similar with additional concerns and comments. She has also reached out to a wildlife biologist at DEEP and asked for their advice and things to consider. She says the site needs an environmental assessment of the 5 Mile River and associated wetlands within the property limits performed by a qualified wetlands scientist with experience on the effects of pond construction. Also there needs to be a hydraulic and hydrologic evaluation of the 5 Mile River as it passes through the subject property including flood maps and flood plains for storms. There should be a soil evaluation to be done by a qualified soils engineer or soils scientist. She adds that there are several items that should be included on the plan that are not currently there. M. Butts says that the Commission received a petition for a public hearing dropped off by Marie Savolis containing over 40 signatures. She asked for legal counsel regarding this petition with Governor Lamont's current executive orders that are in place. Attorney Richard Roberts says that the executive order does not give an applicant time to file a petition beyond the 14 days. M. Butts explains about the timelines remaining on the executive order and the dates that a public hearing could be opened and the timeline for posting the two required legal notices. There is discussion about a public hearing being a good chance for the applicant to make their case and for citizens to be heard, there can be a proper airing of the issue. Harry Heller is the attorney representing Strategic Commercial Realty, he asks if the Commission is inclined to schedule a public hearing, that they do so tonight. He says they will have no problem giving the extension until late August to give them more time to get information together. The Commission gives their opinion if they believe it is in the best interest of the public to hold the public hearing or that there is a significant activity that it perceives is occurring. C. Obert says he believes it is fair to say that this touches on both of those options. F. Morano agrees that it would be subject to both concerns. D. Chapin says it does touch on both but if she had to choose one, she would choose the impact and G. O'Neil believes it touches on both as well. **A motion is made by C. Obert that they consider this to be both a potential significant impact and in the public interest to plan accordingly for a public hearing for this topic, seconded by F. Morano. There was no further discussion, all in favor.** M. Butts says the time to schedule the meeting will be determined with Covid regulations in mind, she will also get together the complex application fee. Harry Heller says they will agree to extend this until sometime in August and he will work out the date with the staff, he also says there will be no presentation to the Commission tonight, they will provide all testimony at the public hearing.
3. **IWA21013**, Paul M. Duquette, 0 Plum Rd (Assessor's map 83, block 56, lot 41D), construct driveway across wetlands and a new single family home in the 100-foot upland review area, stamped received 5/10/21, received 5/11/21 – Norm Thibeault of Killingly Engineer Associates is present to represent the applicant. This site

was visited during the Saturday site walk, M. Butts said they traced out flow lines on the site down to the liquor store. She is concerned about some of the culverts and drains that are blocked with debris or possibly too small to handle the flow of water, on other sites nearby. They may potentially cause flooding at this site during a major storm. Mr. Thibeault says he can take a look at the pipes and do an analysis. G. O'Neil also asks about the driveway location and why it couldn't be at another location further east on the property. Mr. Thibeault explains about the slopes of the property and the disturbance it would cause and why he chose the location that he did. This application will be tabled until next meeting so the applicant can provide additional information on the drainage conditions.

4. **WAA21014**, Town of Thompson, Blain Rd at Riverside Drive (Assessor's map 63, block 95, no lot #), reconstruction of Blain Rd and Riverside Dr intersection in the 100-foot upland review area, stamped received 5/10/21, under review – M. Butts will provide drawings of this site at the next meeting, it is her intention to render an approval for this item.

b) New Applications - None

c) Applications Received After Agenda was Published - None

F) Permit Extensions / Changes

- a) **IWA14019**, Patricia Rudzinski, 0 Labby Rd. (Assessor's map 95, block 27, lot 17), request for a 3 year extension of gravel removal permit to expire 10/14/24, received by Wetlands Office 3/3/2021 – M. Butts received a letter from KWP Associates, electronically signed by David Smith, principal engineer for KWP. He says it is his opinion that the steel plate assemblies installed in 2015 are still firm. Frost or loss of base material has caused them to gape, and the culvert has deteriorated over the last few years but since the decking assembly is 24 feet long, it would require a substantial amount to be lost to impact the decking. He recommends monitoring the site periodically to determine the conditions. M. Butts notes that his report was not signed or stamped and that it should be by a professional engineer. She also states she believes a Town Engineer should review the site before the Commission takes any action on this item.

G) Violations & Pending Enforcement Actions

- a) **Cease & Restore Order VIOL20003** Scott Josey, 637 East Thompson Road, Assessor's map 154, block 5, lot 14: filling of wetlands and work within 100-foot upland review area, issued 3/5/2020, status of compliance with Cease & Restore Order – This site was part of the Saturday Site Walk. Per M. Butts, while they were out there, they saw that the stone fiord was functioning as intended. C. Obert agrees, he says the problem is solved as far as the IWC perspective is concerned. **A motion is made by C. Obert, seconded by , to issue the certificate of compliance to be filed on the land record. All in favor.**

H) Other Business

- a) Update on Request for Legal Advice on Effect of Recent FOIA Supreme Court Decision on Inland Wetlands Commission Actions – M. Butts read the email by Attorney Richard Roberts regarding Site Walk meetings and minutes. It is his opinion that the Supreme Court Decision should have no effect on holding site walks even if a quorum is not present.
- b) ZOOM Meeting status update – As of right now, this will be the last Zoom meeting with the July meeting resuming in person. First Selectman St. Onge is working on making

hybrid meetings available in the future.

- c) CACIWC Annual Membership Renewal for FY 21-22 – **A motion is made by F. Morano, seconded by C. Obert to expend the \$60 that is in the budget for the renewal of the CACIWC annual membership. All in favor.**

I) Reports

- a) Budget & Expenditures – Per Treasurer D. Chapin, there is an available budget of \$2,853.99. 88.9% of the budget has been expended, \$150 this past month with \$70 in office supplies and \$80 in advertising.
- b) Wetlands Agent Report – UPDATES – There has been no change in the status of Court Appeal on Application IWA15029, River Junction Estates, LLC. M. Butts is still working on the MS4 Annual Report when time allows, and she has made no further progress on records disposal.

INSPECTIONS/FOLLOWUP ACTIONS – VIOL20033, M. Butts has sent a letter to Ms. Burlingame and Mr. Lemieux informing them that the file has been closed and, in the future, to contact the Wetlands Office in advance of any earthmoving work. Complaints 20-14, 20-19 and 21-03 still need following up. Permit IWA20044, M. Butts attended an on-site preconstruction meeting today with Public Works, the contractor's representatives, and Janet Blanchette of J&D Civil Engineers to discuss work that is to begin this summer. The road will be shut down for approximately 2 weeks during the summer with detour signage to be put up.

BUILDING PERMITS REVIEWED – Permit #21-137-B, #21-138-B, #21-160-B, #21-164-B, #21-195-B, #21-197-B, #21-198-B, #21-203-B, #21-205-B

MISCELLANEOUS – None

PURCHASE REQUISITIONS STATUS – Paid \$29.40, Stonebridge Press, Paid \$88.20, Stonebridge Press, Paid \$58.80, Stonebridge Press, Payment Pending \$70.00, Chase Graphics.

J) Correspondence - None

K) Signing of Mylars – None

L) Comments by Commissioners – C. Obert asks M. Butts about the work that is being done by DPW around Town, M. Butts says she will get in touch with Rich Benoit to get the full extent of the work to be done.

M) Adjournment – **A motion to adjourn the meeting was made by C. Obert, seconded by F. Morano. All in favor, the meeting was adjourned at 9:51pm.**

Respectfully Submitted,

Ashley Pomes
Recording Secretary

Topic: Inlands Wetlands Commission

Start Time : Jun 8, 2021 06:39 PM

Meeting Recording:

https://us02web.zoom.us/rec/share/9GgThZTgo2dzfx59Xpubkx8fqwEvx7pK7Oucp3Z9p-IPdrwv895SQk6sVneYYQw5.pOjqLzY8S_ORQyrX

Access Passcode: h^eut2aZ

Agenda Item D.
Citizens Comments on Agenda Items

Agenda Item E.a) 1. Old Applications

IWA21012, Strategic Commercial Realty, Inc /dba Rawson Materials, 0 East Thompson Rd (Assessor's map 154, block 5, lot 10), create 3.5 + acre pond by the removal of about 120,000 cubic yards of sand & gravel and construct relocated driveway for proposed single family home, application withdrawn by letter dated June 23, 2021 from Attorney Harry Heller received via email on 6/24/21.

HELLER, HELLER & McCOY

Attorneys at Law

***736 Norwich-New London Turnpike
Uncasville, Connecticut 06382***

Sidney F. Heller (1903-1986)

Harry B. Heller (hheller@hellermccoy.com)

William E. McCoy (bmccoy@hellermccoy.com)

Mary Gagne O'Donal (mgodonai@hellermccoy.com)

Andrew J. McCoy (amccoy@hellermccoy.com)

Telephone: (860) 848-1248

Facsimile: (860) 848-4003

June 23, 2021

Town of Thompson Inland Wetlands and
Watercourses Commission
Attn: Ms. Marla Butts, Wetlands Agent
Thompson Town Hall
815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255

Re: Application of Strategic Commercial Realty, Inc. d/b/a Rawson Materials
Property Owner: River Junction Estates, LLC
Location: 0 East Thompson Road – Map 154, Block 5, Lot 10

Dear Ms. Butts:

As you are aware, this office is the authorized agent for Strategic Commercial Realty, Inc. transacting business as Rawson Materials with respect to a permit application currently pending before the Town of Thompson Inland Wetlands and Watercourses Commission for licenses to conduct regulated activities in conjunction with the development of a proposed 3.5 acre, more or less, pond on the above referenced property. Over the course of the administration of this application, you have provided the applicant's development team with comments received from concerned citizens as well as comments developed at the staff level with respect to potential adverse impacts to the Five Mile River and its riparian corridor as a result of the excavation of the proposed pond. In order to address the concerns and potential impacts raised, the development team has consulted with a qualified hydrogeologist to conduct a preliminary assessment of potential impacts to the hydrology of the Five Mile River resulting from the proposed excavation project. After a preliminary site investigation and review of empirical site data collected to date, it was determined by our client's consultant that the development of the proposed project has the potential to result in adverse impacts to the hydrology of the Five Mile River and a portion of its associated riparian corridor during low flow conditions.

After assessing the mitigation measures which would be required to be implemented in order to negate the potential adverse impacts, it was determined that the anticipated cost of those

Town of Thompson Inland Wetlands and Watercourses Commission

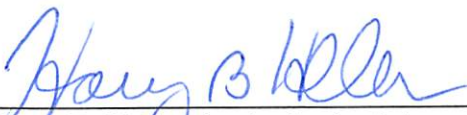
June 23, 2021

Page 2 of 2

measures would exceed the economic scope of the project. Giving due consideration to these factors, the applicant hereby withdraws the pending application from further consideration by the Town of Thompson Inland Wetlands and Watercourses Commission.

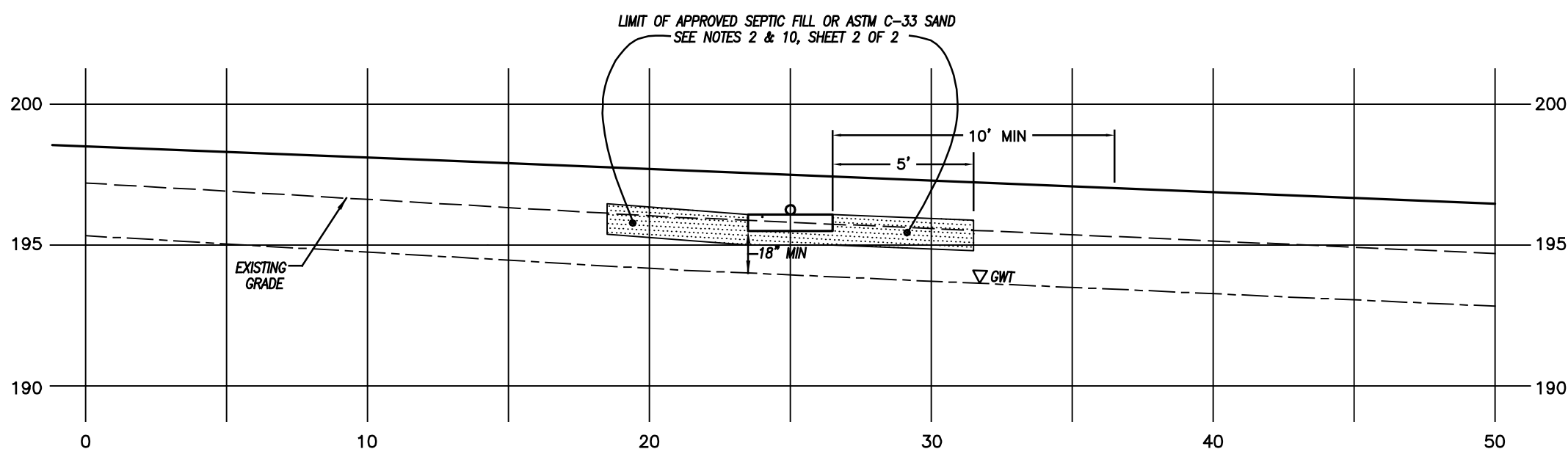
Should you have any questions or need any further information, please feel free to contact the undersigned.

**STRATEGIC COMMERCIAL REALTY,
INC. D/B/A RAWSON MATERIALS**

By: 
Harry B. Heller, its Authorized Agent

Agenda Item E.a) 2.Old Applications

IWA21013, Paul M. Duquette, 0 Plum Rd (Assessor's map 83, block 56, lot 41D), construct driveway across wetlands and a new single family home in the 100-foot upland review area, stamped received 5/10/21, statutorily received 5/11/21.



TEST HOLE DATA — September 9, 2020
Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
1	0"– 11" 11"– 24" 24"– 68" 68"– 90" 90"–103"	Topsoil O/B Fine Sandy Loam w/gravel Compact mottled gray FSL w/silt Med-coarse sand w/gravel, cobbles & stone Grey Hardpan (Moderate Compact)
	Ledge GWT Mottling Roots	N/A 90" 24" 24"
2	0"– 4" 4"– 26" 26"– 74" 74"– 84"	Topsoil Gravelly yellow-brown loamy fine sand Mottled gravelly coarse sand w/cobbles & stones Groundwater
	Ledge GWT Mottling Roots	N/A 74" 26" 26"

SEPTIC SYSTEM DESIGN DATA

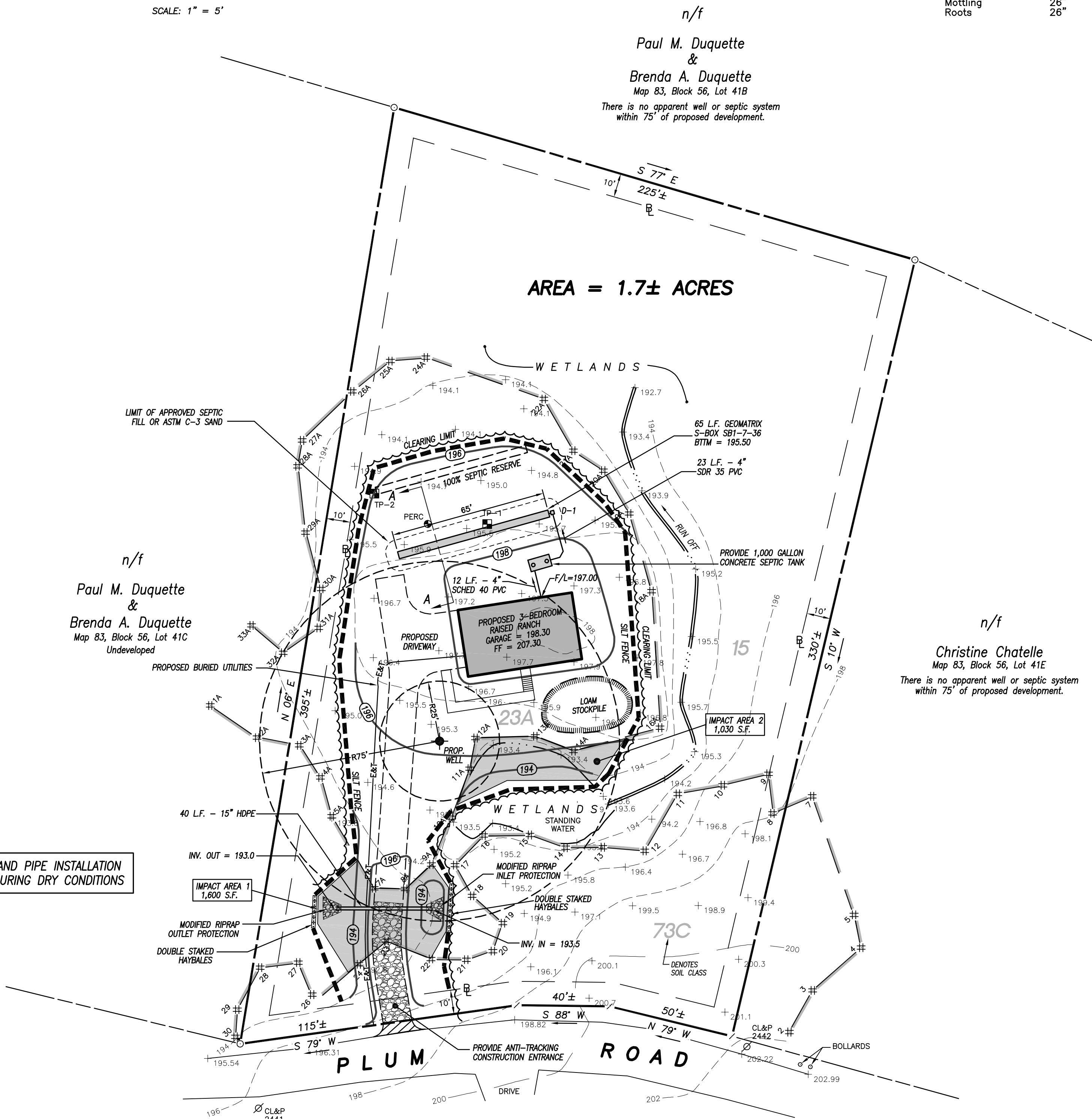
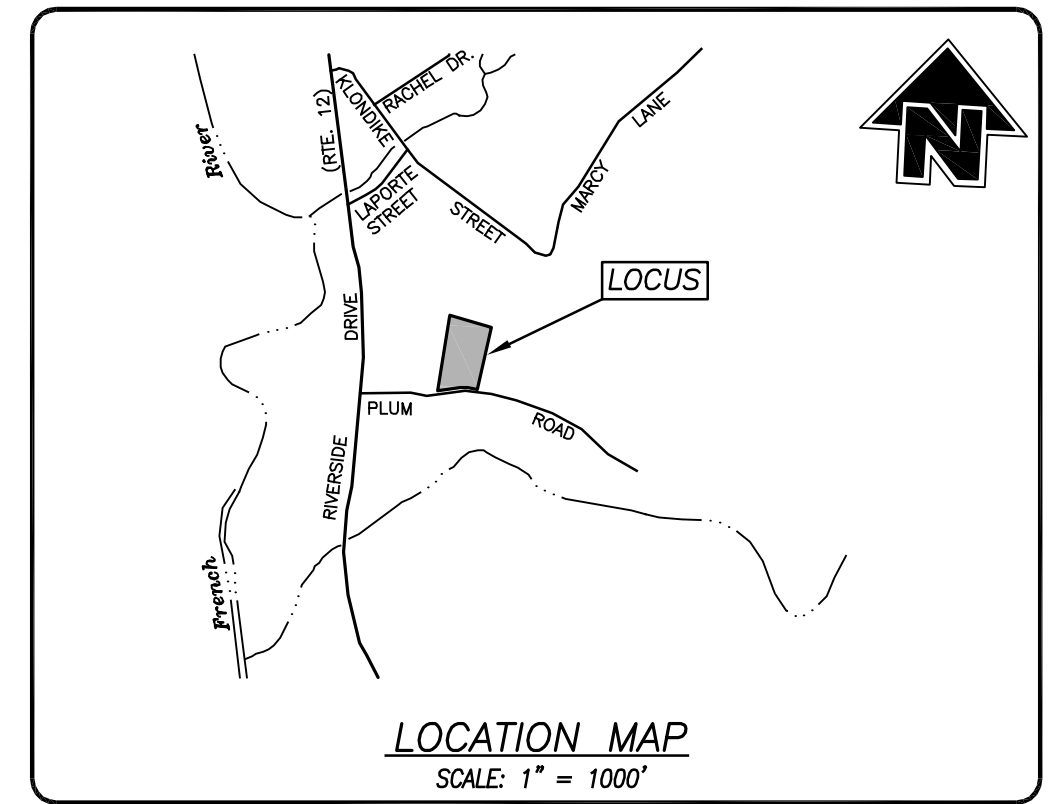
Percolation Rate	= 5.33 min. / in.
3 bedroom house requires	= 495 s.f. effective leaching area
Effective Leaching area	= 8.2 s.f. / l.f. of S-Box SB1-7-36
Length Required	= 495/8.2 = 60.4 l.f.
Length Provided	= 65 l.f.
Min. Leaching System Spread (MLSS)	= 42 x 1.5 x 1.0 = 63'
MLSS Provided	= 65'

LEACHING FIELD

One 65' row of S-Box SB1-7-36 Septic leaching system

Notes: configure for use with soil-air system for possible future use

Maximum depth into existing grade = 6"



NOTE: WETLANDS CROSSING AND PIPE INSTALLATION SHALL BE CONDUCTED DURING DRY CONDITIONS

LEGEND

F.F.	FINISHED FLOOR
Ø	UTILITY POLE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	INLAND WETLANDS FLAG
---	BUILDING SETBACK LINE
○	PERCOLATION TEST HOLE
□	TEST HOLE
---	STONE WALL
---	SILT FENCE

APPROVED BY THE TOWN OF THOMPSON
INLAND WETLANDS & WATERCOURSES AGENCY

CHAIRMAN DATE

DIRECTIONS TO SITE FROM THE THOMPSON TOWN HALL:
HEAD SOUTH ON RIVERSIDE DRIVE (ROUTE 12) FOR
APPROXIMATELY 1.4 MILES TO PLUM ROAD (ON THE LEFT)
LEFT ONTO PLUM ROAD — DRIVE APPROXIMATELY 425' TO
UTILITY POLE CL&P 2441 (ON THE RIGHT). SITE IS ON THE
LEFT — BETWEEN CL&P POLE 2441 (LEFT) AND CL&P POLE
2442 (RIGHT).

SURVEYOR SHALL SET A BENCH
MARK IN THE AREA OF THE
SEPTIC SYSTEM AT THE TIME
OF CONSTRUCTION STAKE-OUT.

SEPTIC TANK
1000 GALLON TWO COMPARTMENT F/L IN = 196.75 F/L OUT = 196.50
DISTRIBUTION BOXES
D-1 (STANDARD) F/L IN = 196.25 F/L OUT = 196.08

NOTES:

- This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996;

This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property/Boundary or Limited Property /Boundary Survey and is subject to such facts as said surveys may disclose.

— This survey conforms to a Class "C" horizontal accuracy.
— Topographic features conform to a Class "T-2", "V-2" vertical accuracy.
— Survey Type: General Location Survey.
- Zone = Common Residential District.
- Owner of record: Paul M. Duquette & Brenda A. Duquette
8 Plum Road
North Grosvenordale, CT 06255
- Parcel is shown as Lot #41D, Block #56 on Assessors Map #83.
- Elevations shown are based on an assumed datum. Contours shown are taken from actual field survey. Contour interval = 2'.
- Test Pit data taken from NDDH file number 21000059.
- Wetlands shown were delineated in the field by Joseph Theroux, Certified Soil Scientist, in March 2020.
- Parcel lies within Flood Hazard Zone 'C' (areas of minima flooding) as shown on FIRM Map #090117 Panel 0012B Effective Date: November 1, 1984.
- Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-922-4455 or 811.

MAP REFERENCES:

- "Plan of Land — Owned by — Robert, Charles A. & Arthur Duquette Violet Briere & Marie B. Congdon, Thompson, Connecticut Scale: 1" = 40' — Date: May 21, 1970 — Prepared by: Gilbert F. Perry, C.E." On file in the Thompson Land Records as Map #1261.
- "Subdivision of Land Prepared for — Paul M. Duquette & Brenda A. Duquette — Plum Road & March Lane — Thompson, Connecticut Scale: 1" = 40' — Date: March 1987 — Prepared by: Normandin & Associates." On file in the Thompson Land Records as Map #994.

DATE	DESCRIPTION
	REVISIONS

GENERAL LOCATION SURVEY
SEPTIC SYSTEM DESIGN PLAN
PREPARED FOR

PAUL M. DUQUETTE &
BRENDA A. DUQUETTE

PLUM ROAD
THOMPSON, CONNECTICUT



Killingly Engineering Associates
Civil Engineering & Surveying

114 Westcott Road
P.O. Box 421
Killingly, Connecticut 06241
(860) 779-7299
www.killinglyengineering.com

DATE: 3/25/2021	DRAWN: AMR
SCALE: 1" = 30'	DESIGN: NET
SHEET: 1 OF 2	CHK BY: GG
DWG. No: CLIENT FILE	JOB No: 20037

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON,

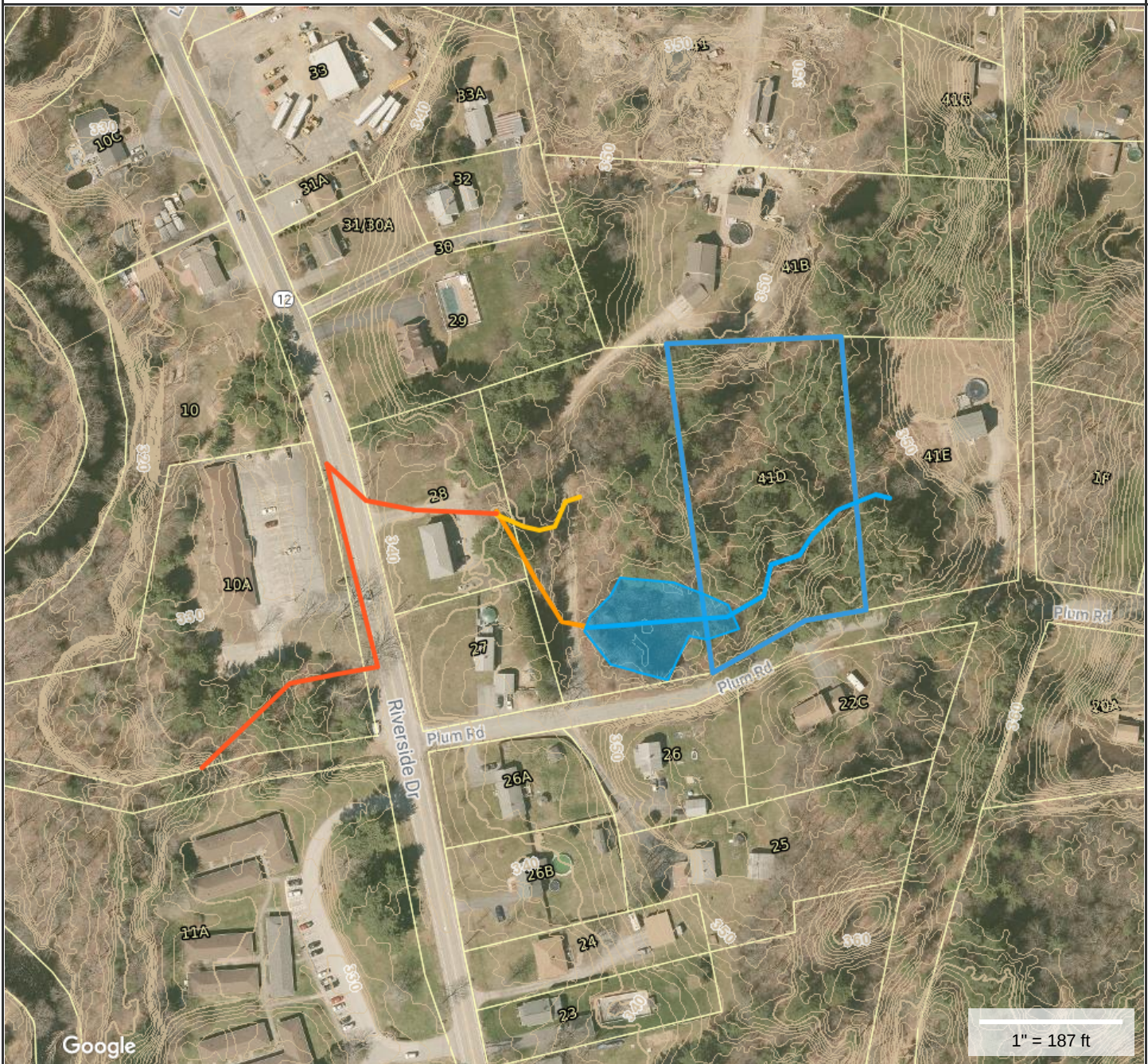
GREG A. GLAUDE, L.S. LIC. NO. 70191 DATE

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS
THE ORIGINAL SEAL AND SIGNATURE OF THE LAND SURVEYOR.

NORMAND THIBEAULT, JR., P.E. No. 22834 DATE

K:\20037\Drawings\20037 DET.dwg Apr 27, 2021 - 1:50 PM

Application IWA21013 Water Flows Locus Map

**Property Information**

Property ID 2162
Location 0 PLUM RD
Owner DUQUETTE PAUL M + BRENDA A

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated September 21, 2020
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Agenda Item E.a) 3.Old Applications

WAA21014, Town of Thompson, Blain Rd at Riverside Drive (Assessor's map 63, block 95, no lot #), reconstruction of Blain Rd and Riverside Dr intersection in the 100-foot upland review area, stamped received 5/10/21, issued 6/24/21, legal notice published 7/2/21, end of appeal period 7/17/21

MEMO- Town of Thompson Blain Road Intersection Improvement Wetlands Agent Approval Application

Date: April 30, 2021

To: Thompson Inland Wetlands Commission

From: Janet Blanchette, Chairperson, Mill Sites Redevelopment Advisory Committee (MSRAC)

Cc: Marla Butts, Amy St. Onge, Tyra Penn-Gesek, Richard Benoit

The Town is seeking a wetland agent approval for the reconstruction of the Blain Road - Riverside Drive intersection within the 100' upland review area of the French River.

Background:

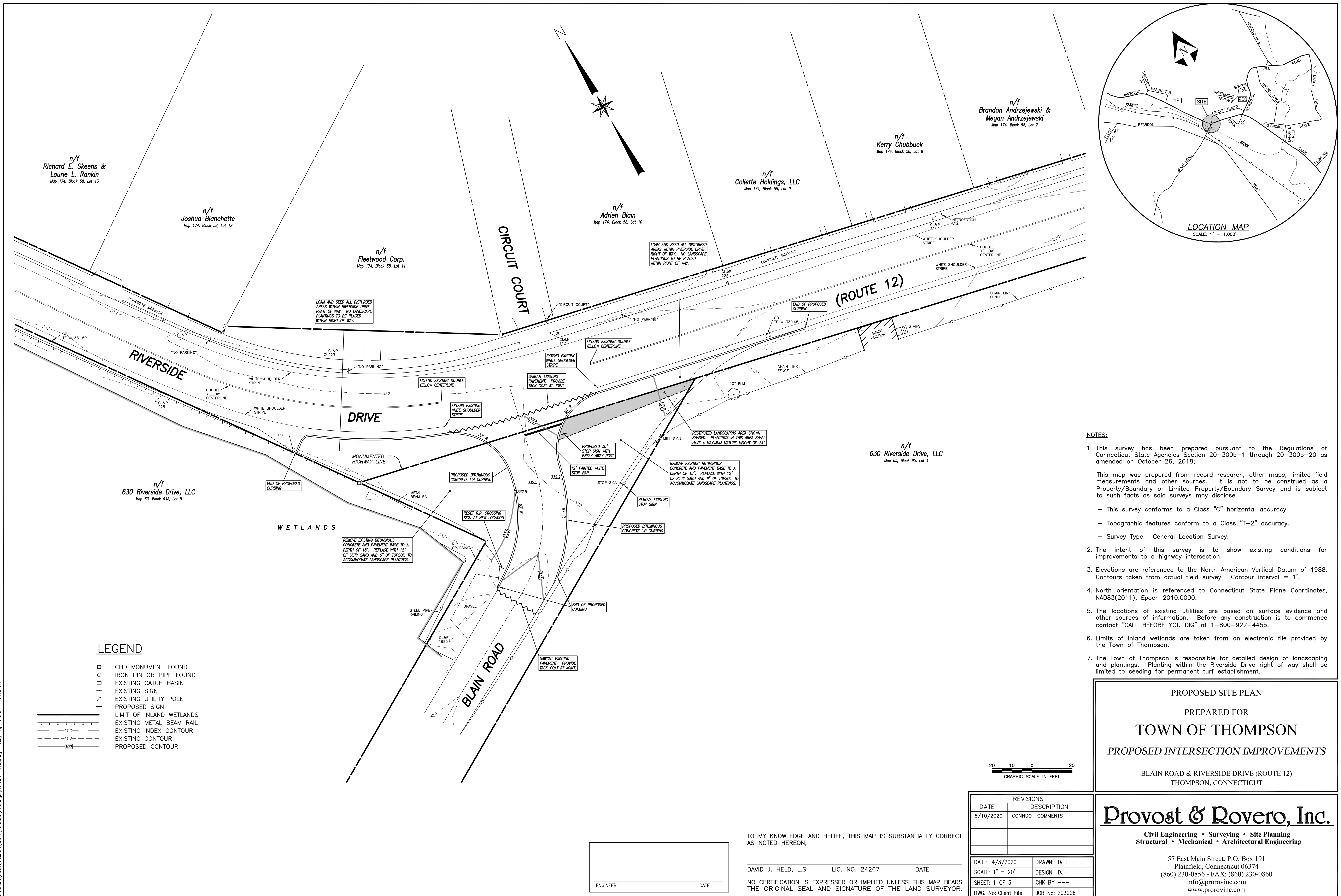
The MSRAC obtained a Brownfield Areawide Redevelopment (BAR) Grant from the state DECD. A portion of those funds were used to pay for the design of the intersection reconfiguration of Blain Road with Riverside Drive. Construction plans were prepared by Provost and Rovero and were revised through 8-20-20 to incorporate CONNDOT's review comments.

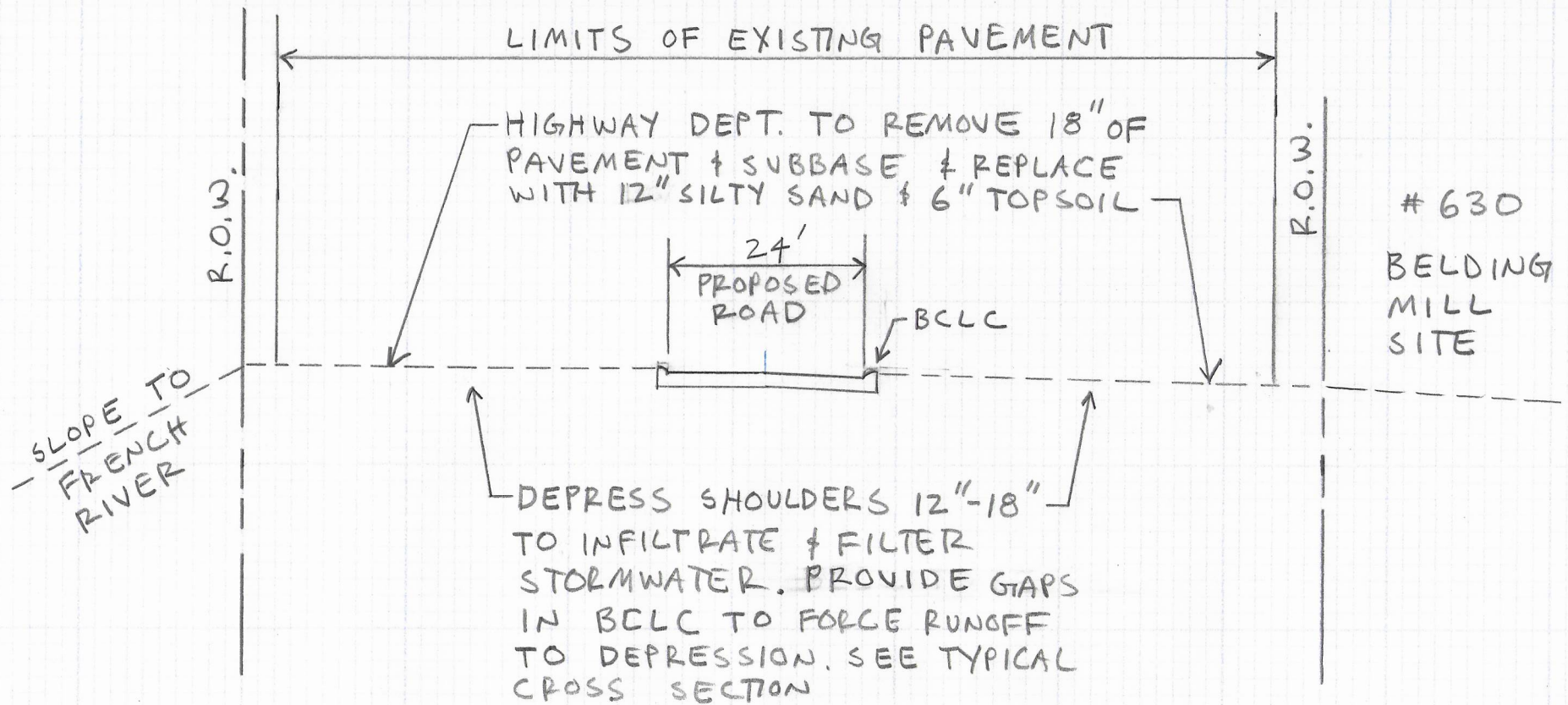
The existing intersection is a dangerous, undefined sea of asphalt. Over the years several cars traveling south have missed the curve and run into the fence at 630 Riverside Drive. Also, vehicles exiting Blain Road don't always position themselves for the best sight distance around the curve and must dart into the highway sometimes cutting off other vehicles.

Project Description:

The proposal is to define the intersection to a traditional "T" intersection at the safest point for sightline. The easiest way to accomplish this will be to remove the majority of pavement at that intersection and install new curb and pavement markings. This will channelize vehicles into safe lanes. Work will be performed by the Thompson Public Works Department and has been approved by CONNDOT.

Removing a relatively large amount of pavement and replacing it with pervious landscaping near the French River will obviously be good for the environment. The Town also intends to depress the large shoulder areas on both sides of the road which will promote infiltration and reduce the amount of road sediment in drainage systems to the river. I have prepared two additional cross section sketches to illustrate this concept. The Town has not yet determined what additional native plantings, besides grass, to plant within these two areas. The hope is to have some attractive, low maintenance, perennials and shrubs and native trees planted if budget allows.

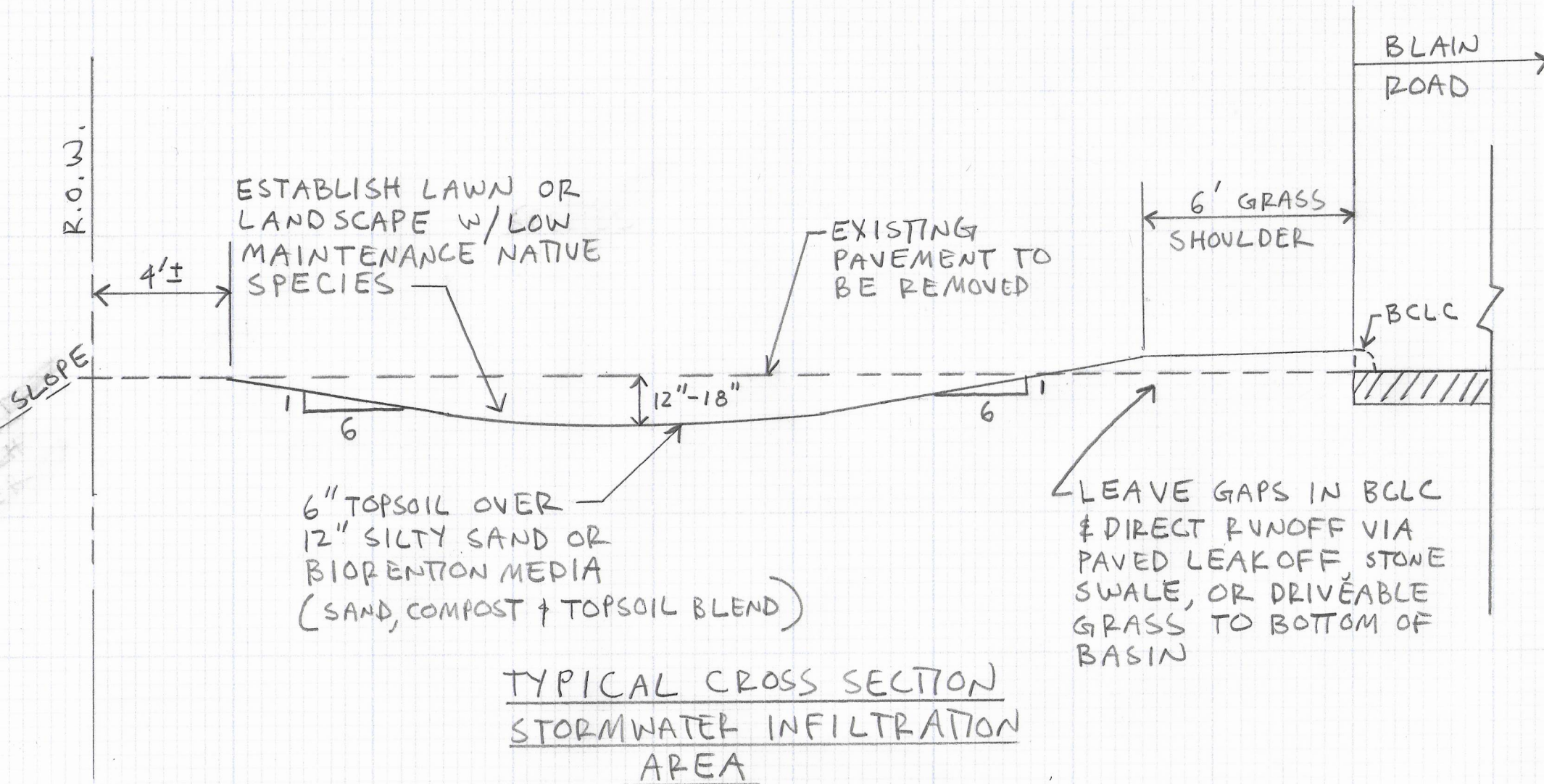




BLAIN ROAD RECONSTRUCTION
 TYPICAL CROSS SECTION
 20' SOUTH OF RTE 12 HIGHWAY LINE

1" = 20'

SEE PLANS PREPARED BY
 PROVOST + ROVERO REV. 8/10/20



SEE PLANS PREPARED BY
PROVOST & ROVERO, REV. 8/10/20

Agenda Item E.b) 1. New Applications

WAA21015, Carol Moser & Richard Colburn, 20 Island View Drive (Assessor's map 143, block 16, lot 21), construction of a 14' X 20' addition to an existing house in the 100- foot upland review area for Quaddick Reservoir, received 6/21/21, issued 6/24/21, legal notice published 7/2/21, end of appeal period 7/17/21

TEST PIT RESULTS

OBSERVED BY: LYNETTE SWANSON
DATE: 7/1/2015

PIT NO. 1

0'-10" FILL
10'-14" ORIGINAL TOPSOIL
14'-20" RED-BROWN VERY FINE
SANDY LOAM SOME GRAVEL
20'-75" COARSE LOAMY SAND GRAVEL
75'-106" MEDIUM SAND

MOTTLING: N/A
RESTRICTIVE LAYER: N/A
LEDGE: N/A
WATER: N/A

PERC. TEST RESULTS

HOLE A	TIME	READING
11:41	3	
11:42	5.5	
11:43	7.25	
11:44	8.625	
11:46	10.5	
11:47	11.75 DRY	

HOLE DEPTH = 14"
PERC. RATE = 1.1 MINS/IN

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN SEPTEMBER 2013, AND IS INTENDED TO BE USED FOR THE DESIGN OF AN ENGINEERED SEPTIC SYSTEM. TOPOGRAPHIC ACCURACY CLASS T-2. HORIZONTAL ACCURACY CLASS B.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

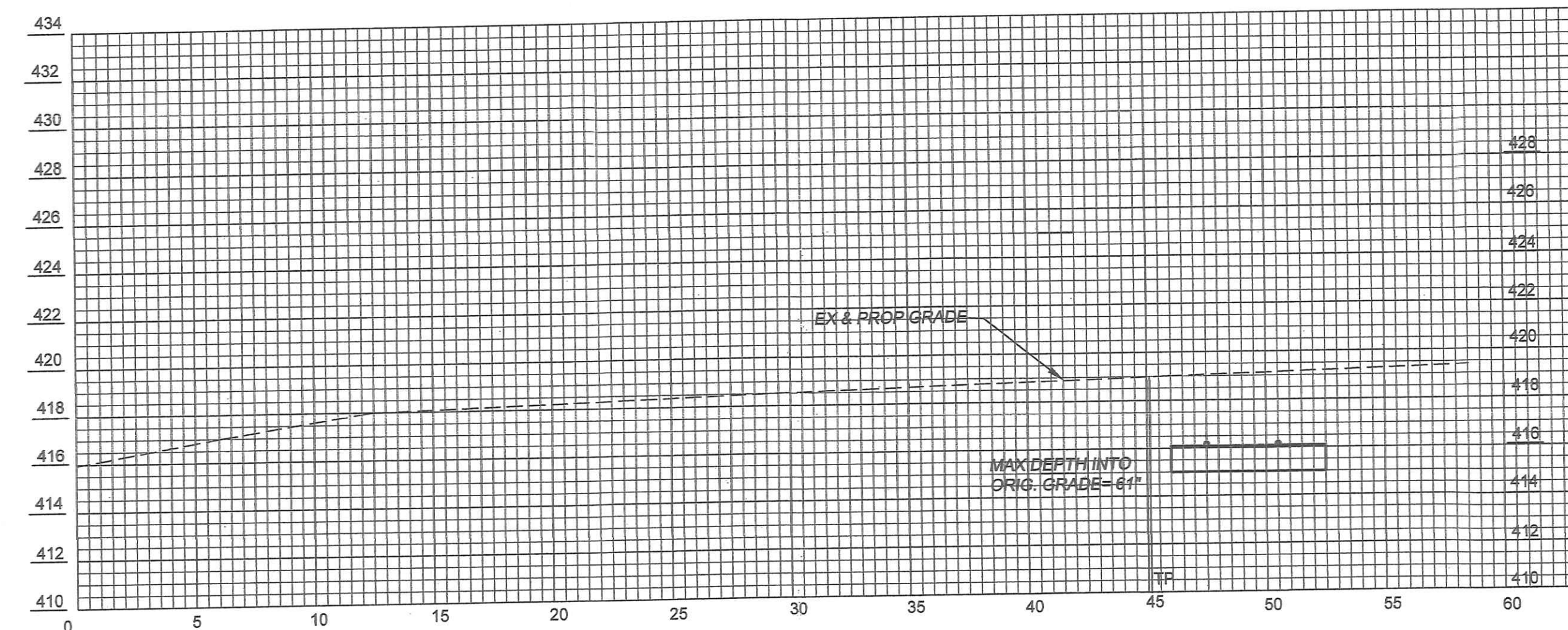
2. TEST PIT AND PERC TEST LOCATIONS HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND J & D CIVIL ENGINEERS DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT.

3. REFERENCE PLAN:
(A) "PLOT PLAN PREPARED FOR JOHN A. AND MARY JANE NAPOLI #18 ISLAND VIEW DRIVE THOMPSON, CONNECTICUT ASSESSORS' LOT 40" JANUARY 1990 MESSIER & ASSOCIATES, INC.

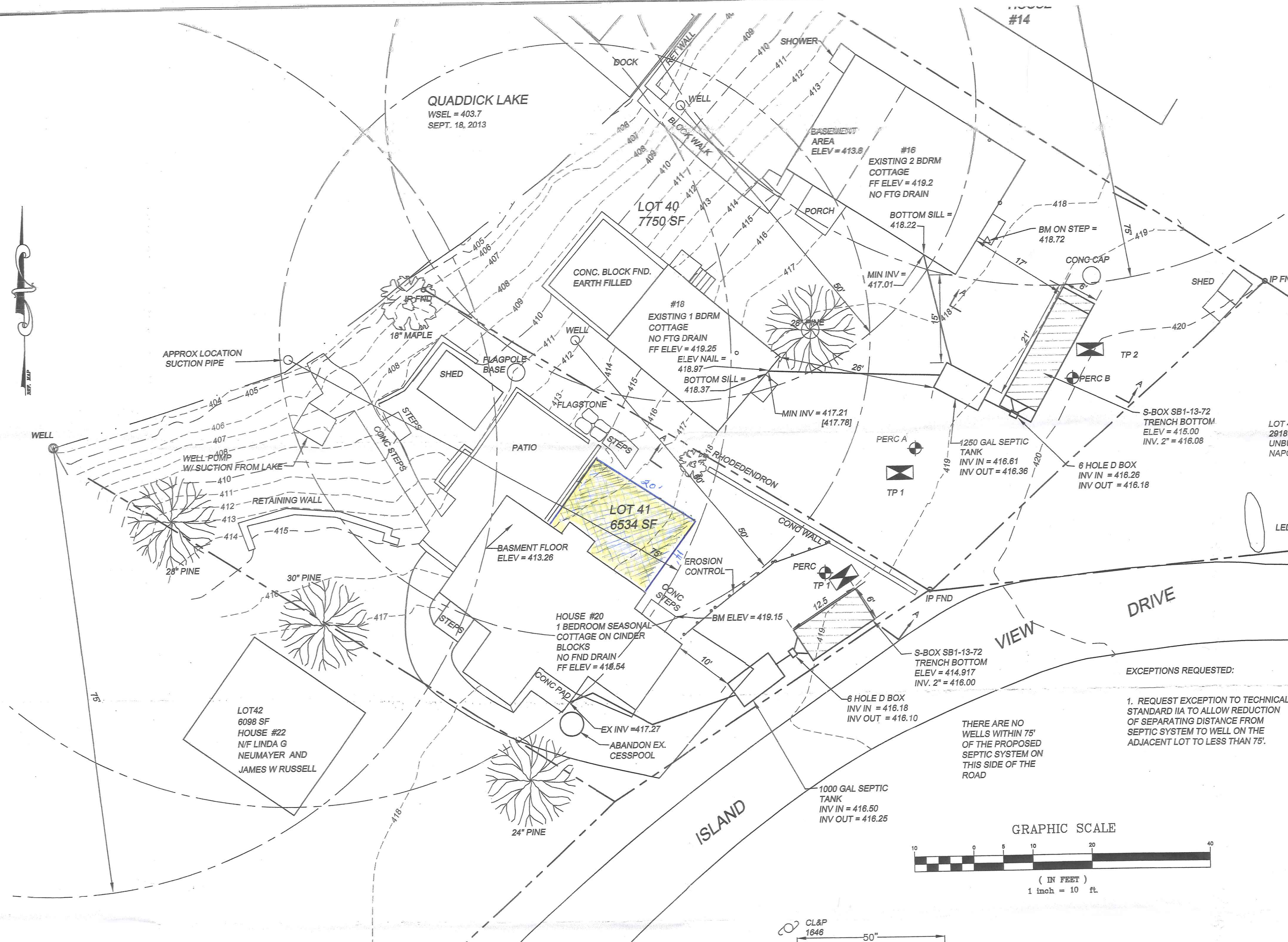
(B) "SUBDIVISION OF LAND PREPARED FOR CLAIRE L. GREENE, BRANDY HILL ROAD, THOMPSON CONNECTICUT" JULY 1, 1988 ALBERT L. FITZBACK, L.L.S.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07 LICENSE NUMBER



LEACHING FIELD CROSS SECTION A-A
1" = 5'



SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 1.1 MINS/INCH

NUMBER OF BEDROOMS: 1

SEPTIC TANK: 1000 GALLON

LEACHING AREA REQUIRED: 375 SQUARE FEET

LEACHING AREA PROVIDED: 12.5' OF SBOX SB1-13-72 @ 28.5 SQ. FT. PER LF. = 356 SQUARE FEET

MOTTLING: N/A, LEDGE: N/A, WATER: N/A

MLSS (PRIMARY) = N/A

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOXES: JOLLEY OR EQUAL 6 HOLE D-BOXES WITH RISER TO GRADE HOUSE, EFFLUENT AND "TIGHT PIPE" FOR DRAIN OUTLETS: 4" PVC SCHEDULE 40, ASTM D 1785 OR ASTM D 2685 WITH RUBBER COMPRESSION GASKET ASTM D 3139 OR SOLVENT WELD COUPLINGS.

INFILTRATION: INSTALL SBOX SB1-13-72. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. CONFIGURE FOR USE WITH GEOMATRIX SOIL AIR SYSTEM.

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL.

TOPSOIL SHALL BE STRIPPED IN AREA OF LEACH FIELD AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT SEPTIC FILL.

ALL FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:
MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%
GRADATION ON FILL LESS GRAVEL:

SIEVE	WET PERCENT PASSING	DRY PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-50	10-75
NO. 100	0-20	0-5
NO. 200	0-5	0-2.5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

THIS DESIGN IS BASED ON TEST PIT INFORMATION RECORDED BY NDDH. J & D HAS MADE NO INDEPENDENT INVESTIGATION OF SOIL CONDITIONS. THE CONTRACTOR IS ADVISED TO PERFORM SUFFICIENT SITE INVESTIGATION TO DETERMINE CONSTRUCTABILITY OF THE DESIGN PRIOR TO BIDDING OR COMMENCING WORK.

EROSION AND SEDIMENT CONTROL NOTES:

- THE PROPOSED ACTIVITY ON THE SITE WILL CONSIST OF THE CONSTRUCTION OF A SEPTIC SYSTEM REPAIR.
- EROSION CONTROL DEVICES MUST BE INSTALLED WHERE INDICATED ON THIS SHEET PRIOR TO THE START OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SEEDED OR STABILIZED WITH TEMPORARY MULCH AS SOON AS FINAL GRADES HAVE BEEN ATTAINED.
- THE OWNER OF RECORD SHALL DESIGNATE THE ON SITE ENVIRONMENTAL AGENT RESPONSIBLE FOR REGULARLY CHECKING THE CONDITION OF THE EROSION CONTROL DEVICES AND REMOVING ACCUMULATED SEDIMENT.

Thompson Inland Wetlands Commission

Approved: Aug 11, 2015

Thompson Wetlands Agent

Conditions-See Attached

LEGEND

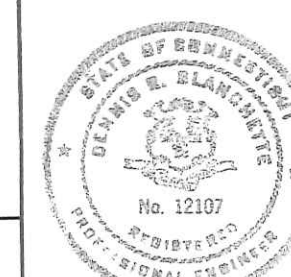
- PROPERTY LINE
- EXISTING CONTOUR LINE
- EROSION CONTROL DEVICES
- TEST PIT
- LEACHING TRENCH

Received
AUG 6 2015
Thompson Wetlands Office

MAP 143 BLOCK 16 LOT 41

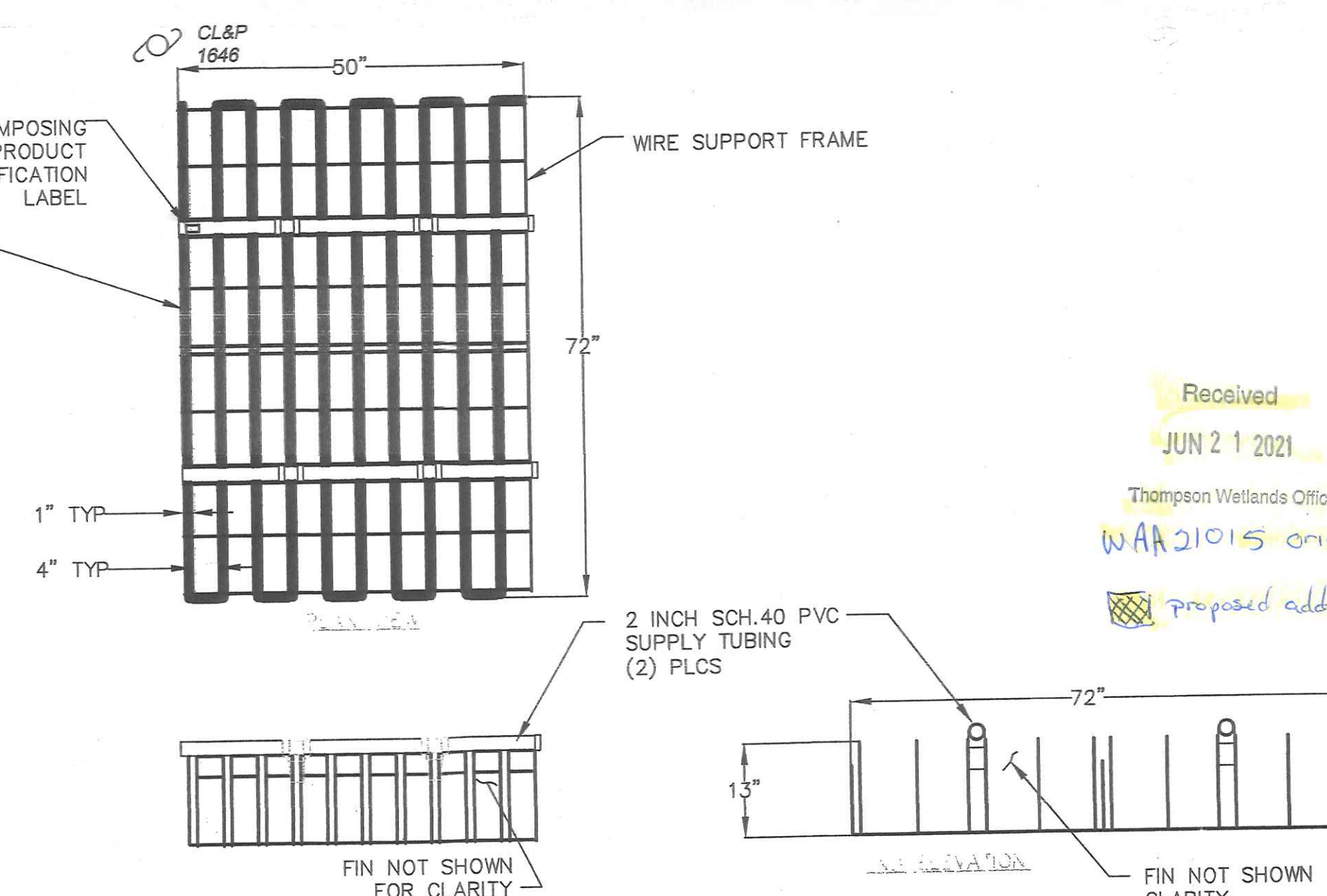
SEPTIC SYSTEM REPAIR PLAN PREPARED FOR MILTON BUCKLESS 20 ISLAND VIEW DRIVE - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENHILL ROAD
N. GROSVENORDALE, CT 06255
860-923-2920



DESIGNED: JJB	REVISIONS:
CHECKED: DRB	
JOB NO: 14151	DATE: JULY 8, 2015
SCALE: AS NOTED	SHEET: 1 OF 1

NDDH FILE #15000296

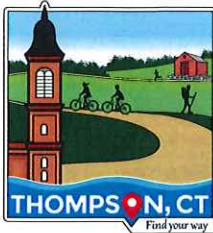


S-BOX SB1-13-72 PLAN AND ELEVATION VIEW
NTS

Received
JUN 21 2021
Thompson Wetlands Office

WAS 2015 original copy
proposed addition

WAS 2015



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21015

APPROVAL GRANTED TO:
Carol Moser & Richard Colburn
4 Owls Nest
Danielson, CT 06239

DATE OF APPROVAL: June 24, 2021
EXPIRATION DATE: June 24, 2026

LOCATION OF AUTHORIZED ACTIVITY: 20 Island View Drive, Assessor's Map 143, Block 16, Lot 41

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the construction of 14' X 20' addition to an existing house in the 100-foot upland review area for Quaddick Reservoir as shown in Wetlands Agent Approval Application WAA21015 stamped received by the Thompson Wetlands Office June 21, 2021 and as shown in drawing(s) entitled "Septic System Repair Plan prepared for Milton Buckless 20 Island View Drive - Thompson, CT" prepared by J&D Civil Engineer, LLC dated July 8, 2015 with notes for the proposed addition added by the applicant dated received June 21, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
2. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
3. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
4. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
5. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
6. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: June 24, 2021

Agenda Item E.b) 2. New Applications

WAA21016, D.H. Copeland Builders, 119 New Road (Assessor's map 154, block 3, lot 2I), construction of a driveway in the 100-foot upland review area for a new single family home, received 6/23/21, legal notice published 7/2/21, end of appeal period 7/17/21.

NOTES:

1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A GENERAL LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS 1C AND A TOPOGRAPHIC SURVEY CONFORMING TO TOPOGRAPHIC ACCURACY CLASS T-2. CONTOUR INTERVAL = 2 FEET. VERTICAL DATUM IS ASSUMED. THIS MAP HAS BEEN PREPARED FROM OTHER MAPS, RECORD RESEARCH, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE. THE PURPOSE OF THIS MAP AND SURVEY IS TO OBTAIN STATE AND MUNICIPAL PERMITTING FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

2. REFERENCE MAP: "ROCKY BROOK ESTATES" TO BE DEVELOPED BY RIVER JUNCTION ESTATES, LLC - NEW ROAD, THOMPSON, CONNECTICUT - FEBRUARY 2006 - SHEET 2 OF 8 - BY: MESSIER & ASSOCIATES, INC.

3. SUBJECT PROPERTY IS SHOWN AS MAP 154, BLOCK 3, LOT 21 OF THE THOMPSON ASSESSOR'S RECORDS.

4. ZONE: RA-80

SEPTIC SYSTEM DESIGN CRITERIA

PERC RATE: 10 MINS/INCH

NUMBER OF BEDROOMS: 3

SEPTIC TANK: 1000 GALLON

LEACHING AREA REQUIRED: 495 SQUARE FEET

LEACHING AREA PROVIDED: 165 LF OF STANDARD LEACHING TRENCHES @ 3.0 S.F. / L.F. = 495 SQUARE FEET.

MOTTLING: 24"; LEDGE: n/a; WATER: n/a

MLSS CALCULATION: SLOPE: 4.1-6% , RESTRICTIVE LAYER: 24" (HF=34)

3 BEDROOMS (FF=1.5)

PERC. RATE: 10 MIN/INCH (PF=1.0)

MLSS = (HF)(FF)(PF) = 34 x 1.5 x 1.0 = 51 L.F.

MLSS PROVIDED: 55'

MAXIMUM DEPTH INTO EXISTING GRADE: 6"

SPECIFICATIONS

SEPTIC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS".

SEPTIC TANK: JOLLEY PRECAST, INC. OR EQUAL TWO-COMPARTMENT TANK WITH OUTLET FILTER. INSTALL RISERS OVER TANK CLEANOUTS IF COVER OVER TANK EXCEEDS 1'.

DISTRIBUTION BOX: JOLLEY OR EQUAL 4 HOLE D-BOX

HOUSE AND EFFLUENT SEWER PIPE: 4" PVC ASTM D 1785, ASTM D 2665, OR ASTM F 1780 SCHEDULE 40 WITH RUBBER COMPRESSION GASKETS OR PVC AWWA C-900 WITH RUBBER COMPRESSION GASKETS.

DISTRIBUTION: 4" PERFORATED PVC LAID @ 2" PER 100' IN 4" W x 12" D STONE FILLED TRENCH, SERIAL DISTRIBUTION.

POLYLOK PIPE SEAL AS MANUFACTURED BY SUPERIOR SEPTIC TANKS (OR EQUAL) SHALL BE USED TO SEAL SEPTIC TANK AND D-BOX INLETS AND OUTLETS.

BOTTOM OF TRENCHES TO BE LEVEL

SELECT FILL SHALL BE CLEAN BANK RUN GRAVEL, MEETING THE FOLLOWING

REQUIREMENTS OF THE CT DEPT. OF PUBLIC HEALTH:

MAX. PERCENT GRAVEL (PLUS NO. 4 SIEVE MATERIAL) - 45%

GRADATION ON FILL LESS GRAVEL:

SIEVE	DRY PERCENT PASSING	WET PERCENT PASSING
NO. 4	100	100
NO. 10	70-100	70-100
NO. 40	10-75	10-50
NO. 100	0-5	0-20
NO. 200	0-2.5	0-5

* PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%
FILL MUST PERC AT A RATE EQUAL TO OR FASTER THAN THE UNDERLYING SOIL.

SOIL TEST DATA

FILE NO. 20000198

SOIL TESTING PERFORMED 3/11/2020 BY N.D.D.H.

TP 8-1

0-16" DISTURBED MATERIAL
16-24" BURIED TOPSOIL
24-39" GRAY VERY FINE SANDY LOAM/SILTY
39-100" MEDIUM COARSE SAND & GRAVEL, BONEY
NO MOTTLING
NO WATER
NO LEDGE
RESTRICTIVE LAYER AT 24"

TP 8-2

0-24" DISTURBED MATERIAL
24-37" GRAY VERY FINE SANDY LOAM/SILTY
37-62" MEDIUM COARSE SAND & GRAVEL
62-101" GROUNDWATER
MOTTLING AT 37"
WATER AT 82"
NO LEDGE

TP 8-3

0-12" TOPSOIL
12-32" ORANGE-BROWN FINE SANDY LOAM w/ GRAVEL
32-42" MEDIUM COARSE SAND w/ GRAVEL
42-96" GROUNDWATER
MOTTLING AT 37"
WATER AT 32"
NO LEDGE

TP 8-4

0-12" TOPSOIL
12-24" ORANGE-BROWN FINE SANDY LOAM
24-37" MEDIUM LOAMY SAND w/ GRAVEL
37-96" GROUNDWATER
MOTTLING AT 24"
WATER AT 37"
NO LEDGE

SOIL TESTING PERFORMED 5/6/2021 BY N.D.D.H.

TP 8C

0-9" TOPSOIL/ROOTS
9-30" ORANGE-BROWN, SANDY LOAM
30-75" LT. BROWN TIGHT MEDIUM COARSE SAND & GRAVEL
NO MOTTLING
WATER AT 77"
NO LEDGE
RESTRICTIVE LAYER AT 40"

TP 8D

0-9" TOPSOIL/ROOTS
9-24" ORANGE-BROWN SANDY LOAM
24-60" LT. BROWN TIGHT MEDIUM COARSE SAND & GRAVEL
NO MOTTLING
WATER AT 43"
NO LEDGE
RESTRICTIVE LAYER AT 24"

PERCOLATION TEST DATA

TESTING PERFORMED 5/6/2021 BY NDDH

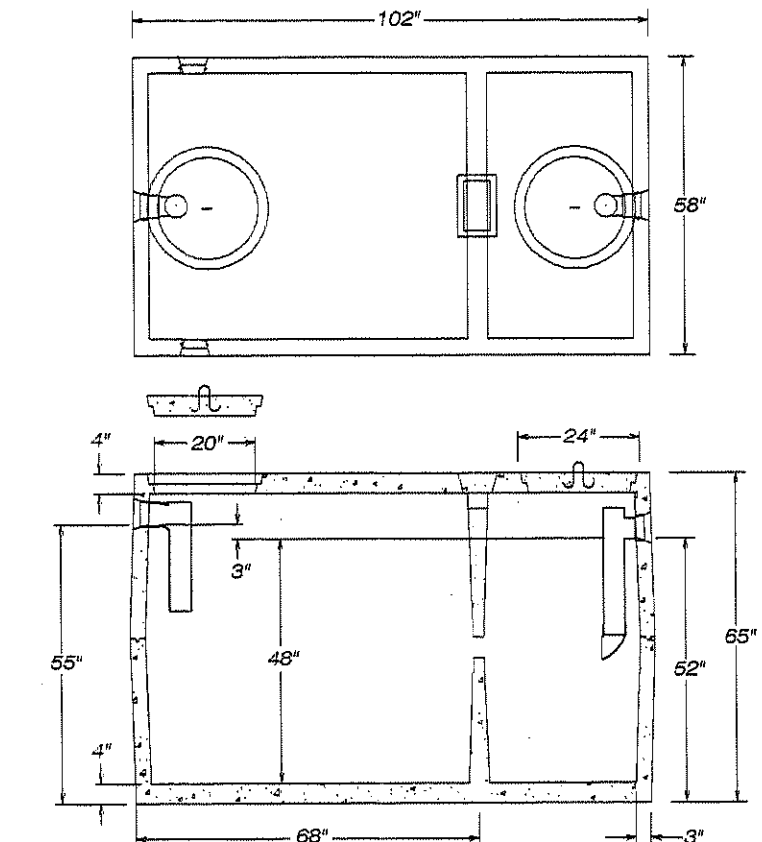
TIME	READING
11:24	10.5"
11:34	11.5"
11:44	12.5"
11:54	13.5"
12:04	14.5"

RATE: 10.0 MIN./INCH AT 24" DEPTH

SILT FENCE INSTALLATION

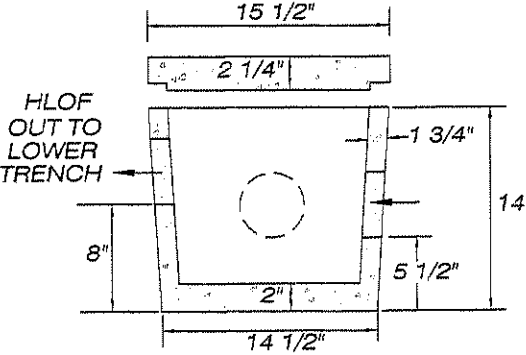
NOT TO SCALE

2"x2"x48" WOOD STAKE
12" MIN.
100'
FLOW
NATIVE SOIL
COMPACTED BACKFILL
FILTER FABRIC WITH INTEGRAL SUPPORT OR WIRE OR SNOW FENCE FOR SUPPORT

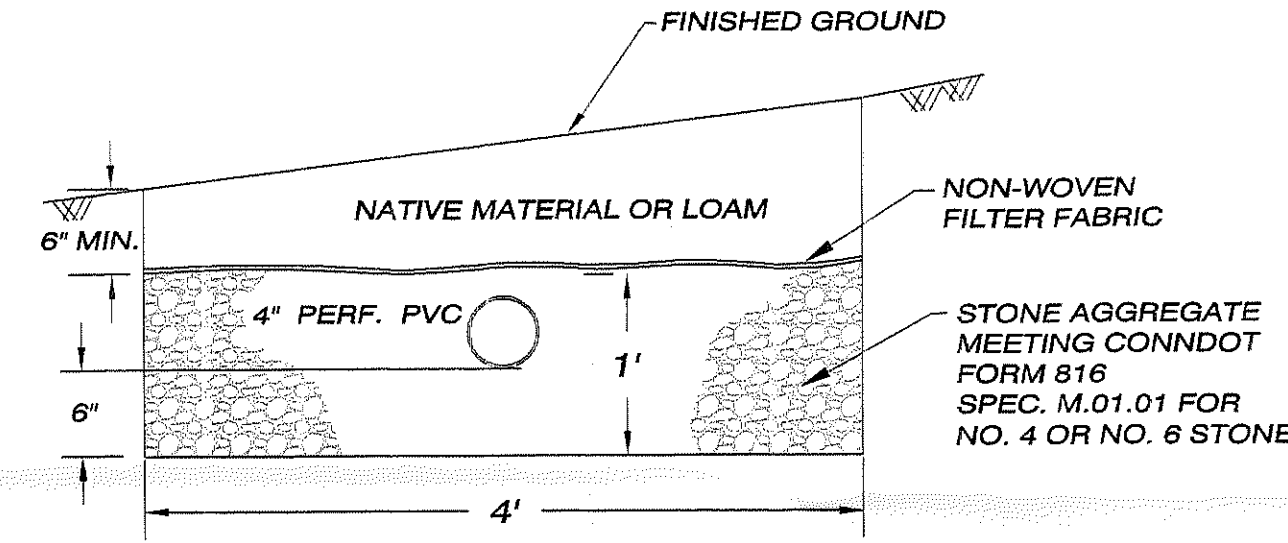


- DESIGN NOTES
- 1) JOINTS TO BE SEALED WITH BUTYL RUBBER SEALANT
 - 2) INLETS AND OUTLETS TO HAVE STATE-APPROVED SEALS.
 - 3) USE 8" HEAVY DUTY TOP IF SPECIFIED.
 - 4) MUST MEET ASTM C 1227-97A
 - 5) CONCRETE STRENGTH SHALL BE 5000 PSI. MIN. 28 DAYS

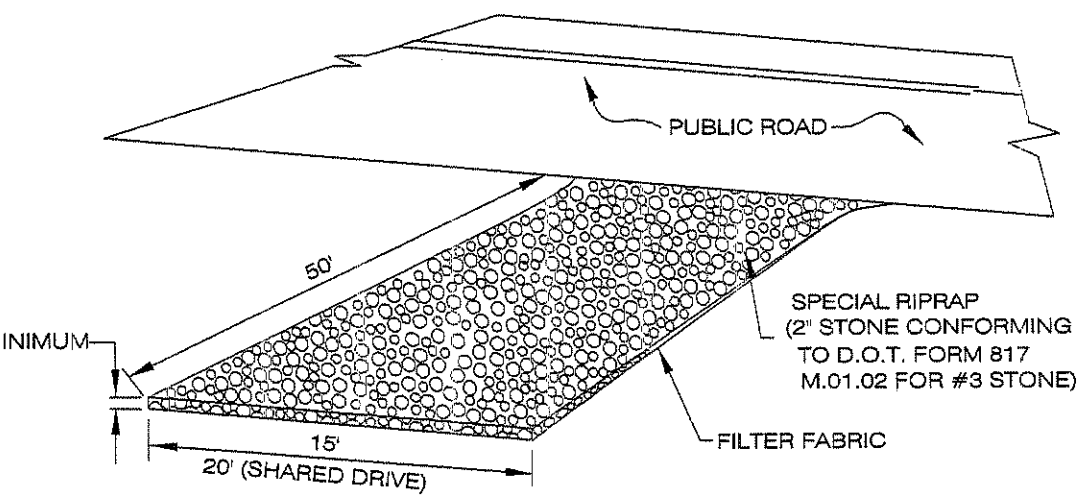
1000 GALLON TWO-COMPARTMENT SEPTIC TANK N.T.S.



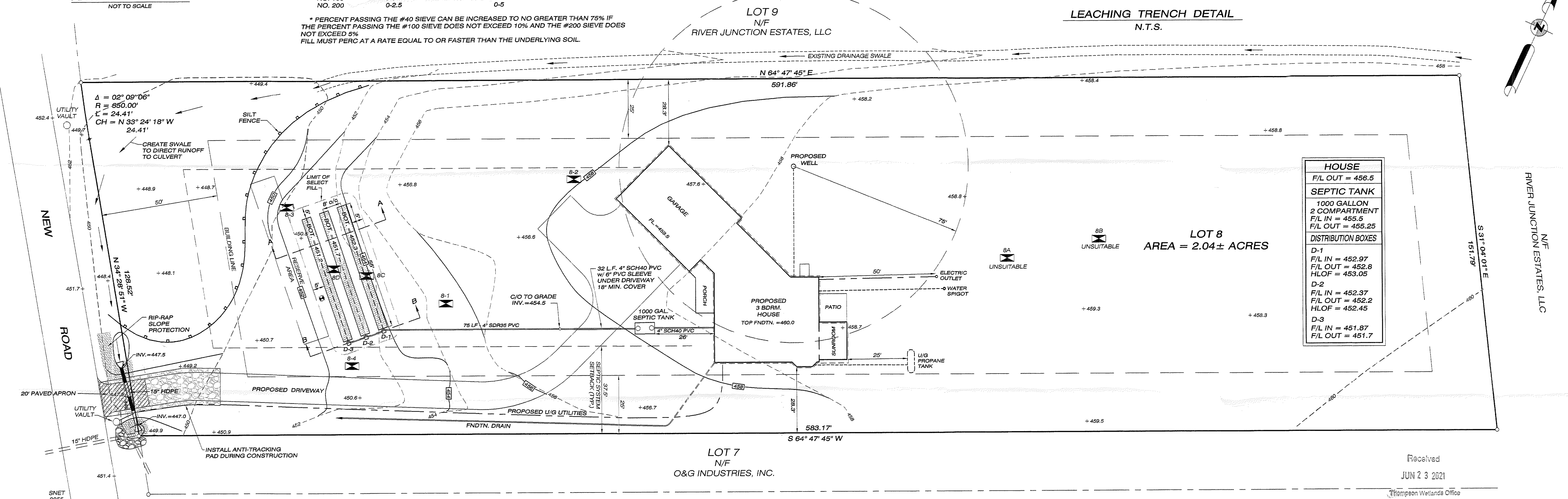
HLOF DISTRIBUTION BOX N.T.S.



LEACHING TRENCH DETAIL N.T.S.



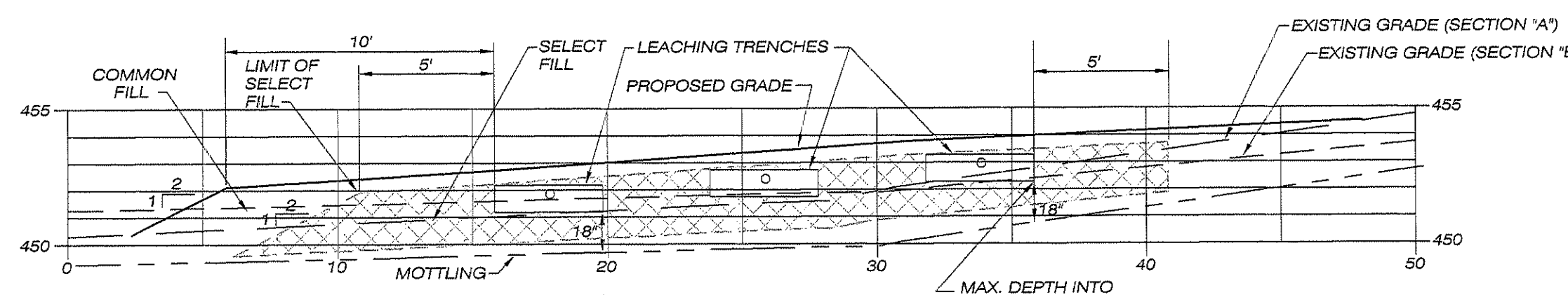
ANTI-TRACKING PAD NOT TO SCALE



HOUSE
F/L OUT = 456.5
SEPTIC TANK
1000 GALLON 2 COMPARTMENT
F/L IN = 455.5
F/L OUT = 455.25
DISTRIBUTION BOXES
D-1
F/L IN = 452.97
F/L OUT = 452.8
HLOF = 453.05
D-2
F/L IN = 452.37
F/L OUT = 452.2
HLOF = 452.45
D-3
F/L IN = 451.87
F/L OUT = 451.7

LEGEND

- IRON ROD/IRON PIPE FOUND
- EXISTING CONTOUR
- +456.7 EXISTING SPOT GRADE
- PROPOSED CONTOUR
- ⊗ TEST PIT
- EROSION CONTROL BARRIER



LEACHFIELD CROSS-SECTION SCALE: 1"=5'

UNDERGROUND UTILITY LOCATIONS ARE TO BE MARKED IN THE FIELD PRIOR TO ANY EXCAVATION
"CALL BEFORE YOU DIG" 1 800 922 4455 OR 811

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PAUL A. TERWILLIGER, L.S. NO. 70155

6/18/2021
DATE

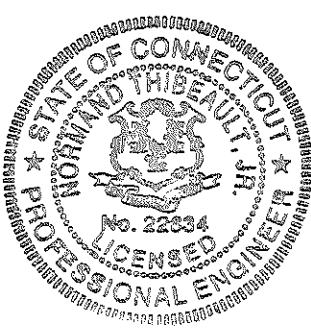
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

SEPTIC SYSTEM DESIGN BY:

Killingly Engineering Associates

114 Westcott Road
P.O. Box 421
Dayville, Connecticut 06241

Normand Thibault, Jr., P.E. No. 22934
DATE 6/18/2021



GENERAL LOCATION SURVEY

SEPTIC SYSTEM DESIGN PLAN

PREPARED FOR

ALEXANDER KENNETT
DEBORAH KENNETT

NEW ROAD

THOMPSON, CONNECTICUT

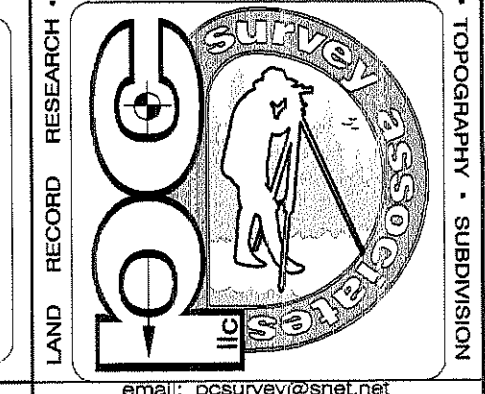
DATE: JUNE 2021

SCALE: 1" = 20'

JOB NO: 21013 F.B. NO: 226

DRAWN BY: P.A.T. MAP NO:

SURVEYING - MAPPING - PLOT PLANS



email: patsurvey@att.net

63 SNAKE MEADOW RD

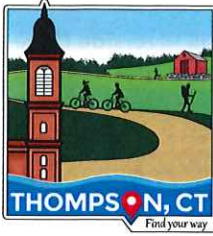
KILLINGLY, CT 06239

860 774 6230

SHEET NO: 1 OF 1

REVISED:

App'l WAA 2010 Original



**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

WETLAND AGENT APPROVAL WAA21016

APPROVAL GRANTED TO:

D.H. Copeland Builders
365 Woodstock Ave.
Putnam Ct 06260

DATE OF APPROVAL: June 24, 2021

EXPIRATION DATE: June 24, 2026

LOCATION OF AUTHORIZED ACTIVITY: 119 New Road, Assessor's Map 154, Block 3, Lot 21

DESCRIPTION OF AUTHORIZED ACTIVITY: To conduct regulated activities associated with the construction of a driveway in the 100-foot upland review area for a new single family home as shown in Wetlands Agent Approval Application WAA21016 stamped received by the Thompson Wetlands Office June 23, 2021 and as shown in drawing(s) entitled "General Location Survey, Septic System Design Plan prepared for Alexander Kennett Deborah Kennett, New Road Thompson, Connecticut" prepared by PC Survey Associates dated June 2021 dated received June 23, 2021.

This approval is issued pursuant to section 11(b) of the Inland Wetlands and Watercourses Regulations of the Town of Thompson.

APPROVAL CONDITIONS:

1. Until the contributing area is stabilized a sediment control system shall be installed at both the inlet and outlet for the cross culvert to the driveway such that the inlet to the 15" HDPE on New Road is protected from siltation generated by site construction.
2. A notice of decision will be requested to be published in the Thompson Villager. Note this approval is subject to appeal to the Inland Wetlands Commission for 15 days from the date of publication for a final decision.
3. If the authorized activity also involves an activity or a project which requires zoning or subdivision approval, special permit, variance, or special exception, then no work pursuant to this approval may begin until such other approval is obtained. (See section 11.10.c. of the Inland Wetlands and Watercourses Regulations of the Town of Thompson)
4. This approval will be valid for five (5) years. You are expected to notify the Wetland Agent of your starting date and to complete your activities within 2 years of beginning your site work. If you expect to take longer, you must contact the Wetland Agent for an extension.
5. The Thompson Wetland Agent/Inland Wetlands Commission must be notified in writing one week prior to the beginning of any regulated activities. Please use the enclosed card.
6. Appropriate erosion and sediment controls shall be installed prior to the beginning of any regulated activities. Until all disturbed soils are stabilized appropriate erosion and sediment controls shall be used and maintained. (See document entitled "2002 Connecticut Guidelines for Soil Erosion and Sediment Controls" for guidance.)
7. If there are any changes in the location of any of the proposed activities for which this approval has been granted, then the new proposal must be presented to Thompson Wetland Agent/ Inland Wetlands Commission for approval of such changes prior to commencing activities.

Wetland Agent: _____

Marla Butts

Dated: _____

June 24, 2021

Agenda Item E.b) 3. New Applications

DEC21017, Dale & Jean Harger, 1219 Thompson Rd (Assessor's map 116, block 24, lot 9), replace ornamental garden with 8' -10' trees for maintenance & enjoyment of residential home, received via email 6/28/2021.



Town of Thompson
INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

For Commission Use Only
Application #: DEC21017

Received

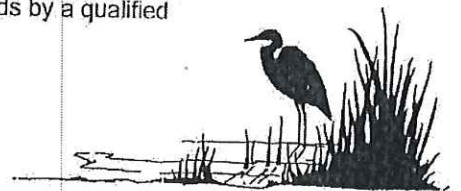
JUN 28 2021

APPLICATION FORM - USE PERMITTED AS OF RIGHT OR NON-REGULATED USE

Applies to those actions proposed as a use permitted as of right or non-regulated use listed in sections 4.1 and 4.2 of the Thompson Inland Wetland and Watercourse Regulations, except timber harvests (for timber harvests use Timber Harvest Form). Unless identified as "Optional" all information is mandatory.

Part I Request for Use Permitted as of Right or Non-Regulation Use (check one only):

1. Propose use or activity conforms to the following permitted uses as outlined in section 4.1 of the Thompson Inland Wetland and Watercourse Regulations (check as appropriate):
 - a. ☐ Grazing, farming, nurseries, gardening and harvesting of crops.
 - b. ☐ Farm pond three (3) acres or less essential to the farming operation.
 - c. ☐ Construction of a residential home for which a building permit has been issued prior to July 1, 1987, attach copy of valid building permit and site plan.
 - d. ☐ Boat anchorage or mooring.
 - e. ☒ Use incidental to the maintenance and enjoyment of property presently used for residential purposes that contains a dwelling. Such property is equal to or smaller than the largest minimum residential lot size as permitted in the Town of Thompson.
 - f. ☐ Construction and operation by a water company of a dam, reservoir or other facility necessary for the impounding, storage and withdrawal of water in connection with public water supplies.
 - g. ☐ Maintenance of drainage pipes on residential property that existed prior to July 1, 1974.
2. Proposed use or activity will not disturb the natural or indigenous character of the wetland or watercourse and conforms to one of the following non-regulated uses outlined in section 4.2 of the Thompson Inland Wetlands and Watercourses Regulations (check as appropriate):
 - a. ☐ Conservation of soil, vegetation, water, fish or wildlife.
 - b. ☐ Outdoor recreation
 - c. ☐ Dry Hydrant installation by authority of the municipal fire department
3. The proposed use or activity is not regulated by the Thompson Inland Wetlands and Watercourses Regulations because (check as appropriate):
 - a. ☐ The proposed activity or use is one which is the exclusive jurisdiction of State or Federal agency. Provide documentation (See Section 5 of these regulations)
 - b. ☐ The use or activity legally existed as of July 1, 1974, and does not involve new, additional or expanded use or activity. Provide documentation.
 - c. ☐ The proposed activity is not a regulated activity as defined by section 2 to the Thompson Inland Wetlands and Watercourses Regulations (delineation of wetlands by a qualified soil scientist may be required)



Part II Contact Information

For Commission Use Only Application #: DEC21017

1) Applicant Contact Information

a) Applicant Name: Dale and Jean Harger

b) Mailing Address: 1219 Thompson Road
(include town state zip) Thompson CT 06277

c) Daytime Phone #: 860-935-9139

d) Evening Phone #: Same

e) Cell Phone # (optional): _____

f) Email Address (optional): putnamecard@aol.com

2) Applicant's Interest in Property (check one only)

☒ property owner ☐ lessee ☐ easement holder

3) Owner Contact Information (required if applicant is not property owner)

a) Name: _____

b) Mailing Address: _____
(include town state zip) _____

c) Daytime Phone #: _____

d) Evening Phone #: _____

e) Cell Phone # (optional): _____

f) Email Address (optional): _____

Part III Site Information

1) Property Involved (following information obtained from tax assessor and town clerk's records):

Street Address	Assessor's Reference		
	Map	Block	Lot
<u>1219 Thompson Road</u>	<u>176</u>	<u>24</u>	<u>9</u>

2) Attach an 8 1/2 inch by 11 inch location map for the property (printable map from Thompson MapGeo with property outlined is acceptable - see <https://thompsonct.mapgeo.io>)

3) Wetlands (as delineated by qualified soil scientist) / Watercourse Area Altered

a) Wetlands: none (in square feet)

b) Open Water Body: none (in square feet)

c) Stream: none (in linear feet)

4) Noteworthy Wetlands / Watercourses: Does the property contain a noteworthy wetland or watercourse as identified in the document "Town of Thompson Inland Wetland Inventory" prepared by the Northeastern Connecticut Regional Planning Agency dated 1980? (see http://thompsonct.org/images/stories/Inland_Wetlands/Inlands-Wetlands-Watercourse-Map.pdf - check one) ☒ No ☐ Yes (If Yes, then upland review area = 200 ft.)

5) Upland Review Area altered: _____ (in square feet)

For 6 & 7 below see http://thompsonct.org/images/stories/Planning_Development/Inland_Wetlands/Drainage-BasinsTopo-Grid-2017.pdf

6) U.S.G.S. Topographic Quadrangle (check all involved)

☐ #13 Webster MA

☐ #14 Oxford MA

☐ #28 Putnam

☒ #29 Thompson

7) Drainage Basin #(s) wherein the proposed activity will take place (check all involved):

French River ☐ 3300 ☐ 3301

Quinebaug River ☐ 3700 ☐ 3708

Five Mile River ☒ 3400 ☐ 3401 ☐ 3402

Part IV Description of Activity Proposed

1. Detailed project description and purpose: The tree-planting area is currently an ornamental garden. To make room for the new trees, we will reluctantly remove a holly shrub (6'), two small Japanese maples (5'), a dwarf pine (4'), a witch hazel (10'), and several small shrubs and perennials. We hope to plant 7 evergreens (2 blue firs and 5-7 arbor vitae), each between 8-10' in height. All digging will be done by hand, and all dug soil will remain on site to form watering collars around the new trees. Erosion of exposed soil will be prevented by terracing at the location of each new tree replanting perennials, and application of bark mulch. Any incidental runoff is expected to soak into soil now occupied by a large rhodie and tall lakeside arborvitae.
2. Attach a diagram, drawing or plot plan of sufficient scale and detail to portray the proposed activity.

Part V Application Permissions & Certifications

1) Owner's Permission¹

I, the undersigned, am the owner of the above reference property and hereby grant permission to the Thompson Inland Wetlands Commission and its duly authorized agents to enter upon this property at reasonable times both before and after a final decision on this application has been issued by the Thompson Inland Wetlands Commission for purposes of inspection and enforcement of the Inland Wetlands and Watercourse regulation of the town of Thompson. Further, I have had an opportunity to review the Inland Wetlands and Watercourses Regulations of the Town of Thompson and understand that these regulations regulate activities conducted on my property.

[Signature] [Signature] 6/28/21
(Signature of property owner) Date

For all persons excluding individuals print name and title of signatory above

2) Applicant's Certification¹

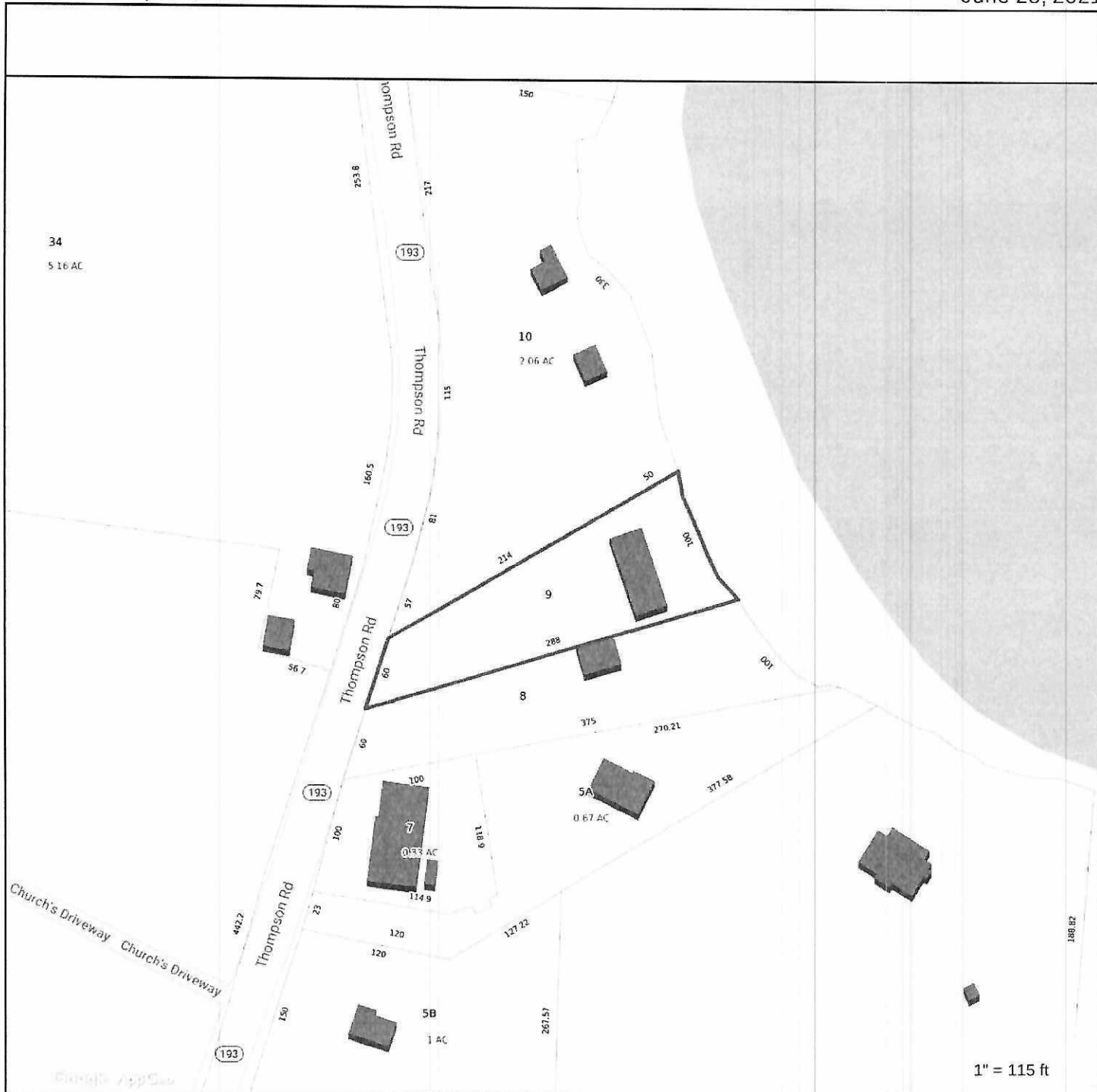
I, the undersigned, certify that the information supplied in the completed application is accurate, to the best of my knowledge and belief and am aware of the penalties for obtaining the permit through deception, inaccurate or misleading information.

[Signature]
(Signature of applicant) Date

For all persons excluding individuals print name and title of signatory above

*** For Commission Use Only ***	
Agency Response:	
IWC Chair Signature:	Date:

¹ If owner is (1) a corporation, then signature is required to be by a principal executive officer of at least the level of vice president, (2) a limited liability company (LLC), then signature is required to be by a manager, if management of the LLC is vested in a manager(s) in accordance with the company's "Articles of Organization", or a member of the LLC if no authority is vested in a manager(s), (3) a partnership, then signature is required by a general partner, (4) the Town of Thompson, then signature is required by the First Selectman, (5) any other municipality, the signature is required by a ranking elected official, or by other representatives of such applicant authorized by law, and (6) a sole proprietor, then signature is required by the proprietor.



Property Information

Property ID 3489
 Location 1219 THOMPSON RD
 Owner HARGER JEAN JONES + DALE R




MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated September 21, 2020
 Data updated March 20, 2019

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.

[Reply](#)[Forward](#)[Delete](#)**1219 Thompson Road / tree plantings****Date:** 07/09/2021 (01:54:01 PM CDT)**From:** Dale Harger**To:** wetlands@thompsonct.org Text (5 KB)

Hi, Marla.

An update.....

- 1) As to the schedule for the work: Our landscape contractor hopes to plant the trees in mid-September. If his schedule doesn't allow him to complete the work by that time, we will postpone the work to next May.
- 2) As to his performance of the work: We have always expected the digging to be done by hand, because the only useful access to the garden is via a narrow opening at the top.

We assumed that the opening (which is just under 5 feet, a on a steep hill, along a stone wall) would be far too small for powered equipment.

Shortly before signing the landscaping contract, however, we learned that our landscape contractor owns a "mini skid-steer" machine which is only 48 inches wide. He thinks it will fit through the opening, and he thinks he could do some of the digging using a 12-inch augur attachment.

This would be a change from the information we submitted to you previously (as to hand digging), so we thought we should alert you, in case it's relevant to the Commission's decision.

Regards.

Dale and Jean Harger
1219 Thompson Road

Agenda Item E.b) 4. New Applications

IWA21018, Jason Lepino, 58 Wrightson Dr. (Assessor's reference 143/17/15), demolish existing wood retaining wall and replace with rip rap revetment along shore of Quaddick Reservoir, stamped received 7/2/21, to be statutorily received 7/13/21.

Copy 1

for commission use:	rev 1/11
application #	<u>IWA21018</u>
date received	<u>July 2, 2021</u>

PERMIT APPLICATION
TO CONDUCT A REGULATED ACTIVITY

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

All applicants must complete this application for preliminary review. The Commission will notify the applicant of any additional information that may be required and will schedule a public hearing if necessary. In addition to the information supplied herein, the applicant may submit other supporting facts or documents which may assist the Commission in its evaluation of the proposal. In order to streamline the application review process, it is recommended that all applications containing significant impact to the wetlands be submitted to the Thompson Conservation Commission for review prior to submission to the regulatory commissions.

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Town Clerk. State Statute provides that you may submit an application up to three (3) business days prior to the next regularly scheduled meeting, which means by the close of business hours on the Wednesday before a regular meeting date. The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER/SETBACK OF 100 FEET FROM A WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE TOWN OF THOMPSON INLAND WETLAND INVENTORY PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding activities.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

WE MUST HAVE THE FOLLOWING INFORMATION TO PROCESS YOUR APPLICATION:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number *Location of property in reference to Pole (side of street)
- Locations of proposed house, septic test pits, well and driveway must be staked and labeled on site (These requirements must be LEGIBLY PRINTED on your MAPS at the time of application, but NOT in the area of the map details. Use outside edge of map for this information. Thank you.)

FAILURE TO HAVE THE ABOVE INFORMATION WILL POSTPONE PROCESSING OF YOUR APPLICATION

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Permit Fee Now Includes Mandatory Legal Advertisement Fee of \$20. This DOES NOT include Legal Notice fees for Public Hearings, which will be billed separately.)
- Complex Application Fee..... Applicants will be billed for professional review as needed, see regulations booklet Section 18.5

For: **Conceptual Approval of Subdivisions use "Subdivision Review Application"**

Please complete the following application information.

Received

JUL 02 2021

Thompson Wetlands Office

Date July 2, 2021

1) Name of Applicant Jason Lepino

Home Address 59 Wrightson Drive, Thompson CT 06277

Home Tele & Hrs 914-494-8746

Business Tele & Hrs _____

Business Address _____

2) Applicant's Interest in the Property: ☒ Owner ☐ Other

INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.
No permit shall be assigned or transferred without written permission of the Commission.

3) Name of Property Owner (if not applicant) _____

Home Address _____

Business Address _____

Home Tele & Hrs _____

Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location CL&P 1424

Street or Road Location Wrightson Drive

Tax Assessor's Map # 143

Block # 17

Lot # that appears on site plan 15

Deed Info : Volume # 836

Page # 006

5) The property to be affected by the proposed activity contains:

Soil Types Hinckley Loamy Sand

Wetland Soils n/a

Watercourses ☒

Floodplain ☒ Yes ☐ No

(Swamp ☐ Marsh ☐ Bog ☐ Vernal Pool ☐)

(Lake or Pond ☒ Stream or River ☐ Intermittent Stream ☐)

6) Purpose and Description of the Activity for which Approval is requested:

a. Give a complete description of the proposed activity The applicant is proposing to demolish an existing

wood retaining wall along the shore of Quaddick, and replace it with a sloped revetment constructed from rip rap.

They will also loam and seed the existing sandy beach area, and construct a smaller beach on land.

If the above activity involves deposition or removal of material, what is the quantity? 150 Cubic Yards
(84 CY earth excavated and removed, 66 CY of crushed stone and rip rap imported)

Received

JUL 02 2021

b. Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature.
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation with base flood elevations.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Subdivisions must be A-2 Surveys and have Certified Soil Scientist's original signature on face sheet.
- ☒ 12-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 13-Location of proposed Erosion and Sedimentation controls and other management practices which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions must comply with the most current DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☒ 14 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☒ 15-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 16-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

c. Explain whatever measures you propose to lessen or to compensate for the impacts to the wetlands or watercourse(s) Work shall be performed during the winter, when water levels are much lower.

There is no permanent disturbance of the lake bed. Erosion control devices shall be installed during construction

There is no net fill proposed within the flood plain.

d. Have any alternatives been considered? No

If yes, explain why this proposal was chosen _____

- 7) Is any portion of this property located within 500' of the boundary of an adjoining municipality? No
If yes, Applicant is required to give written notice of the application by certified mail, return receipt requested, to the adjacent municipal wetlands agency on the same day of filing this permit application with the Thompson Inland Wetlands & Watercourses Commission. Documentation of notice shall be provided to the Commission.
- 8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.
- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the most updated map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

10) Names and Addresses of Abutters:

Lot 12 - Brian & Jane Howell, 61 Wrightson Drive

Lot 14 - James Brazel & Susan Waters, 53 Wrightson Drive

11) Estimated start date November 2021

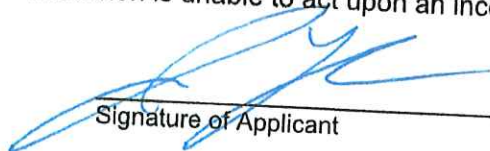
Estimated date of completion (all disturbed areas are stabilized) May 2022

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

I understand by signing this application that it is my responsibility to provide all the information as requested.
I understand that the commission is unable to act upon an incomplete application.

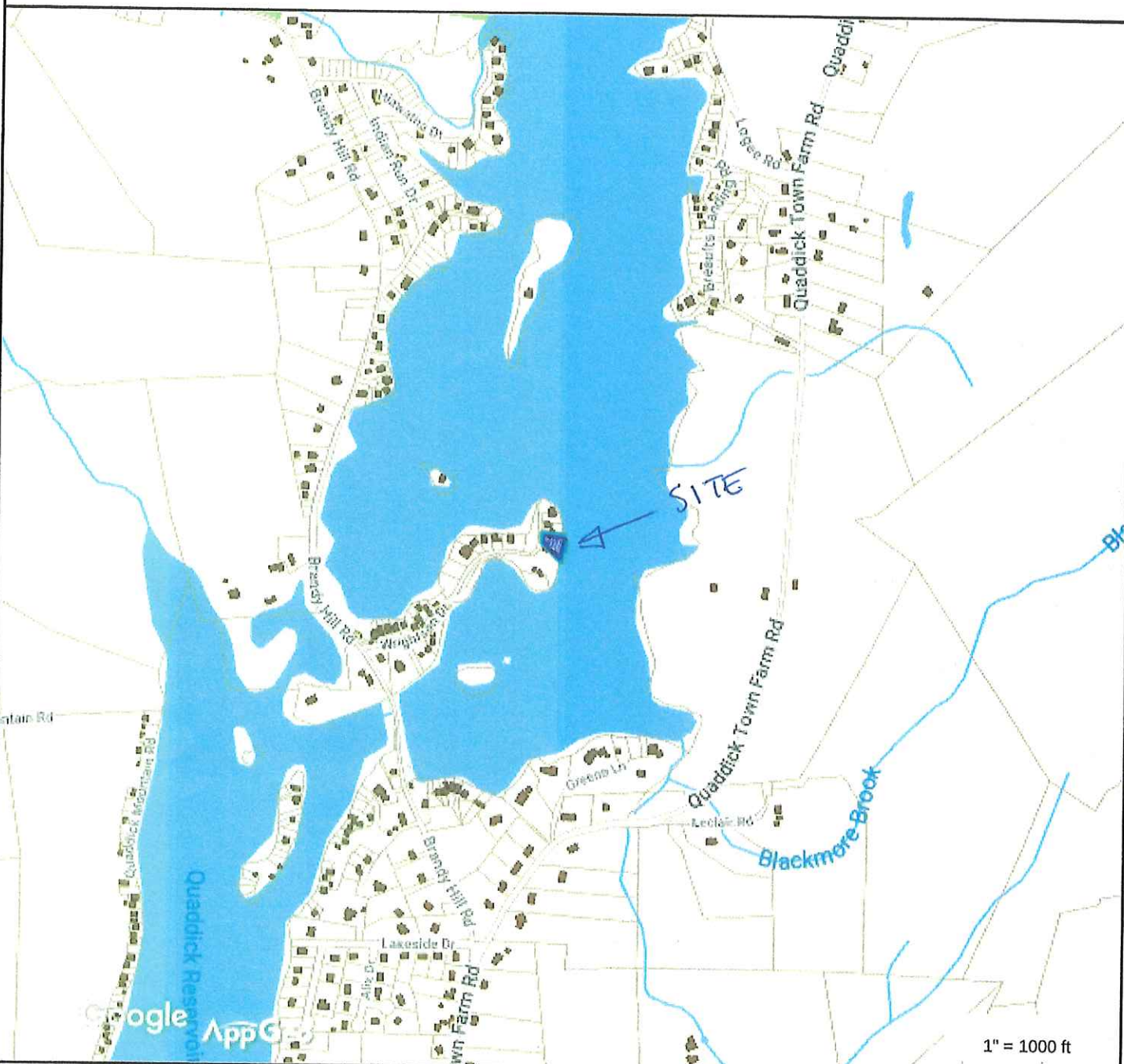

Signature of Applicant

6-10-2021
Date


Consent of Landowner if other than applicant Date

Please attach a written consent by the owner if applicant is not the property owner.

Received
JUL 02 2021



Property Information
Property ID 4720
Location 59 WRIGHTSON DR
Owner LEPINO JASON + KYLE


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT
 Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Geometry updated September 21, 2020
 Data updated March 20, 2019

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.

Received
JUL 02 2021
 Thompson Wetlands Office



Thompson Town Hall to 59 Wrightson Drive,
Thompson, CT

Drive 7.0 miles, 13 min

Thompson Town Hall

815 Riverside Dr, North Grosvenor Dale, CT 06255

- ↑ 1. Head southwest on Riverside Dr toward Main St
1.0 mi
 - ↩ 2. Turn left onto CT-200 E/Thompson Hill Rd
1.9 mi
 - ↩ 3. Turn left onto CT-193 N
1.5 mi
 - ↘ 4. Turn right onto Brandy Hill Rd
0.4 mi
 - ↘ 5. Turn right to stay on Brandy Hill Rd
1.9 mi
 - ↩ 6. Turn left onto Wrightson Dr
0.3 mi
- Destination will be on the right

59 Wrightson Dr

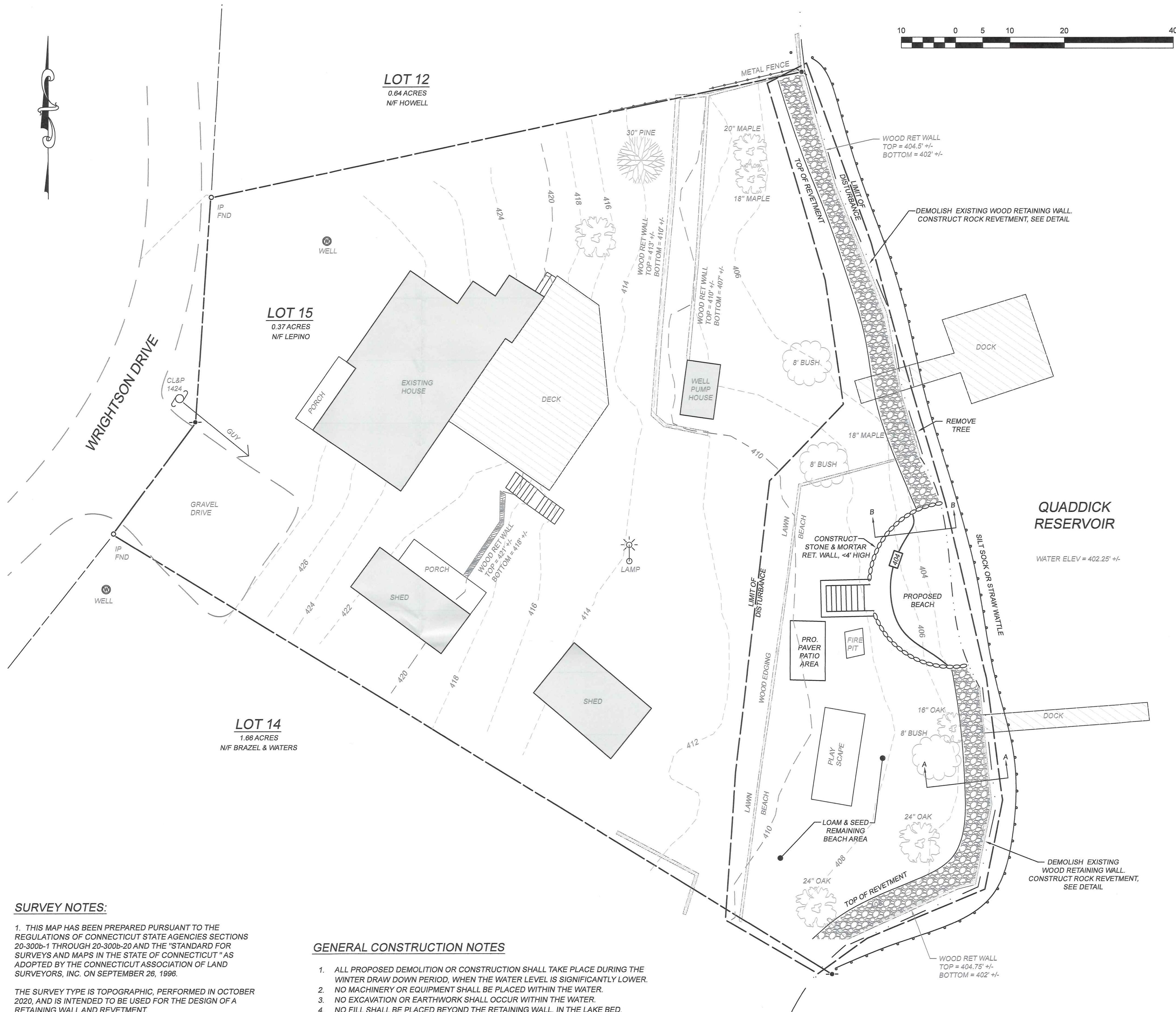
Thompson, CT 06277

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

Received

JUL 02 2021

Thompson Wetlands Office



SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.

THE SURVEY TYPE IS TOPOGRAPHIC, PERFORMED IN OCTOBER 2020, AND IS INTENDED TO BE USED FOR THE DESIGN OF A RETAINING WALL AND REVETMENT.

PROPERTY LINES DO NOT EXPRESS A BOUNDARY OPINION.

VERTICAL ACCURACY: CLASS T2 (NAVD83 DATUM)
HORIZONTAL ACCURACY: CLASS B (NAD83 DATUM)

2. REFERENCE PLAN: "BOUNDARY STAKE OUT PLAN PREPARED FOR JOHN LEPINO & ANN LEPINO, WRIGHTSON DRIVE THOMPSON CT." BY MICHAEL C HEALEY, L.S. DATED OCTOBER 29, 1998. ON FILE WITH TOWN CLERK AS MAP #1343.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

D.R. BLANCHETTE 7/2/21 12107
DENNIS R. BLANCHETTE DATE LICENSE
NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
© 2021 J&D CIVIL ENGINEERS, LLC

GENERAL CONSTRUCTION NOTES

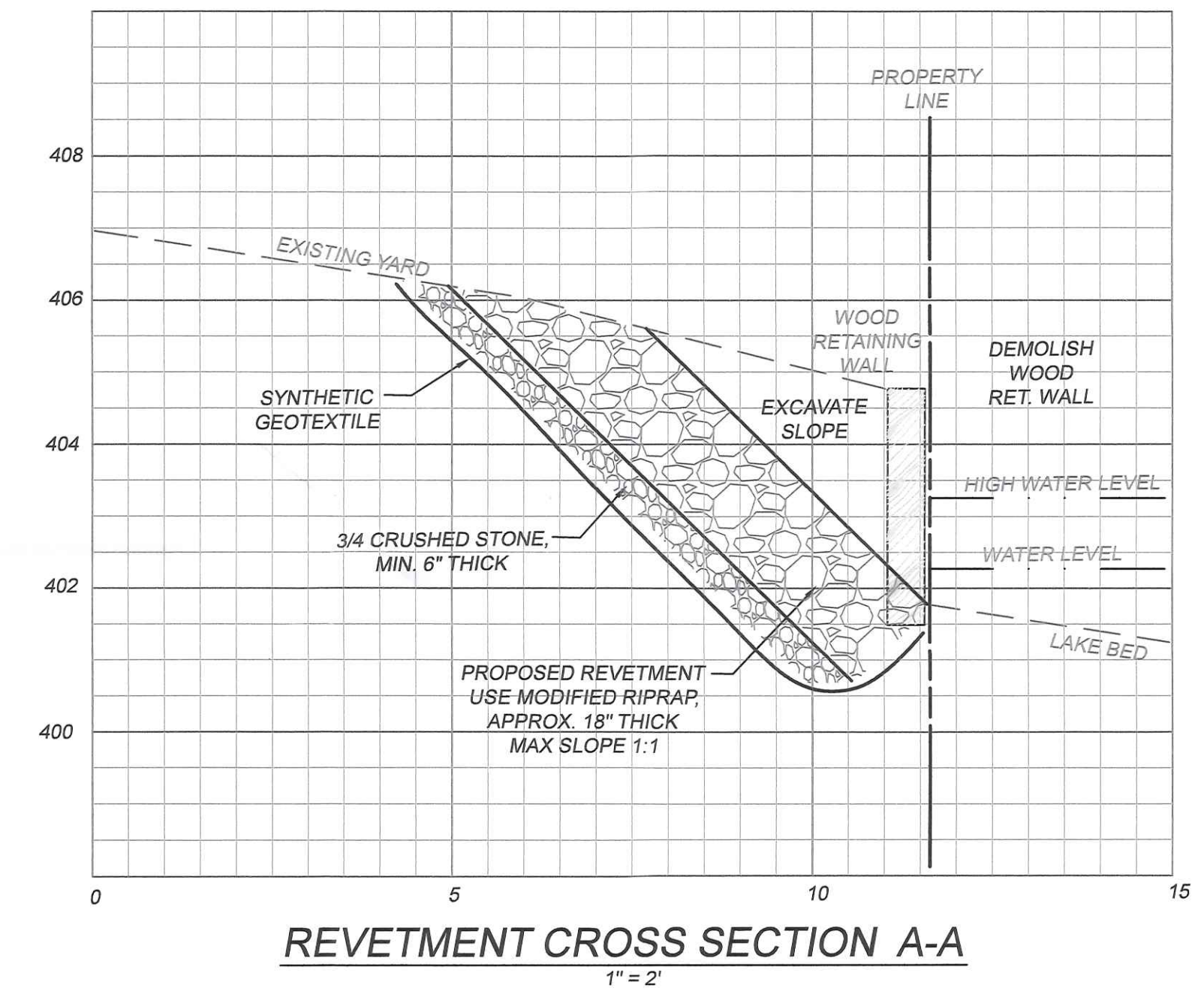
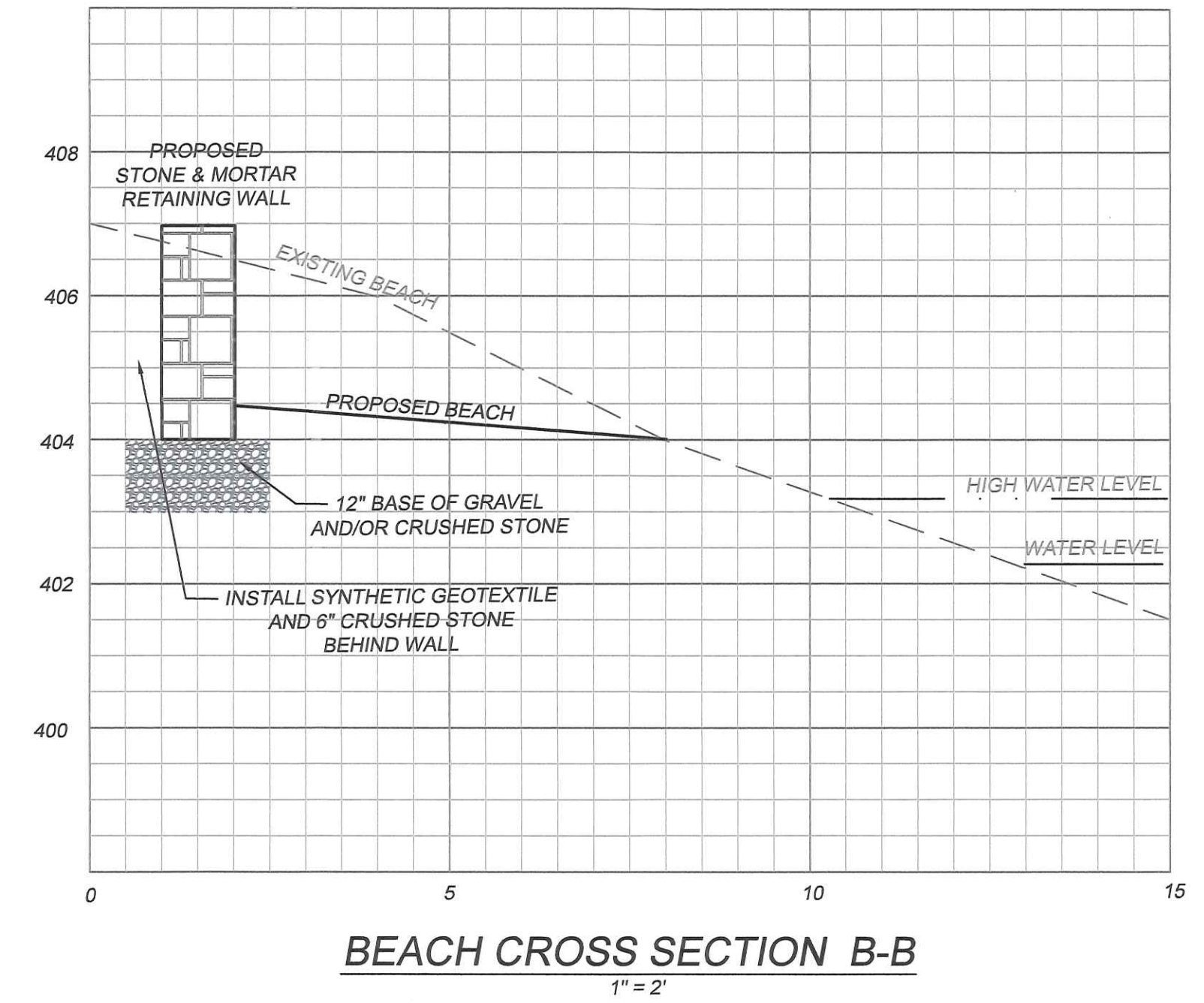
1. ALL PROPOSED DEMOLITION OR CONSTRUCTION SHALL TAKE PLACE DURING THE WINTER DRAW DOWN PERIOD, WHEN THE WATER LEVEL IS SIGNIFICANTLY LOWER.
2. NO MACHINERY OR EQUIPMENT SHALL BE PLACED WITHIN THE WATER.
3. NO EXCAVATION OR EARTHWORK SHALL OCCUR WITHIN THE WATER.
4. NO FILL SHALL BE PLACED BEYOND THE RETAINING WALL, IN THE LAKE BED.
5. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY WORK.
6. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER PRIOR TO ANY SUBSTITUTIONS OR ALTERATIONS.

CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE SITE PLAN.
2. EXCAVATE NATIVE MATERIAL BEHIND WALL AND HAUL OFF SITE.
3. DEMOLISH RETAINING WALL AND HAUL OFF SITE.
4. INSTALL PERMANENT SYNTHETIC GEOTEXTILE.
5. INSTALL LAYER OF CRUSHED STONE TO PROTECT GEOTEXTILE.
6. INSTALL REVETMENT USING MODIFIED RIP RAP. STONES SHALL BE HAND PLACED AS NECESSARY TO ACHIEVE REQUIRED STABILITY. NO STONES SHALL BE ALLOWED TO ROLL INTO THE LAKE BED.
7. LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE.

EROSION AND SEDIMENT CONTROL NOTES

1. THE PROPOSED WORK SHALL CONSIST OF THE DEMOLITION OF AN EXISTING RETAINING WALL AND THE CONSTRUCTION OF ROCK REVETMENT.
2. EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO THE SITE PLAN, PRIOR TO ANY EARTHWORK OR DEMOLITION.
3. THE CONTRACTOR SHALL ADEQUATELY INSPECT AND MAINTAIN ALL EROSION CONTROL.
4. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL DEVICES AS NECESSARY TO PREVENT ANY SEDIMENT FROM ENTERING THE WATER.
5. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM.
6. FINAL GRADE AND STABILIZE ALL DISTURBANCES AS SOON AS POSSIBLE.



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF WATER
- EROSION CONTROL DEVICES
- LIMIT OF DISTURBANCE

Received
JUL 0 2 2021
Thompson Wetlands Office

SITE DEVELOPMENT PLAN PREPARED FOR JASON & KYLE LEPINO 59 WRIGHTSON DRIVE - THOMPSON, CT MAP 143 BLOCK 17 LOT 15	
J&D CIVIL ENGINEERS, LLC 401 RAVENELLE ROAD N. GROSVENORDALE, CT 06255 860-923-2920	
DESIGNED: DDB CHECKED: DRB	REVISIONS:
JOB NO: 20231	DATE: JULY 2, 2021
SCALE: 1" = 20'	SHEET: 1 OF 1

Appl In A 2018 copy 1













Agenda Item E.b) 5. New Applications

WAA21020, Shaun Gray, 0 New Rd (Assessor's map 154, block 5, lot 10B), construct new single family home with driveway, septic & well in 100-foot upland review area, stamped received 7/7/21, under review.

Original

For Wetland Agent:	rev 01/11
APPLICATION #WAA	21020
DATE RECEIVED	July 7, 2021

Application
for
Wetland Agent Approval
to conduct a regulated activity

Town of Thompson

INLAND WETLANDS COMMISSION
815 RIVERSIDE DRIVE
NORTH GROSVENORDALE, CT 06255

Instructions:

Two (2) copies of the completed application and two (2) copies of all the additional attached documents (site plan, etc.) must be submitted to the Agent.

The applicant is advised to read Sections 7 and 8 of the Regulations for further information regarding application requirements and procedures. THE APPLICANT IS FURTHER ADVISED THAT A BUFFER (SETBACK) OF 100 FEET FROM AN INLAND WETLAND OR WATERCOURSE IS REQUIRED, AND A BUFFER/SETBACK OF 200 FEET FROM THE TEN (10) ESPECIALLY NOTEWORTHY WETLANDS AND WATERCOURSES IDENTIFIED IN THE *TOWN OF THOMPSON INLAND WETLAND INVENTORY* PREPARED BY NORTHEASTERN CONNECTICUT REGIONAL PLANNING AGENCY 1980 PAGES 9, 14 AND 15 IS REQUIRED. See Section 6 of the Regulations for further information regarding regulated activities.

Please provide the following information:

- Directions to the property from the Thompson Town Hall
- Location of Utility Pole nearest your property
 - *Pole Number
 - *Location of property in reference to Pole

NO APPROVAL SHALL BE TRANSFERRED WITHOUT PERMISSION OF THE AGENCY.

FEE SCHEDULE:

(Additional \$60.00 fee to State as per Public Act 09-03, Section 396)

- Individual Lot \$50 + \$60
(Includes Mandatory Legal Advertisements Fee of \$20)

If the Agent finds that greater than a minimal impact may occur to wetlands, then this proposal must undergo a full permit application. Fee will be applied to the permit application.

Please complete the following application information.
If you need assistance contact the Wetland Agent (office 860- 923-1852)
Fax 860-923-9897
www.thompsonct.org/wetlands

Received

JUL 07 2021

Date 7/1/2021

1) Name of Applicant Shaun Gray
Home Address 131 New Road, Thompson, CT 06277
Home Tele & Hrs 508-523-5005 (cell, all day) Business Tele & Hrs _____
Business Address _____

2) Applicant's interest in the Property: _____ Owner ☒ Other buying property - closing scheduled 7/8/21
INLAND WETLANDS APPROVALS CAN BE GRANTED TO PROPERTY OWNER ONLY.

3) Name of Property Owner (if not applicant) River Junction Estates, LLC
Home Address 204 Munyan Road, Putnam, CT 06260
Business Address _____
Home Tele & Hrs 860-919-6413 (cell, all day) Business Tele & Hrs _____

4) Geographical Location of the Property (site plan to include utility pole number nearest property or other identifying landmarks)

Pole # and Location SNET 3355
Street or Road Location 0 New Road
Tax Assessor's Map # 154
Block # 5
Lot # that appears on site plan 10B
Deed Information : Volume # 996
Page # 205

5) The property to be affected by the proposed activity contains:

Soil Types HkC
Wetland Soils ☒ (Swamp ☒ Marsh _____ Bog _____ Vernal Pool _____)
Watercourses ☒ (Lake or Pond _____ Stream or River ☒ Intermittent Stream _____)
Floodplain - Yes / No Yes

6) Description of the Activity for which Approval is requested Construction of single family house, septic system, well and driveway

7) Submit a Site Plan, drawn to scale, with the certification of the preparing Surveyor and/or Engineer including:

- ☒ 1-Locus map at approx. 1" = 1000'
- ☒ 2-Location of property, with boundaries defined and utility pole # near property and any other identifying landmarks.
- ☒ 3-Location of wetlands and /or watercourses. A wetland delineation in the field must be marked with numbered wetlands flags by a certified soil scientist and located on the map/site plan. Site plan shall bear the soil scientist's original signature. (wetlands delineation taken from map reference)
- ☒ 4-Soil types on the property.
- ☒ 5-Flood Hazard area classification and delineation.
- ☒ 6-(a)Location of the proposed activity (i.e. house, septic, well or other areas to be disturbed).
(b)Location of perc tests and soil test holes.
(c)Copy of NDDH approval to construct or repair subsurface sewage disposal system.
- ☒ 7-Nature and volume of the material to be placed, removed, or transferred.
- ☒ 8-Topographical contours, proposed and existing.
- ☒ 9-Location and supporting data for proposed drainage.
- ☒ 10-Date, scale (recommend 1"=40') and North arrow.
- ☒ 11-Proposed limits of clearing/disturbance and location of stockpiles during construction.
- ☒ 12-Location of proposed Erosion and Sedimentation controls and other management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity. The erosion and sedimentation control provisions on the site plan must comply with the most current CT DEP edition of the *Connecticut Guidelines for Soil Erosion and Sedimentation Control* and be so noted on the plans.
- ☐ 13 -Location of proposed Stormwater treatment design on the site plan must comply with the most current CT DEP edition of the *Connecticut Stormwater Quality Manual* and be so noted on the plans. It is strongly recommended that low impact development techniques, stormwater management techniques that are designed to approximate the pre-development site hydrology, be utilized in the stormwater system design wherever practical and possible.
- ☐ 14-Location of proposed mitigation or wetland enhancement measures which may be considered as a condition of issuing a permit for the proposed regulated activity.
- ☒ 15-Timing and description of phases of activities, installation of sediment and stormwater control measures and temporary and permanent stabilization methods.

The Wetland Agent will notify you if any additional information is needed in order to properly evaluate your proposal.

8) Is any portion of this property located within the watershed of a water company as defined in section 16-1 of the Connecticut General Statutes? No If yes, the Applicant is required to provide written notice of the application by certified mail, return receipt requested, to the water company on the same day of filing this permit application with the Thompson Inland Wetlands and Watercourses Commission. Documentation of such notice shall be provided to the Commission.

- 9) Does any portion of this property contain a Natural Diversity Data Base (NDDDB) area of concern as defined on the map of Federal and State Listed Species and Significant Natural Communities, for Thompson, Connecticut, prepared by the Connecticut Department of Environmental Protection? Yes If yes, the Applicant must contact the CT DEP for information regarding the State or Federal Listed Species of Concern.

- 10) Names and Addresses of Abutters:

Gregory S. & Maureen E. Lee, 64 New Road, Thompson, CT 06277

Debra L. Neundorf, 144 New Road, Thompson, CT 06277

Geraldine H. Mosca, 84 Turtle Bay Drive, Branford, CT 06405

John J. Camelio, Jr. & Kimberly J. Bombard, 597 East Thompson Road, Thompson, CT 06277

River Junction Estates, 204 Munyan Road, Putnam, CT 06260

- 11) Estimated start date July 30th, 2021

Estimated date of completion (all disturbed areas are stabilized) November 1, 2021

- 12) The undersigned hereby consents to necessary and proper inspections of the above mentioned property by the Agents of the Town of Thompson Inland Wetlands Commission, at reasonable times, both before and after the approval in question has been granted by the Agent, including site walks by Commission members and staff for the purpose of understanding existing site conditions, which may be necessary in order to render a decision on this application.

The undersigned swears that the information supplied in this completed application is accurate to the best of her/his knowledge and belief.

ABSOLUTELY NO WORK IS TO BEGIN UNTIL ALL NECESSARY APPROVALS ARE OBTAINED.

Upon Approval the Applicant is responsible for publishing a notice of the approval, at the applicant's expense, in a newspaper having a general circulation in the Town of Thompson. The Agent will provide the necessary notice to the newspaper for public notice, and such notice must be published within ten (10) days of the date of approval.

 7/1/21
Signature of Applicant Date

 7/1/21
Consent of Landowner if other than applicant Date

Please attach a written consent by the owner if applicant is not the property owner.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete - print clearly - and mail this form in accordance with the instructions on pages 2 and 3 to:
Wetlands Management Section, Inland Water Resources Division, CT DEEP, 79 Elm Street – 3rd Floor, Hartford, CT 06106

PART I: To Be Completed By the Municipal Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN (enter one year and month): Year _____ Month _____
2. ACTION TAKEN (enter one code letter): _____
3. WAS A PUBLIC HEARING HELD (check one)? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(type name) _____ (signature) _____

PART II: To Be Completed By the Municipal Inland Wetlands Agency or the Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING (type name): Thompson
Does this project cross municipal boundaries (check one)? Yes _____ No x
If Yes, list the other town(s) in which the action is occurring (type name(s)): _____
6. LOCATION (see directions for website information): USGS Quad Map Name: Oxford or Quad Number: 14
Subregional Drainage Basin Number: 3400
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): Shawn Gray
8. NAME & ADDRESS/LOCATION OF PROJECT SITE (type information): 0 New Road
Briefly describe the action/project/activity (check and type information): Temporary _____ Permanent x
Description: construction of single family home
9. ACTIVITY PURPOSE CODE (enter one code letter): B
10. ACTIVITY TYPE CODE(S) (enter up to four code numbers): 2, 9, 12, 14
11. WETLAND / WATERCOURSE AREA ALTERED (type in acres or linear feet as indicated):
Wetlands: 0 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED (type in acres as indicated): 0.71 acres
13. AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type in acres as indicated): 0 acres

DATE RECEIVED:

PART III: To Be Completed By the DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	TOWN OF THOMPSON, WINDHAM COUNTY, CONNECTICUT	A portion of Lot SC-1, as described in the Quit-Claim Deed recorded as Instrument No. 19, in Volume 908, Pages 236 and 237, in the Office of the Town Clerk, Town of Thompson, Connecticut The portion of property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 090117	
AFFECTED MAP PANEL	NUMBER: 0901170010B	
	DATE: 11/1/1984	

FLOODING SOURCE: FIVEMILE RIVER	APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 42.003729, -71.806905 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83
---------------------------------	--

DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
SC-1	--	River View Landing	New Road	Portion of Property	C	--	--	445.0 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION
PORTIONS REMAIN IN THE SFHA
ZONE A

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Amendment for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the described portion(s) of the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document amends the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LEGAL PROPERTY DESCRIPTION (CONTINUED)

BEGINNING at an iron pin on the Westerly street line of New Road which point being the Northeasterly corner of the herein described parcel of land; thence S34°28'51"E, 78.80 feet; thence S43°21'34"W, 74.23 feet; thence S18°51'45"W, 193.45 feet; thence S08°07'55"W, 165.60 feet; thence N81°52'05"W, 160.16 feet; thence N07°17'27"E, 126.79 feet; thence N53°13'01"E, 58.37 feet; thence N18°44'13"E, 63.31 feet; thence N23°02'33"W, 24.42 feet; thence N73°17'21"E, 115.62 feet; thence N07°40'54"E, 134.79 feet; thence N55°31'09"E, 58.83 feet to the POINT OF BEGINNING

PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 1 Property.)

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

ZONE A (This Additional Consideration applies to the preceding 1 Property.)

The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration

EROSION AND SEDIMENT CONTROL PLAN:

REFERENCE IS MADE TO:

1. Connecticut Guidelines for Soil Erosion and Sediment Control 2002 (2002 Guidelines).
2. Soil Survey of Windham County Connecticut, U.S.D.A. Soil Conservation Service 1983.

DEVELOPMENT SCHEDULE: (Individual Lots):

1. Prior to any work on site, the limits of disturbance shall be clearly flagged in the field by a Land Surveyor, licensed in the State of Connecticut. Once the limits of clearing are flagged, they shall be reviewed and approved by an agent of the Town.
2. Install and maintain erosion and sedimentation control devices as shown on these plans. All erosion control devices shall be inspected by an agent of the Town. Any additional erosion control devices required by the Town's Agent shall be installed and inspected prior to any construction on site. (See silt fence installation notes.)
3. Install construction entrance.
4. Construction will begin with clearing, grubbing and rough grading of the proposed site. The work will be confined to areas adjacent to the proposed building, septic system and driveway. Topsoil will be stockpiled on site and utilized during final grading.
5. Begin construction of the house, septic system and well.
6. Disturbed areas shall be seeded and stabilized as soon as possible to prevent erosion.
7. The site will be graded so that all possible trees on site will be saved to provide buffers to adjoining lots.

DEVELOPMENT CONTROL PLAN:

1. Development of the site will be performed by the individual lot owner, who will be responsible for the installation and maintenance of erosion and sediment control measures required throughout construction.
2. The sedimentation control mechanisms shall remain in place from start of construction until permanent vegetation has been established. The representative for the Town will be notified when sediment and erosion control structures are initially in place. Any additional soil & erosion control measures requested by the Town or its agent, shall be installed immediately. Once the proposed development, seeding and planting have been completed, the representative shall again be notified to inspect the site. The control measures will not be removed until this inspection is complete.
3. All stripping is to be confined to the immediate construction area. Topsoil shall be stockpiled so that slopes do not exceed 2 to 1. A hay bale sediment barrier is to surround each stockpile and a temporary vegetative cover shall be provided.
4. Dust control will be accomplished by spraying with water and if necessary, the application of calcium chloride.
5. The proposed planting schedule is to be adhered to during the planting of disturbed areas throughout the proposed construction site.
6. Final stabilization of the site is to follow the procedures outlined in "Permanent Vegetative Cover". If necessary a temporary vegetative cover is to be provided until a permanent cover can be applied.

SILT FENCE INSTALLATION AND MAINTENANCE:

1. Dig a 6" deep trench on the uphill side of the barrier location.
2. Position the posts on the downhill side of the barrier and drive the posts 1.5 feet into the ground.
3. Lay the bottom 6" of the fabric in the trench to prevent undermining and backfill.
4. Inspect and repair barrier after heavy rainfall.
5. Inspections will be made at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater to determine maintenance needs.
6. Sediment deposits are to be removed when they reach a height of 1 foot behind the barrier or half the height of the barrier and are to be deposited in an area which is not regulated by the Inland wetlands commission.
7. Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:
 - the fence has been overtopped, undercut or bypassed by runoff water,
 - the fence has been moved out of position (knocked over), or
 - the geotextile has decomposed or been damaged.

HAY BALE INSTALLATION AND MAINTENANCE:

1. Bales shall be placed as shown on the plans with the ends of the bales tightly abutting each other.
2. Each bale shall be securely anchored with at least 2 stakes and gaps between bales shall be wedged with straw to prevent water from passing between the bales.
3. Inspect bales at least once per week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inches or greater to determine maintenance needs.
4. Remove sediment behind the bales when it reaches half the height of the bale and deposit in an area which is not regulated by the Inland Wetlands Commission.
5. Replace or repair the barrier within 24 hours of observed failure. Failure of the barrier has occurred when sediment fails to be retained by the barrier because:
 - the barrier has been overtopped, undercut or bypassed by runoff water,
 - the barrier has been moved out of position, or
 - the hay bales have deteriorated or been damaged.

TEMPORARY VEGETATIVE COVER:

SEED SELECTION

Grass species shall be appropriate for the season and site conditions. Appropriate species are outlined in Figure TS-2 in the 2002 Guidelines.

TIMING CONSIDERATIONS

Seed with a temporary seed mixture within 7 days after the suspension of grading work in disturbed areas where the suspension of work is expected to be more than 30 days but less than 1 year.

SITE PREPARATION

Install needed erosion control measures such as diversions, grade stabilization structures, sediment basins and grassed waterways.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application, and mulch anchoring.

SEEDBED PREPARATION

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence. Avoid excessive compaction of the surface by equipment traveling back and forth over the surface. If the slope is tracked, the cleat marks shall be perpendicular to the anticipated direction of the flow of surface water.

If soil testing is not practical or feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent. Additionally, lime may be applied using rates given in Figure TS-1 in the 2002 Guidelines.

SEEDING

Apply seed uniformly by hand cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected species. Increase seeding rates by 10% when hydroseding.

MULCHING

Temporary seedings made during optimum seeding dates shall be mulched according to the recommendations in the 2002 Guidelines. When seeding outside of the recommended dates, increase the application of mulch to provide 95%-100% coverage.

MAINTENANCE

Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Repair eroded areas and install additional controls if required to prevent recurrence of erosion.

Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative cover).

PERMANENT VEGETATIVE COVER:

Refer to Permanent Seeding Measure in the 2002 Guidelines for specific applications and details related to the installation and maintenance of a permanent vegetative cover. In general, the following sequence of operations shall apply:

1. Topsoil will be replaced once the excavation and grading has been completed. Topsoil will be spread at a minimum compacted depth of 4".
2. Once the topsoil has been spread, all stones 2" or larger in any dimension will be removed as well as debris.
3. Apply agricultural ground limestone at a rate of 2 tons per acre or 100 lbs. per 1000 s.f. Apply 10-10-10 fertilizer or equivalent at a rate of 300 lbs. per acre or 7.5 lbs. per 1000 s.f. Work lime and fertilizer into the soil to a depth of 4".
4. Inspect seedbed before seeding. If traffic has compacted the soil, retil compacted areas.
5. Apply the chosen grass seed mix. The recommended seeding dates are: April 1 to June 15 & August 15 - October 1.
6. Following seeding, firm seedbed with a roller. Mulch immediately following seeding. If a permanent vegetative stand cannot be established by September 30, apply a temporary cover on the topsoil such as netting, mat or organic mulch.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PRINCIPLES OF EROSION AND SEDIMENT CONTROL

The primary function of erosion and sediment controls is to absorb erosional energies and reduce runoff velocities that force the detachment and transport of soil and/or encourage the deposition of eroded soil particles before they reach any sensitive area.

KEEP LAND DISTURBANCE TO A MINIMUM

The more land that is in vegetative cover, the more surface water will infiltrate into the soil, thus minimizing stormwater runoff and potential erosion. Keeping land disturbance to a minimum not only involves minimizing the extent of exposure at any one time, but also the duration of exposure. Phasing, sequencing and construction scheduling are interrelated. Phasing divides a large project into distinct sections where construction work over a specific area occurs over distinct periods of time and each phase is not dependent upon a subsequent phase in order to be functional. A sequence is the order in which construction activities are to occur during a project. A sequence should be developed on the premise of "first things first" and "last things last" with proper attention given to the inclusion of adequate erosion and sediment control measures. A construction schedule is a sequence with time lines applied to it and should address the potential overlap of actions in a sequence which may be in conflict with each other.

- Limit areas of clearing and grading. Protect natural vegetation from construction equipment with fencing, tree armoring, and retaining walls or tree wells.
- Route traffic patterns within the site to avoid existing or newly planted vegetation.
- Phase construction so that areas which are actively being developed at any one time are minimized and only that area under construction is exposed. Clear only those areas essential for construction.

- Sequence the construction of storm drainage systems so that they are operational as soon as possible during construction. Ensure all outlets are stable before outletting storm drainage flow into them.
- Schedule construction so that final grading and stabilization is completed as soon as possible.

SLOW THE FLOW

Detachment and transport of eroded soil must be kept to a minimum by absorbing and reducing the erosive energy of water. The erosive energy of water increases as the volume and velocity of runoff increases. The volume and velocity of runoff increases during development as a result of reduced infiltration rates caused by the removal of existing vegetation, removal of topsoil, compaction of soil and the construction of impervious surfaces.

- Use diversions, stone dikes, silt fences and similar measures to break flow lines and dissipate storm water energy.
- Avoid diverting one drainage system into another without calculating the potential for downstream flooding or erosion.

KEEP CLEAN RUNOFF SEPARATED

Clean runoff should be kept separated from sediment laden water and should not be directed over disturbed areas without additional controls. Additionally, prevent the mixing of clean off-site generated runoff with sediment laden runoff generated on-site until after adequate filtration of on-site waters has occurred.

- Segregate construction waters from clean water.
- Divert site runoff to keep it isolated from wetlands, watercourses and drainage ways that flow through or near the development until the sediment in that runoff is trapped or detained.

REDUCE ON SITE POTENTIAL INTERNALLY AND INSTALL PERIMETER CONTROLS

While it may seem less complicated to collect all waters to one point of discharge for treatment and just install a perimeter control, it can be more effective to apply internal controls to many small sub-drainage basins within the site. By reducing sediment loading from within the site, the chance of perimeter control failure and the potential off-site damage that it can cause is reduced. It is generally more expensive to correct off-site damage than it is to install proper internal controls.

- Control erosion and sedimentation in the smallest drainage area possible. It is easier to control erosion than to contend with sediment after it has been carried downstream and deposited in unwanted areas.
- Direct runoff from small disturbed areas to adjoining undisturbed vegetated areas to reduce the potential for concentrated flows and increase settlement and filtering of sediments.
- Concentrated runoff from development should be safely conveyed to stable outlets using rip rapped channels, waterways, diversions, storm drains or similar measures.
- Determine the need for sediment basins. Sediment basins are required on larger developments where major grading is planned and where it is impossible or impractical to control erosion at the source. Sediment basins are needed on large and small sites when sensitive areas such as wetlands, watercourses, and streets would be impacted by off-site sediment deposition. Do not locate sediment basins in wetlands or permanent or intermittent watercourses. Sediment basins should be located to intercept runoff prior to its entry into the wetland or watercourse.
- Grade and landscape around buildings and septic systems to divert water away from them.

SEPTIC SYSTEM CONSTRUCTION NOTES

1. The building, septic system and well shall be accurately staked in the field by a licensed Land Surveyor in the State of Connecticut, prior to construction.
2. Topsoil shall be removed and in the area of the primary leaching field scarified, prior to placement of septic fill. Septic fill specifications are as follows:
 - Max. percent of gravel (material between No. 4 & 3 inch sieves) = 45%

GRADATION OF FILL (MINUS GRAVEL)

SIEVE SIZE	PERCENT PASSING (WET SIEVE)	PERCENT PASSING (DRY SIEVE)
No. 4	100%	100%
No. 10	70% - 100%	70% - 100%
No. 40	10% - 50%	10% - 75%
No. 100	0% - 20%	0% - 5%
No. 200	0% - 5%	0% - 2.5%

Fill material shall be approved by the sanitarian prior to placement. It shall be compacted in 6" lifts and shall extend a minimum of ten feet (10') beyond the last leaching trench before tapering off.

3. Septic tank shall be two compartment precast 1000 gallon tank with gas deflector and outlet filter as manufactured by Jolley Precast, Inc. or equal.

4. Distribution boxes shall be 4 hole precast concrete as manufactured by Jolley Precast, Inc. or equal.

5. All precast structures such as septic tanks, distribution boxes, etc. shall be set level on six inches (6") of compacted gravel base at the elevations specified on the plans.

6. Solid distribution pipe shall be 4" diameter PVC meeting ASTM D-3034 SDR 35 with compression gasketed joints. It shall be laid true to the lines and grades shown on the plans and in no case shall have a slope less than 0.125 inches per foot.

7. Perforated distribution pipe shall be 4" diameter PVC meeting ASTM D-2729 or ASTM D-3350, 1500 lb. minimum crush.

8. Sewer pipe from the foundation wall to the septic tank shall be schedule 40 PVC meeting ASTM D 1785. It shall be laid true to the grades shown on the plans and in no case shall have a slope less than 0.25 inches per foot.

9. Force main pressure pipe from pump chamber to the leaching field shall be 2" diameter pvc meeting ASTM D 2241 SDR 21.

10. Solid forcing drain outlet pipe shall be 4" Diameter PVC meeting ASTM D 3034, SDR 35 with compression gasketed joints. Forcing drain outlet pipe shall not be backfilled with free draining material, such as gravel, broken stone, rock fragments, etc.

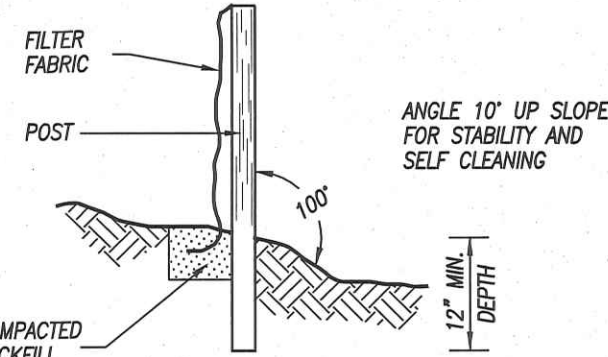
DEEP TEST HOLE EVALUATION - December 2, 2020
Northeast District Department of Health

TEST PIT	DEPTH	PROFILE
C1	0"- 36"	Fill
	36"- 42"	Gravelly OB fine sandy loam
	42"- 99"	Gravelly/cobbly coarse sand
	Restrictive	N/A
	Ledge	N/A
C2	0"- 12"	Fill
	12"- 29"	Gravelly OB fine sandy loam
	29"- 97"	Gravelly coarse sand w/ cobbles, stones
	Restrictive	N/A
	Ledge	N/A
	GWT	N/A
	Mottling	N/A

PERCOLATION TEST RESULTS - December 2, 2020
David J. Held, P.E., L.S.

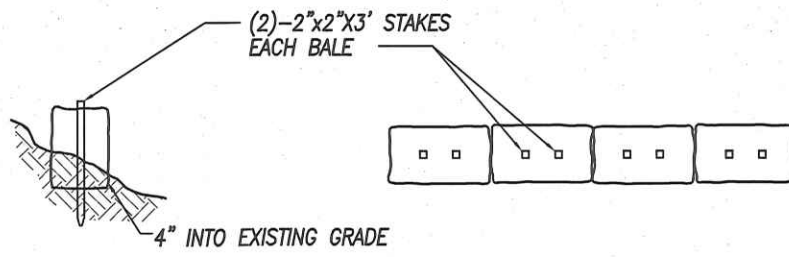
Depth: 40" (test done in 24" deep hole)
Presoak: 1 hour

Time	Depth
2:49	6.5"
2:51	7.5"
2:53	8.5"
2:55	9.5"
2:57	10.5"



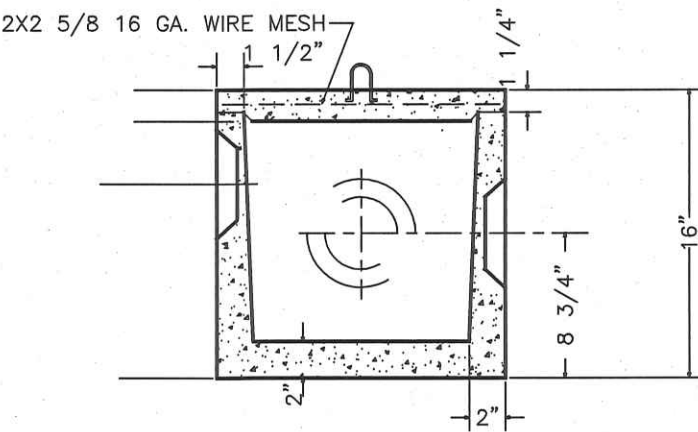
SILT FENCE

NOT TO SCALE



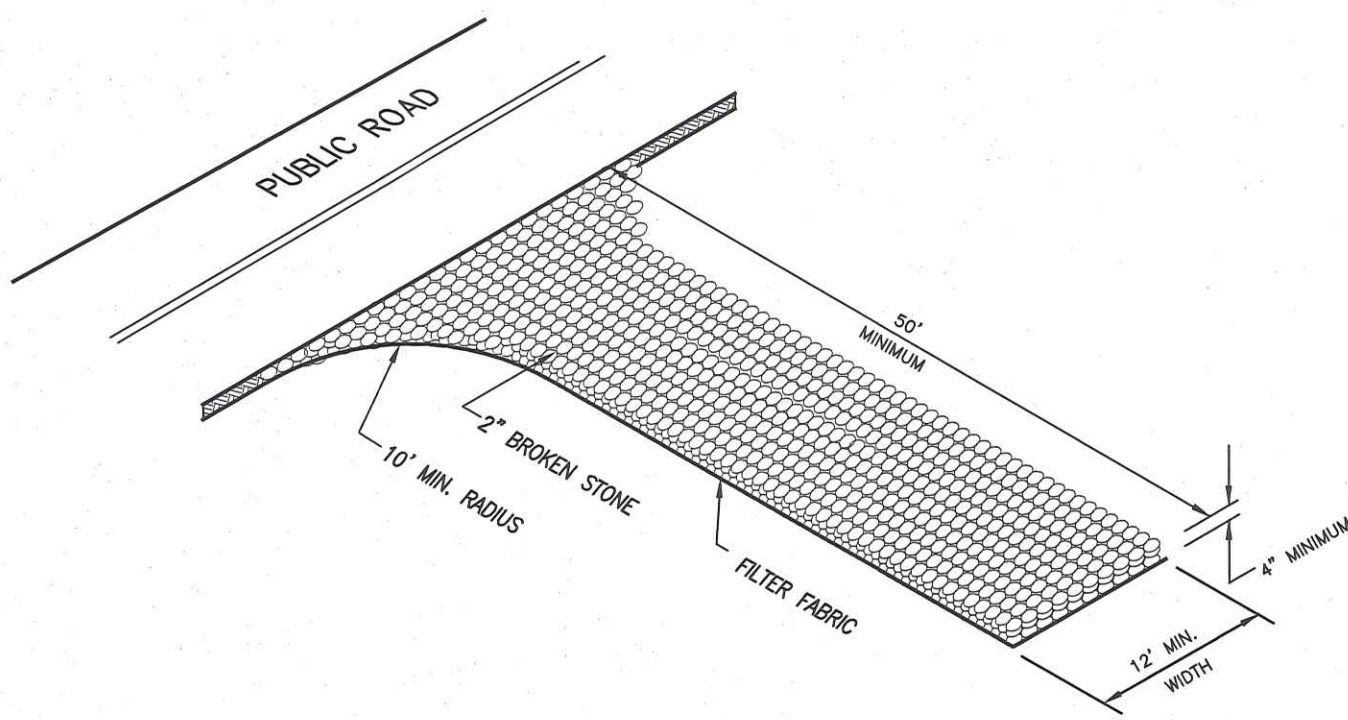
HAYBALE BARRIER

NOT TO SCALE



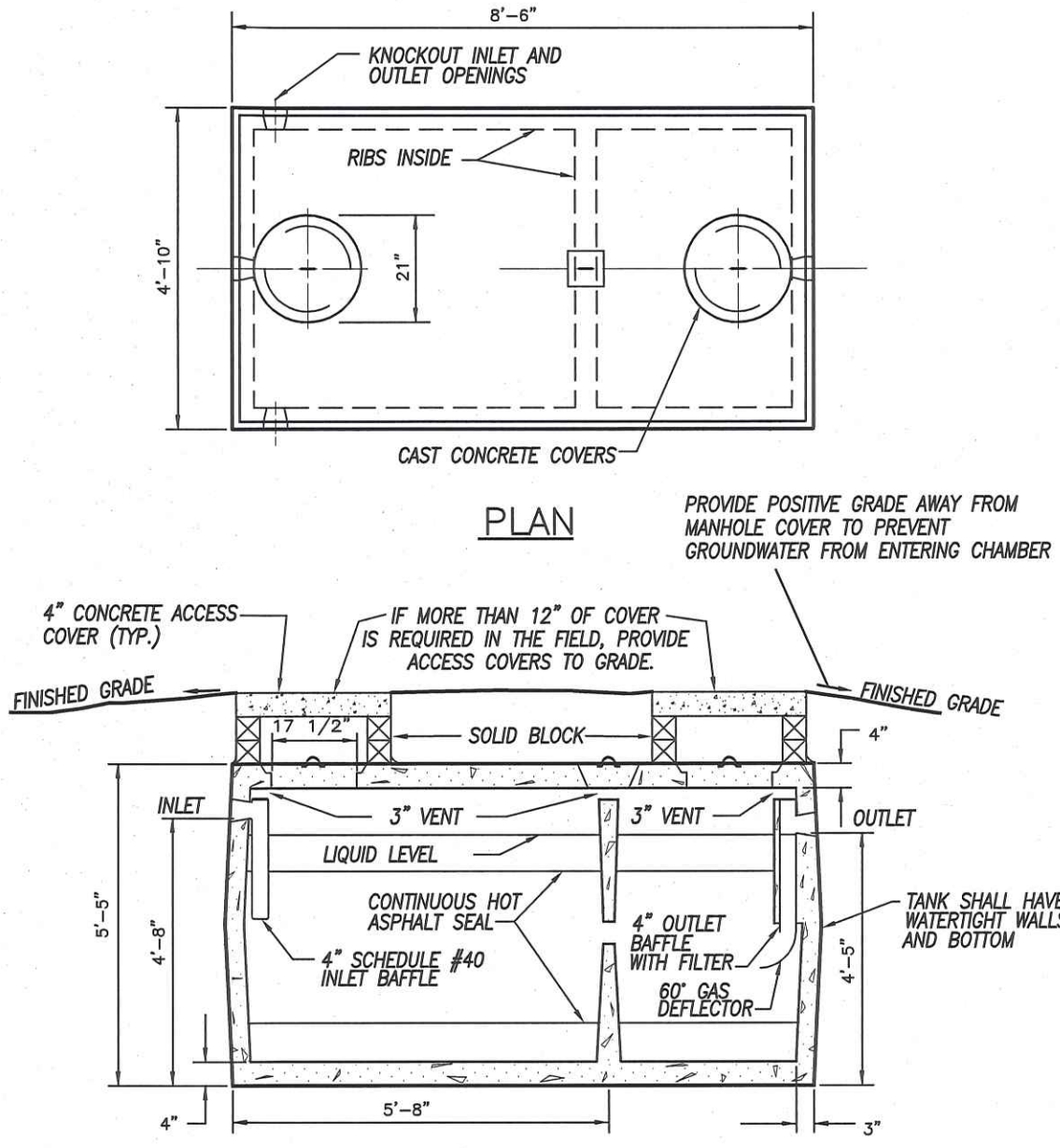
STANDARD D-BOX

NOT TO SCALE



CONSTRUCTION ENTRANCE

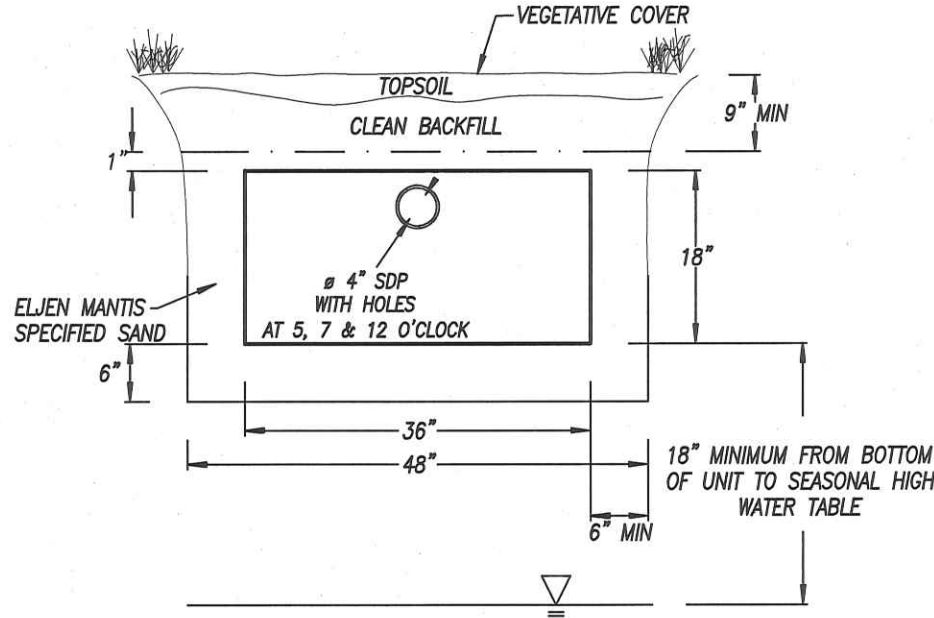
NOT TO SCALE



CROSS SECTION

1000 GALLON
2 COMPARTMENT
SEPTIC TANK

NOT TO SCALE



NOTE: VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE

MANTIS 536-8 INSTALLATION

NOT TO SCALE

DETAIL SHEET
SEPTIC SYSTEM DESIGN PLAN
PREPARED FOR

SHAUN GRAY &
RIVER JUNCTION ESTATES, LLC

NEW ROAD
THOMPSON, CONNECTICUT

Provost & Rovero, Inc.

Civil Engineering • Surveying • Site Planning
Structural • Mechanical • Architectural Engineering

57 East Main Street, P.O. Box 191
Plainfield, Connecticut 06374
(860) 230-0856 - FAX: (860) 230-0860
info@prorovinc.com
www.prorovinc.com

REVISIONS	
DATE	DESCRIPTION
7/7/2021	ADD OVERALL PLAN

DATE: 6/25/2021	DRAWN: DJH
SCALE: AS SHOWN	DESIGN: DJH
SHEET: 2 OF 3	CHK BY: ---
DWG. No: Client File	JOB No: 213058



Received

JUL 07 2021

Thompson Wetlands Office

E.c) Applications Received After Agenda was Published

F.a) Permit Extensions / Changes

IWA14019, Patricia Rudzinski, 0 Labby Rd. (Assessor's map 95, block 27, lot 17), permit issued 10/14/14, request for additional 3-year extension of gravel removal permit to expire 10/14/24, received by Wetlands Office 3/3/2021 – see Public Acts 21-163 and 21-34, Extensions of Municipal Land Use Approvals.

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limited to: (1) The prioritization of certain groups of individuals by income, zip codes, census tracts or other priority criteria developed in consultation with the designated organizations and the working group; (2) the availability of program funding; (3) the number of trained legal services attorneys available to provide legal representation; and (4) the scope of the need for legal representation.

(h) Nothing in this section shall be construed to establish any right enforceable by a covered individual against a designated organization or the administering entity.

(i) Not later than January 1, 2023, and annually thereafter, the administering entity shall submit a report, in accordance with the provisions of section 11-4a of the general statutes, to the joint standing committees of the General Assembly having cognizance of matters relating to housing and the Judicial Department. Such report shall include the following information: (1) The number of covered individuals provided legal representation pursuant to this section; (2) the extent of legal representation provided; (3) any outcomes achieved, such as the rates of tenant representation, tenant retention of housing or other appropriate outcome measures; and (4) the engagement and education of tenants.

Sec. 2. Subsection (d) of section 22a-42a of the general statutes is repealed and the following is substituted in lieu thereof (Effective July 1, 2021, and applicable to permits issued on or after July 1, 2021):

(d) (1) In granting, denying or limiting any permit for a regulated activity the inland wetlands agency, or its agent, shall consider the factors set forth in section 22a-41, and such agency, or its agent, shall state upon the record the reason for its decision. In granting a permit the inland wetlands agency, or its agent, may grant the application as filed or grant it upon other terms, conditions, limitations or modifications of the regulated activity which are designed to carry out the policy of

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sections 22a-36 to 22a-45, inclusive. Such terms may include any reasonable measures which would mitigate the impacts of the regulated activity and which would (A) prevent or minimize pollution or other environmental damage, (B) maintain or enhance existing environmental quality, or (C) in the following order of priority: Restore, enhance and create productive wetland or watercourse resources. Such terms may include restrictions as to the time of year in which a regulated activity may be conducted, provided the inland wetlands agency, or its agent, determines that such restrictions are necessary to carry out the policy of sections 22a-36 to 22a-45, inclusive. No person shall conduct any regulated activity within an inland wetland or watercourse which requires zoning or subdivision approval without first having obtained a valid certificate of zoning or subdivision approval, special permit, special exception or variance or other documentation establishing that the proposal complies with the zoning or subdivision requirements adopted by the municipality pursuant to chapters 124 to 126, inclusive, or any special act. The agency may suspend or revoke a permit if it finds after giving notice to the permittee of the facts or conduct which warrant the intended action and after a hearing at which the permittee is given an opportunity to show compliance with the requirements for retention of the permit, that the applicant has not complied with the conditions or limitations set forth in the permit or has exceeded the scope of the work as set forth in the application. The applicant shall be notified of the agency's decision by certified mail within fifteen days of the date of the decision and the agency shall cause notice of their order in issuance, denial, revocation or suspension of a permit to be published in a newspaper having a general circulation in the town wherein the wetland or watercourse lies. In any case in which such notice is not published within such fifteen-day period, the applicant may provide for the publication of such notice within ten days thereafter.

(2) (A) Any permit issued under this section for the development of property for which an approval is required under chapter 124, 124b, 126

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or 126a shall (i) not take effect until each such approval, as applicable, granted under such chapter has taken effect, and (ii) be valid until the approval granted under such chapter expires or for ten years, whichever is earlier.

(B) Any permit issued under this section for any activity for which an approval is not required under chapter 124, 124b, 126 or 126a shall be valid for not less than two years and not more than five years. Any such permit shall be renewed upon request of the permit holder unless the agency finds that there has been a substantial change in circumstances which requires a new permit application or an enforcement action has been undertaken with regard to the regulated activity for which the permit was issued, provided no permit may be valid for more than ten years.

Sec. 3. Subsection (m) of section 8-3 of the general statutes is repealed and the following is substituted in lieu thereof (*Effective from passage*):

(m) (1) Notwithstanding the provisions of this section, any site plan approval made under this section prior to July 1, 2011, that has not expired prior to May 9, 2011, except an approval made under subsection (j) of this section, shall expire not less than nine years after the date of such approval and the commission may grant one or more extensions of time to complete all or part of the work in connection with such site plan, provided no approval, including all extensions, shall be valid for more than fourteen years from the date the site plan was approved.

(2) Notwithstanding the provisions of this section, any site plan approval made under this section on or after July 1, 2011, but prior to the effective date of this section, that did not expire prior to March 10, 2020, except an approval made under subsection (j) of this section, shall expire not less than fourteen years after the date of such approval and the commission may grant one or more extensions of time to complete all or part of the work in connection with such site plan, provided no

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subdivision shall complete all work in connection with such subdivision not later than the date fourteen years after the date of approval of the plan for such subdivision. The commission's endorsement of approval on the plan shall state the date on which such fourteen-year period expires.

(2) Notwithstanding the provisions of this section, for any subdivision of land for a project consisting of four hundred or more dwelling units and approved on or after July 1, 2011, but prior to the effective date of this section, that did not expire prior to March 10, 2020, any person, firm or corporation making such subdivision shall complete all work in connection with such subdivision not later than the date nineteen years after the date of approval of the plan for such subdivision. The commission's endorsement of approval on the plan shall state the date on which such nineteen-year period expires.

Sec. 6. Subsection (g) of section 22a-42a of the general statutes is repealed and the following is substituted in lieu thereof (*Effective from passage*):

(g) (1) Notwithstanding the provisions of subdivision (2) of subsection (d) of this section, any permit issued under this section prior to July 1, 2011, that has not expired prior to May 9, 2011, shall expire not less than nine years after the date of such approval. Any such permit shall be renewed upon request of the permit holder unless the agency finds that there has been a substantial change in circumstances that requires a new permit application or an enforcement action has been undertaken with regard to the regulated activity for which the permit was issued, provided no such permit shall be valid for more than fourteen years.

(2) Notwithstanding the provisions of subdivision (2) of subsection (d) of this section, any permit issued under this section on or after July 1, 2011, but prior to the effective date of this section, that did not expire

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prior to March 10, 2020, shall expire not less than fourteen years after the date of such approval. Any such permit shall be renewed upon request of the permit holder unless the agency finds that there has been a substantial change in circumstances that requires a new permit application or an enforcement action has been undertaken with regard to the regulated activity for which the permit was issued, provided no such permit shall be valid for more than nineteen years.

Sec. 7. Section 8-3c of the general statutes is repealed and the following is substituted in lieu thereof (*Effective from passage*):

(a) If an application for a special permit or special exception involves an activity regulated pursuant to sections 22a-36 to 22a-45, inclusive, the applicant shall submit an application to the agency responsible for administration of the inland wetlands regulations no later than the day the application is filed for a special permit or special exception.

(b) The zoning commission or combined planning and zoning commission of any municipality shall hold a public hearing on an application or request for a special permit or special exception, as provided in section 8-2, and on an application for a special exemption under section 8-2g. Such hearing shall be held in accordance with the provisions of section 8-7d. The commission shall not render a decision on the application until the inland wetlands agency has submitted a report with its final decision to such commission. In making its decision the zoning commission shall give due consideration to the report of the inland wetlands agency. Such commission shall decide upon such application or request within the period of time permitted under section 8-7d. Whenever a commission grants or denies a special permit or special exception, it shall state upon its records the reason for its decision. Notice of the decision of the commission shall be published in a newspaper having a substantial circulation in the municipality and addressed by certified mail to the person who requested or applied for a special permit or special exception, by its secretary or clerk, under his

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expired prior to [May 9, 2011] the effective date of this section, shall expire not less than [nine] fourteen years after the date of such approval and the commission may grant one or more extensions of time to complete all or part of the work in connection with such subdivision, provided no subdivision approval, including all extensions, shall be valid for more than [fourteen] nineteen years from the date the subdivision was approved.

Sec. 3. Subsection (c) of section 8-26g of the general statutes is repealed and the following is substituted in lieu thereof (*Effective from passage and applicable to approvals made prior to July 1, 2011*):

(c) Notwithstanding the provisions of this section, for any subdivision of land for a project consisting of four hundred or more dwelling units and approved prior to July 1, 2011, that has not expired prior to [May 9, 2011] the effective date of this section, any person, firm or corporation making such subdivision shall complete all work in connection with such subdivision not later than the date [fourteen] nineteen years after the date of approval of the plan for such subdivision. The commission's endorsement of approval on the plan shall state the date on which such [fourteen-year] nineteen-year period expires.

Sec. 4. Subsection (g) of section 22a-42a of the general statutes is repealed and the following is substituted in lieu thereof (*Effective from passage and applicable to approvals made prior to July 1, 2011*):

(g) Notwithstanding the provisions of subdivision (2) of subsection (d) of this section, any permit issued under this section prior to July 1, 2011, that has not expired prior to [May 9, 2011] the effective date of this section, shall expire not less than [nine] fourteen years after the date of such approval. Any such permit shall be renewed upon request of the permit holder unless the agency finds that there has been a substantial change in circumstances that requires a new permit application or an

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enforcement action has been undertaken with regard to the regulated activity for which the permit was issued, provided no such permit shall be valid for more than ~~[fourteen]~~ nineteen years.

Sec. 5. Section 8-3c of the general statutes, as amended by section 7 of public act 21-34, is repealed and the following is substituted in lieu thereof (*Effective from passage and applicable to approvals made prior to July 1, 2011*):

(a) If an application for a special permit or special exception involves an activity regulated pursuant to sections 22a-36 to 22a-45, inclusive, the applicant shall submit an application to the agency responsible for administration of the inland wetlands regulations no later than the day the application is filed for a special permit or special exception.

(b) The zoning commission or combined planning and zoning commission of any municipality shall hold a public hearing on an application or request for a special permit or special exception, as provided in section 8-2, and on an application for a special exemption under section 8-2g. Such hearing shall be held in accordance with the provisions of section 8-7d. The commission shall not render a decision on the application until the inland wetlands agency has submitted a report with its final decision to such commission. In making its decision the zoning commission shall give due consideration to the report of the inland wetlands agency. Such commission shall decide upon such application or request within the period of time permitted under section 8-7d. Whenever a commission grants or denies a special permit or special exception, it shall state upon its records the reason for its decision. Notice of the decision of the commission shall be published in a newspaper having a substantial circulation in the municipality and addressed by certified mail to the person who requested or applied for a special permit or special exception, by its secretary or clerk, under his signature in any written, printed, typewritten or stamped form, within fifteen days after such decision has been rendered. In any case in which

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[(b)] (2) Notwithstanding the provisions of subsection (a) of this section, any special permit or special exception approval made under this section on or after July 1, 2011, but prior to the effective date of this section, that did not expire prior to March 10, 2020, and that specified a deadline by which all work in connection with such approval is required to be completed, shall expire not less than nineteen years after the date of such approval and the commission may grant one or more extensions of time to complete all or part of the work in connection with such special permit or special exception.

Sec. 7. Section 9 of public act 21-34 is repealed and the following is substituted in lieu thereof (*Effective from passage and applicable to approvals made prior to July 1, 2011*):

(a) (1) Notwithstanding the provisions of any special act, any site plan, subdivision or permit approval by a zoning commission, planning commission, combined planning and zoning commission, zoning board of appeals or inland wetlands agency pursuant to the provisions of any such special act that occurred prior to July 1, 2011, and that has not expired prior to the effective date of this section, shall expire not less than fourteen years after the date of such approval and such commission, board or agency, as applicable, may grant one or more extensions of time to complete all or part of the work in connection with such approval, provided no approval, including all extensions, shall be valid for more than nineteen years from the date the site plan, subdivision or permit was initially approved.

[(a)] (2) Notwithstanding the provisions of any special act, [or] any site plan, subdivision or permit approval by a zoning commission, planning commission, combined planning and zoning commission, zoning board of appeals or inland wetlands agency pursuant to the provisions of any such special act that occurred on or after July 1, 2011, but prior to the effective date of this section, and that did not expire prior to March 10, 2020, [such approval] shall expire not less than fourteen

Substitute House Bill No. 6541

years after the date of such approval and such commission, board or agency, as applicable, may grant one or more extensions of time to complete all or part of the work in connection with such approval, provided no approval, including all extensions, shall be valid for more than nineteen years from the date the site plan, subdivision or permit was initially approved.

(b) (1) Notwithstanding the provisions of any special act, any special permit or special exception approval by a zoning commission, planning commission, combined planning and zoning commission, zoning board of appeals or inland wetlands agency pursuant to the provisions of any such special act that occurred prior to July 1, 2011, that has not expired prior to the effective date of this section, and that specified a deadline by which all work in connection with such approval is required to be completed, shall expire not less than nineteen years after the date of such approval and such commission, board or agency, as applicable, may grant one or more extensions of time to complete all or part of the work in connection with such special permit or special exception approval.

[(b)] (2) Notwithstanding the provisions of any special act, [or] any special permit or special exception approval by a zoning commission, planning commission, combined planning and zoning commission, zoning board of appeals or inland wetlands agency pursuant to the provisions of any such special act that occurred on or after July 1, 2011, but prior to the effective date of this section, that did not expire prior to March 10, 2020, and that specified a deadline by which all work in connection with such approval is required to be completed, [such approval] shall expire not less than nineteen years after the date of such approval and such commission, board or agency, as applicable, may grant one or more extensions of time to complete all or part of the work in connection with such special permit or special exception approval.

Agenda Item G.a) Violations & Pending Enforcement Actions

Cease & Restore Order VIOL20003 Scott Josey, 637 East Thompson Road, Assessor's map 154, block 5, lot 14, filling of wetlands and work within 100-foot upland review area, issued 3/5/2020, status of order release.

Agenda Item H Other Business

- a) Road Closure Schedule for West Thompson Road / Wheaton Brook Culvert Replacement, Permit IWA20044.
- b) Review of Conditions at 1227 Thompson Rd (Rte 193), Marc Baer, Permit IWA20022.
- c) ZOOM Meeting status update

[illegible]

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing east on driveway just east of Route 193 showing conditions viewed from driveway. Note roof top of Harger home can be seen in center left of photo partially hidden by stockpiled stones. Permit File IWA20022, Marc Baer.



File: Stitched photos 130333 - 130345 driveway view.jpg

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing north from driveway showing conditions viewed from driveway. Note Route 193 guardrail can be seen in top left corner of photo and Little Pond in right side of photo. Permit File IWA20022, Marc Baer.



File: Stitched photos 130436 - 130450 site overview.jpg

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing west to north taken west of south end of house foundation showing retaining walls located west of house foundation. Note two walls; lower wall appears to be completed and the upper wall under construction; much of lower wall measures 6 feet in height rising in elevation to the north which measured in excess of 7 feet. Permit File IWA20022, Marc Baer.



File: Stitched photos 131852 - 131910. upper retaining walls.jpg

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing north taken west of south end of home foundation showing conditions between Route 193 embankment and the foundation. Note two walls; lower wall appears to be completed and the upper wall under construction; much of lower wall measures 6 feet in height rising in elevation to the north which measured in excess of 7 feet. Permit File IWA20022, Marc Baer.



File: Stitched photos 131822 - 131828. upper retaining walls.jpg

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing eastward from northern end of lower retaining wall showing conditions at northern end of lower retaining wall(s). Note silt fencing located at top of lowest retaining wall and stockpile of stones place perhaps for future construction of second lower retaining wall that remains to be built. Permit File IWA20022, Marc Baer.



File: Stitched photos 130648 - 130653 northerncorner lower retaining wall(s).jpg

Photos taken on June 26, 2021 by Marla Butts. Stitched photos taken facing south east of north end of home foundation showing conditions between Little Pond and the foundation. Note silt fencing located at top of lowest retaining wall; second wall not yet built; fill east of foundation is at angle of repose with several rills located in center of photo; granite stairs located in left central part of photo. Permit File IWA20022, Marc Baer.



File: Stitched photos 131722 - 131725, lower retaining wall(s).jpg

Agenda Item J, Correspondence - None

Agenda Item K, Signing of Mylars

- a) Mylars entitled "Adams Land Subdivision, 1321 Thompson Road, Thompson, Connecticut, Owner: Charles R. Adams, Applicant: Keith & Karolyn Champagne" prepared by J&D Civil Engineers, LLC dated February 8, 2021, revised April 7, 2021 (4 sheets) were signed by Chair O'Neil 7/8/21, plans approved by Permit IWA21004.

ADAMS LAND SUBDIVISION

1321 THOMPSON ROAD, THOMPSON, CONNECTICUT

OWNER: CHARLES R. ADAMS
APPLICANT: KEITH & KAROLYN CHAMPAGNE

DATED: FEBRUARY 8, 2021

REVISED: APRIL 7, 2021

ZONING REQUIREMENTS (RURAL RESIDENTIAL AGRICULTURAL)

ITEM	REQUIRED	LOT 54-1	LOT 54
AREA	40,000 SF	146,817 SF	114,993 SF
FRONTAGE	150 FT*	50.59 FT	177.54 FT
FRONT YARD	40 FT	N/A	59 FT
SIDE YARD	20 FT	N/A	26 FT
REAR YARD	20 FT	N/A	310 FT
COVERAGE	50%	0%	6.5%

*50 FEET REQUIRED FOR INTERIOR LOTS

ZONING REQUIREMENTS (LAKE DISTRICT)

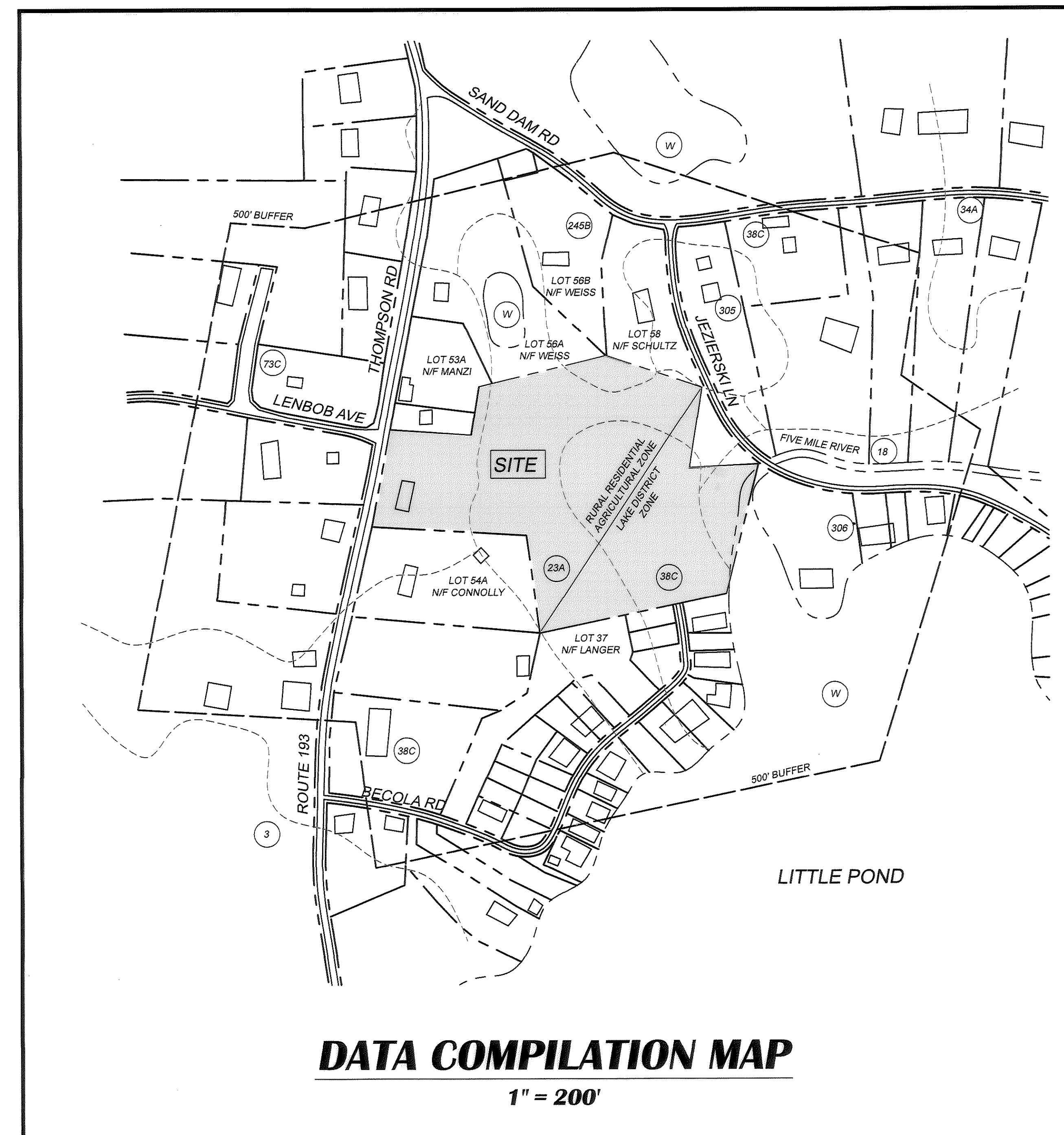
ITEM	REQUIRED	LOT 54-1
AREA	4,500 SF	155,970 +/- SF
FRONTAGE	50 FT	35 FT
FRONT YARD	10 FT	180 FT
SIDE YARD	10 FT	115 FT
REAR YARD	10 FT	175 FT
COVERAGE	50%	15%

INDEX OF DRAWINGS

NO.	DESCRIPTION
1	COVER SHEET
2	SUBDIVISION PLAN
3	SITE DEVELOPMENT PLAN
4	DETAILS AND NOTES

SOIL TYPES TABLE

3	RIDGEBURY, LEICESTER, AND WHITMAN SOILS, 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
15	SCARBORO MUCK, 0 TO 3 PERCENT SLOPES
18	CATDEN AND FREETOWN SOILS, 0 TO 2 PERCENT SLOPES
23A	SUDBURY SANDY LOAM, 0 TO 5 PERCENT SLOPES
34A	MERRIMAC FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
38C	HINCKLEY LOAMY SAND, 3 TO 15 PERCENT SLOPES
38E	HINCKLEY LOAMY SAND, 15 TO 45 PERCENT SLOPES
73C	CHARLTON-CHATFIELD COMPLEX, 0 TO 15 PERCENT SLOPES
	VERY ROCKY
75C	HOLLIS-CHATFIELD-ROCK OUTCROP COMPLEX
	3 TO 15 PERCENT SLOPES
245	MERRIMAC FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
305	UDORTHENTS-PITS COMPLEX, GRAVELLY
306	UDORTHENTS-URBAN LAND COMPLEX
W	WATER



THIS MAP PRODUCED BY
ORIGINAL INK DRAWING
ON POLY FILM OR E-INK
J & D CIVIL ENGINEERS
401 RAVENELLE ROAD
NORTH GROSVENORDALE, CT 06255

APPROVED INLAND WETLANDS COMMISSION <i>[Signature]</i> 7-8-2021 CHAIRMAN DATE			
APPROVED PLANNING AND ZONING COMMISSION <i>[Signature]</i> 6/28/21 CHAIRMAN DATE			
TOWN OF THOMPSON RECEIVED FOR RECORDING			
TOWN CLERK	DATE	TIME	MAP #

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

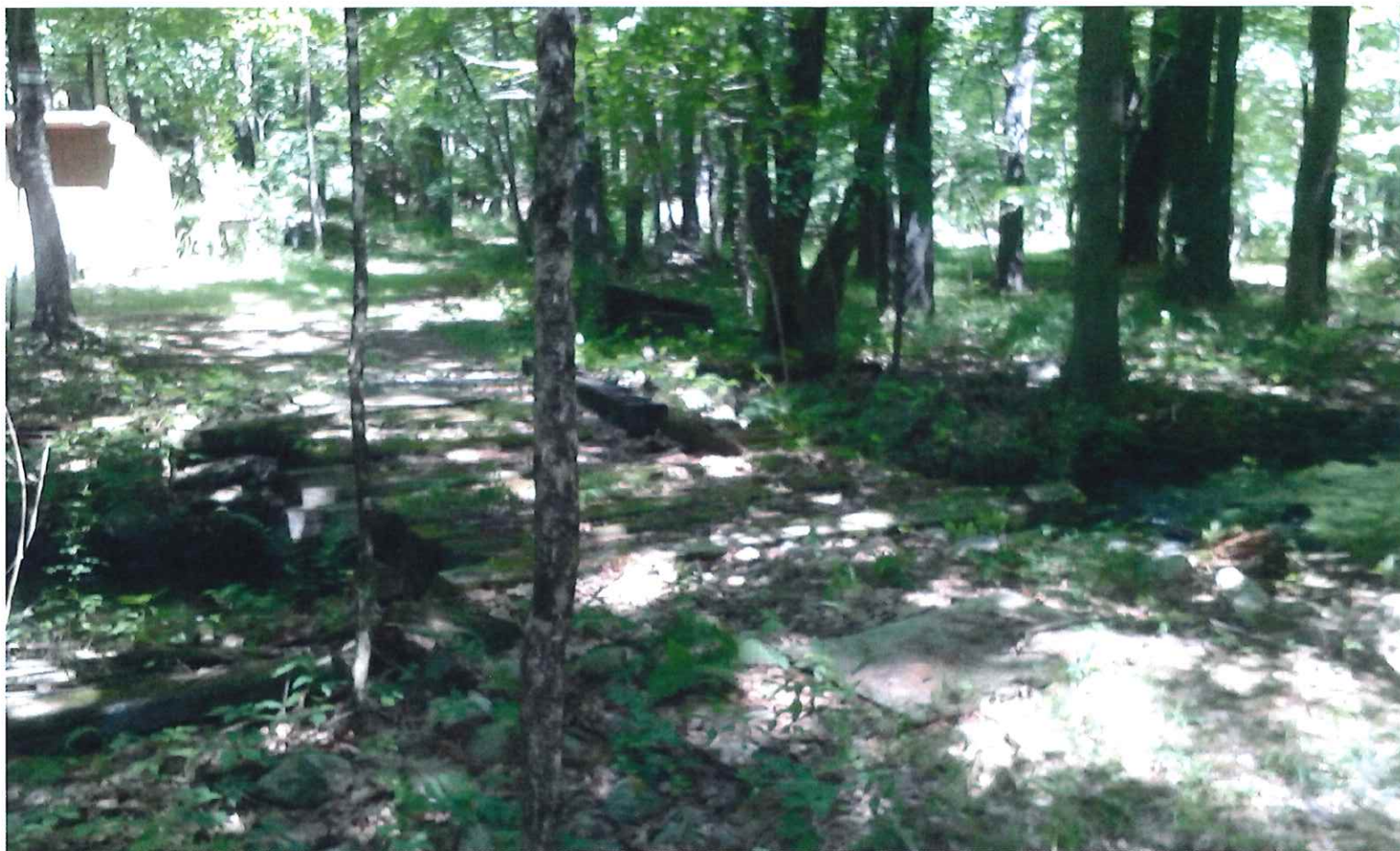
Agenda Item I Reports

1 Budget & Expenditures

2 Wetlands Agent Report



Photos By Marla Butts on 6/26/2021



Photos By Marla Butts on 6/26/2021

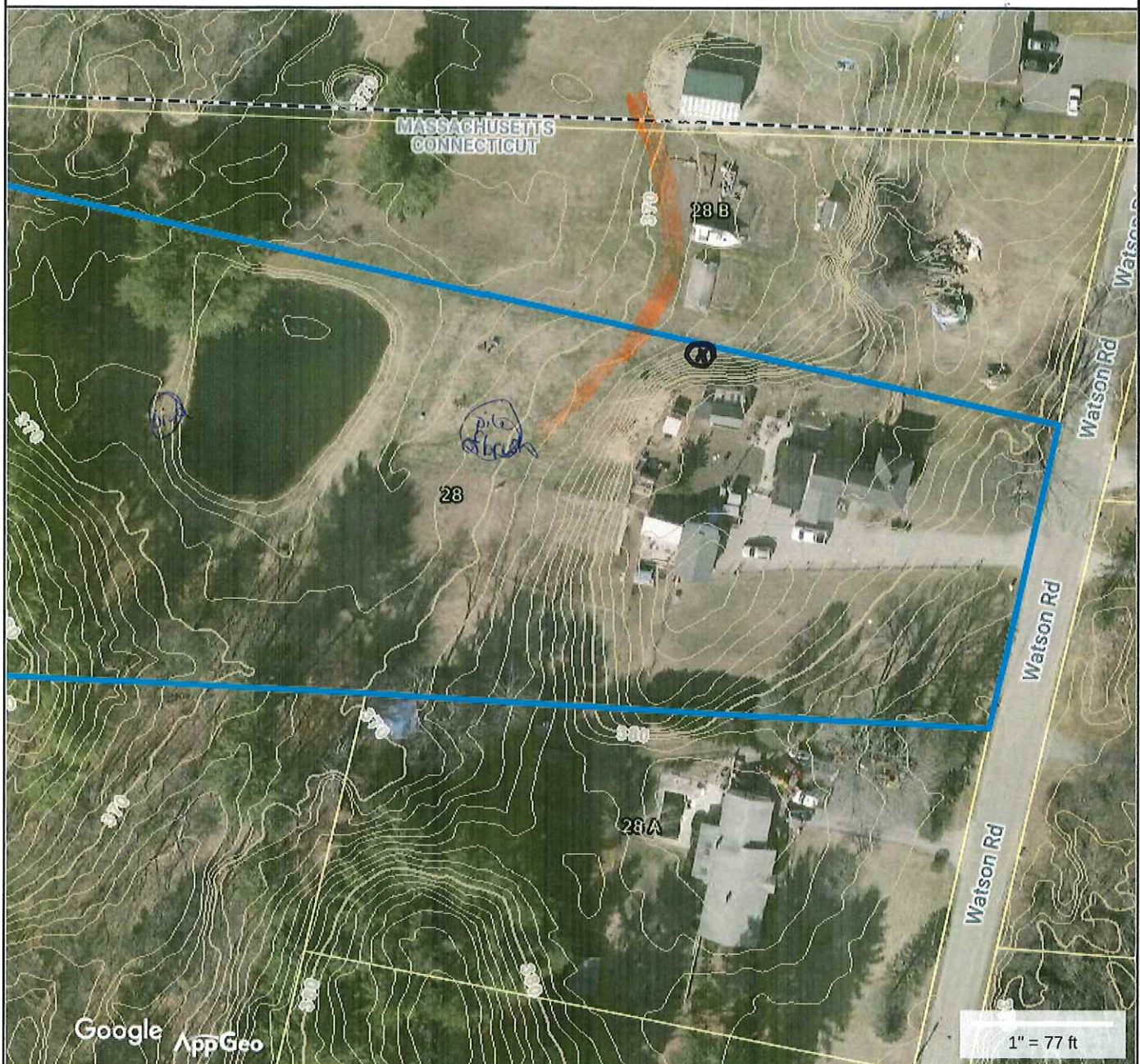


Photos By Marla Butts on 6/26/2021



Photos By Marla Butts on 6/26/2021

Complaint 21-09 - 74 Watson Rd dumping of construction debris



Property Information

Property ID 345
 Location 74 WATSON RD
 Owner PHILBROOK BERLIN R 3RD + REBECCA A



proximate location of
 broken up concrete &
 asphalt

proximate location
 of wetlands boundary



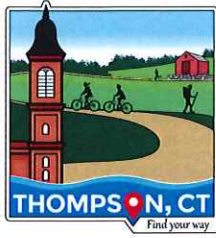
MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated September 21, 2020
 Data updated March 20, 2019

Print map scale is approximate.
 Critical layout or measurement
 activities should not be done using
 this resource.



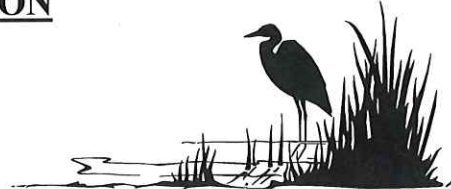


**TOWN OF
THOMPSON**
Inland Wetlands Commission

815 Riverside Drive
P.O. Box 899
North Grosvenordale, CT 06255
Phone: 860-923-1852, Ext. 1
Email: wetlands@thompsonct.org
Web: <https://www.thompsonct.org/>

NOTICE OF VIOLATION

July 7, 2021



Tracy Lyn Lis, President
LIS Properties, L.L.C.
38 Davis Street
Danielson, CT 06239

RE: **Violation** VIOL21019, Unauthorized Structures over Watercourse
715 Riverside Drive
Assessor's Map 63, Block 58, Lot 23

Dear Ms.Lis,

On June 14, 2021 the Inland Wetlands & Watercourses Commission received a complaint that Thatcher Road and Riverside Drive were being flooded by the diversion of water created or caused by structures placed over the channel of a watercourse that drains from the Town of Thompson's school complex causing water to be redirected through 715 Riverside Drive on to Thatcher Road and subsequently flooding Riverside Drive. On July 2, 2021, I made a site visit. I observed water flowing from under a shed built over the watercourse channel and into the parking area for 715 Riverside Drive eroding soils and flooding Thatcher Road and Riverside Drive. At the time I also noted several other structures had also been constructed over the watercourse west of that shed.

No valid inland wetland and watercourse permit exists for any structures located in or near the watercourse that flows on the north side of 715 Riverside Drive. Consequently these structures exist in violation of section 6 of the Inland Wetlands and Watercourses Regulation of the Town of Thompson.

You are directed to remove all unauthorized structures placed in or within 100 feet of the watercourse and immediately notify me of the same in writing to determine what remedial work is required to prevent the continued diversion of the watercourse onto Thatcher Road. If by July 13, 2021 you are unable to remove all unauthorized structures located within 100 feet of the watercourse channel, then by that date please provide in writing a schedule for the removal of all unauthorized structures. Should you take issue with this directive please attend the next Inland Wetlands Commission meeting to discuss the matter or provide in writing the basis for not complying with this notice of violation. The next Inland Wetlands Commission meeting will be

Violation Notice VIOL21019
715 Riverside Drive, Thompson
Page 2 of 2

held virtually via ZOOM on July 13, 2021 at 7:00 p.m. The agenda containing a link to the ZOOM meeting and password will be posted at <https://www.thompsonct.org/node/305/agenda/2021>. If you cannot attend this meeting or wish to discuss this matter with me before the next Inland Wetlands Commission meeting please contact me at 860-923-1852. I am usually in the office on Monday mornings.

Failure to comply with this notice may result in the issuance of a Cease and Desist Order, which will be filed in the permanent land records in the Town of Thompson, and which will encumber your deed until the violation is resolved.

I appreciate your cooperation in this matter.

Sincerely



Marla Butts
Wetlands Agent

File: NOV VIOL21019 LIS Properties LLC 715 Riverside Dr.doc

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

cc: LIS Properties, L.L.C., 70 Killdeer Island Rd., Webster MA, 01570
Christine Johnson, RE/MAX Home Team, 212 Route 32, Uncasville, CT 06382
Kerri Mullen, RE/MAX Home Team, 212 Route 32, Uncasville, CT 06382
Thompson Building Official
Thompson Zoning Enforcement Officer
Thompson Public Works Director
Thompson First Selectman

0 Thompson Rd Development Inquiry

**Property Information**

Property ID 3485
Location 0 THOMPSON RD
Owner POTTER MICHELE M

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Thompson, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated September 21, 2020
Data updated March 20, 2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

Agenda Item L, Comments by Commissioners

Agenda Item M, Adjournment